



Zoning & Building Inspection Permits Standard Permit Application

(PLEASE PRINT NEATLY)

Job Address: _____ Tax Parcel No.: _____

Subdivision, CSM, Lot #: _____

Owner's Name: _____ Phone #: _____

Mailing Address: _____ Fax #: _____

City, State, Zip: _____ Email: _____

Owner acting as General Contractor (must sign and submit Cautionary Statement Form)
--OR--

General Contractor (Company Name: _____)

Company Contact Name: _____ Phone #: _____

Mailing Address: _____ Fax #: _____

City, State, Zip: _____ Email: _____

*Contractor's Wisconsin Certification # _____ (*Required for all Residential Additions, Alterations, and attached Accessory Structures)

1) Proposed Project:

- ACCESSORY STRUCTURE: (please circle all that apply)
garage / shed / deck / porch / gazebo / pool / hot tub / fence / driveway / residential communication structure/ other: _____
- ADDITION
- ALTERATION OR REMODEL
- OTHER: _____

2) Brief Project Description: (ex. sunroom addition, basement finish, new fence, replace driveway, etc.)

3) Estimated Cost of Project: \$ _____

4) Proposed Start Date: _____ Proposed Completion Date: _____

5) Proposed Dimensions:

Building Size (Length x Width) _____ ft. x _____ ft. = _____ sq. ft. Building Height _____ ft.

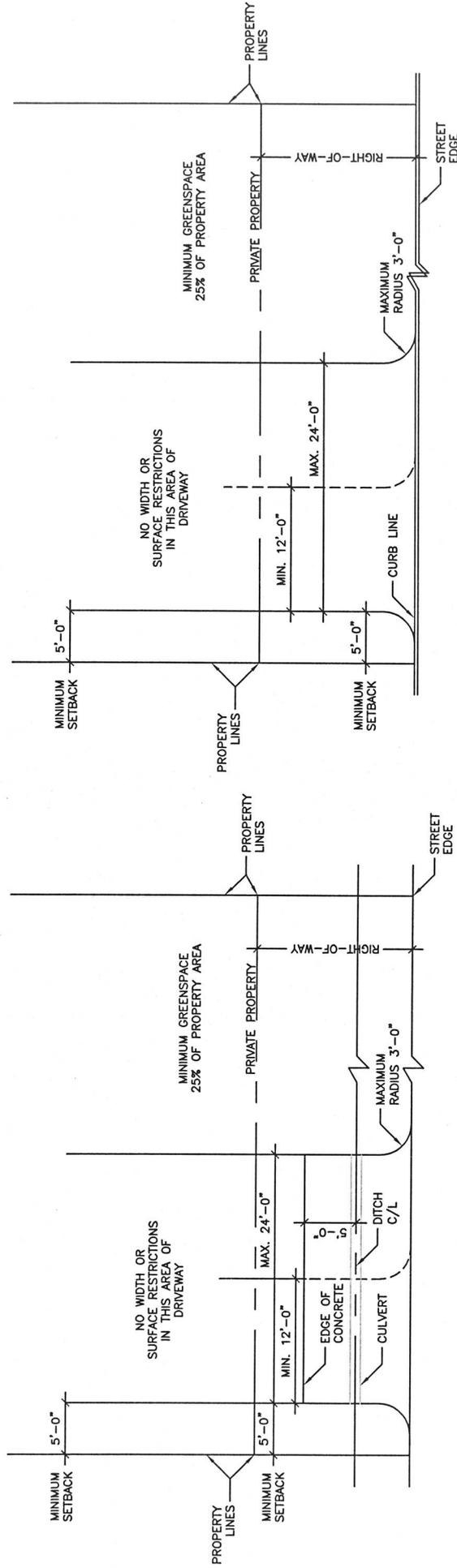
Fence Height _____ ft. Fence Material: _____ Above Ground Pool Height _____ ft.

NOTE: ANY WORK STARTED WITHOUT THE REQUIRED PERMITS OR CONNECTION FEES MAY RESULT IN TRIPLED PERMIT FEE AMOUNTS. The undersigned hereby makes application for this permit to do the work herein described and as shown on the attached Plat of Survey/Site Plan and construction plans, and hereby agrees that all of the work will be done in accordance with all applicable codes and ordinances of the State of Wisconsin, the County of Kenosha and the Village of Pleasant Prairie.

Owner/Contractor Name (PLEASE PRINT): _____

Owner/Contractor Signature: _____ Date: _____

GENERAL GUIDELINES



IF RURAL PROFILE STREET (NO CURB)
 ASPHALT OR GRAVEL FROM POINT MEASURED FROM
 CENTERLINE OF CULVERT FIVE FEET (5') TOWARDS
 FRONT P.V.L. DEPARTMENT WILL
 IF NO CULVERT, PUBLIC WORKS DEPARTMENT WILL
 MARK LOCATION

IF URBAN PROFILE STREET
 (CURB & GUTTER)
 ASPHALT OR CONCRETE ONLY
 IN RIGHT-OF-WAY
 *INSTALL CONTROL JOINT AT PROPERTY LINE
 NOTE: NO CURB CUTTING ALLOWED

VILLAGE OF PLEASANT PRAIRIE
 VPP-BI-0025 RESIDENTIAL DRIVEWAYS

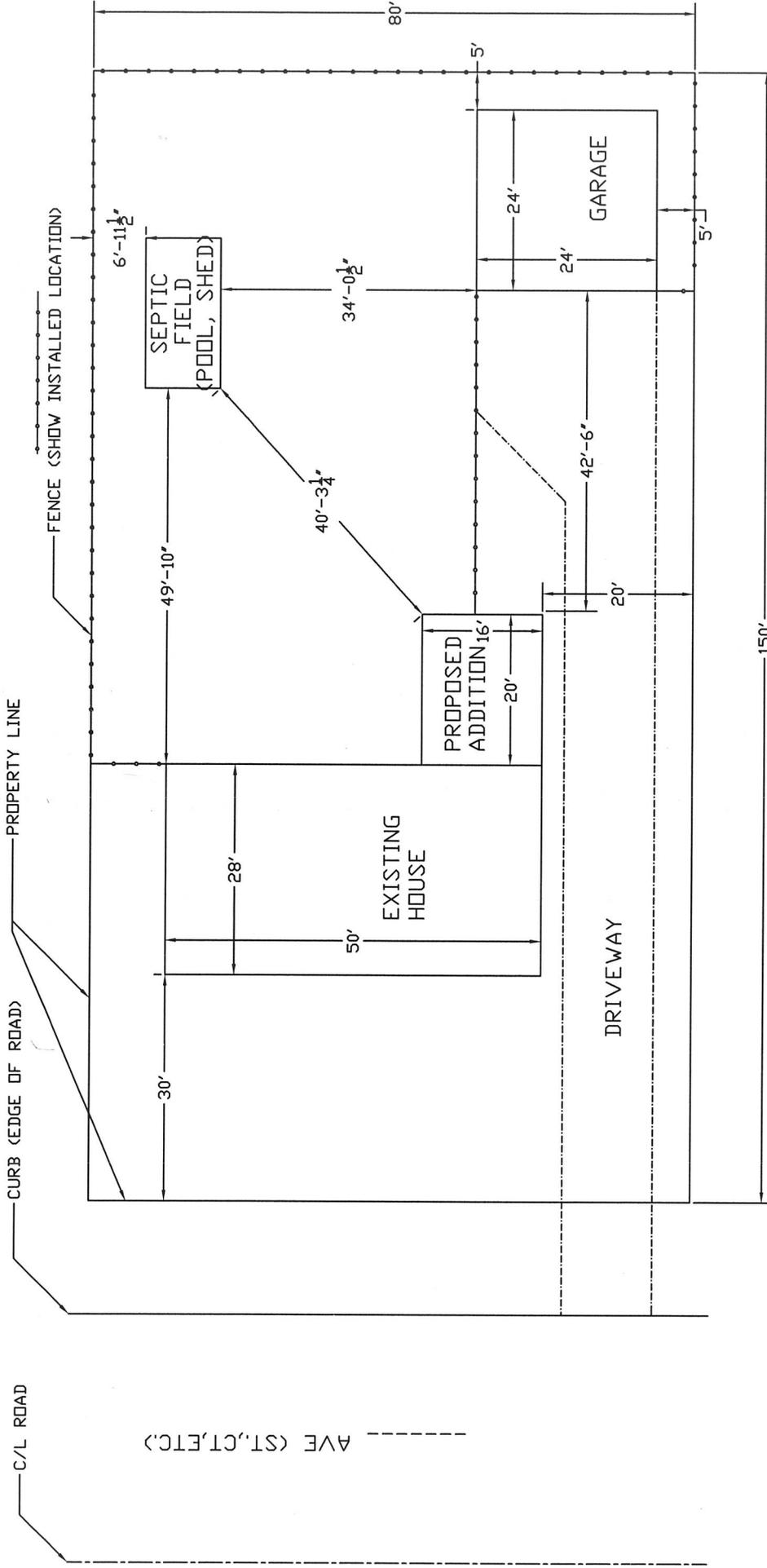
DATE: 9/6/12
 REVISED:

SCALE: NTS

DRAWN BY: KEN ROBERS

APPROVED BY:

EXAMPLE ONLY



VILLAGE OF PLEASANT PRAIRIE
EXAMPLE SITE PLAN

DATE: OCTOBER 2004
 REVISED:

DRAWN BY: KEN ROBERS

SCALE: " = 1'

VPP-BI-0020-I

Village of Pleasant Prairie, WI
Monday, April 22, 2013

Chapter 305. STREETS AND SIDEWALKS

Article I. General Regulations

§ 305-6. Concrete driveways.

[Added 3-5-2001 by Ord. No. 01-11; amended 9-2-2008 by Ord. No. 08-50; 9-4-2012 by Ord. No. 12-30] On municipal streets that are constructed to a rural profile, concrete driveways are not permitted from road edge to five feet from the ditch center line.

- A. Rural profile streets. On municipal streets that are designed and constructed to a rural profile, the construction of a concrete driveway from the road edge to five feet beyond the ditch center line is prohibited. The only improved surface that connects a private drive to this type of public street is either asphaltic cement or No. 2 crushed limestone, compacted with screenings. Nothing in this section shall be construed to limit the construction of a concrete cement driveway on private property. In addition, the width of a driveway between the paved or gravel street edge and the property line shall be a minimum of 12 feet and a maximum of 24 feet; however, a maximum radius of three feet is allowed where the driveway meets the street edge. In no case shall a driveway extend into the right-of-way so as to cross the extension of the side property line unless approved by the Director of Public Works.
- B. Urban profile streets. On municipal streets that are designed and constructed to an urban profile, the construction of a concrete driveway is permitted within the right-of-way. The only type of improved surface that connects a private drive to this type of public street is either asphaltic cement or concrete cement. In addition, the width of a driveway between the street pavement and the property line shall be a minimum of 12 feet and a maximum of 24 feet; however, a maximum radius of three feet is allowed where the driveway meets the street edge. In no case shall a driveway extend into the right-of-way so as to cross the extension of the side property line unless approved by the Superintendent of Streets.
- C. The Director of Public Works will make the determination when the ditch line is not present.