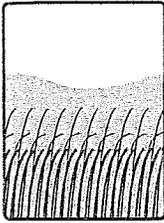


Permit Packet

**Swimming Pools,
Hot Tubs, Spas,
Ponds**



Zoning & Building Permits
Checklist Form

Additions, Alterations, & Accessory Structures - Residential
(including but not limited to: Additions, Alterations, Attached & Detached Garages, Pole Barns, Sheds, Carports, Gazebos, Decks/Porches, Pool/Hot Tub/Spa, Fences, Driveways, Sports Courts, and Satellite Dishes/Residential Tower Antennas)

ALL PERMITS SHALL BE OBTAINED PRIOR TO ANY WORK COMMENCING

The Community Development Department will only accept a complete permit application submittal that includes the following items:

- 1) _____ **FORM: VPP-BI-0031-F "Checklist Form – Additions, Alterations & Accessory Structures – Residential"**
(THIS FORM, Pages 1 & 2): Please complete, sign and return with your application materials.
- 2) _____ **FORM: VPP-BI-0001-F "Standard Application Form"**: Fill out completely including signature.
- 3) _____ **FORM: "Cautionary Statement" SBD-5823**: (Page 3 only) Must be signed by the owner of the property.
- 4) _____ **CONSTRUCTION PLANS OR BLUEPRINTS**: Submit one of the following:

- Addition**: Two complete sets of construction plans
- Alteration**: Two complete sets of construction plans
- Accessory Structure**: Two complete sets of construction plans OR FORM: VPP-BI-0022-F "Accessory Structure Wall Section"

Structure Wall Section"

- Deck/Porch**: Two complete sets of construction plans
- Driveway**: no construction plans required
- Fence**: no construction plans required
- Pool/Hot Tub/Spa, Above Ground**: copy of all brochures for pool, heater, filter, pump
- Pool/Hot Tub/Spa, In Ground**: Two complete sets of construction plans

- 5) _____ **SITE PLAN OR PLAT OF SURVEY**: Submit one of the following (Not required for Interior Alterations):
 - Site Plan**: See VPP-BI-0033-I "Site Plan Requirements" and VPP-BI-0020-I "Sample Site Plan".

OR

Plat of Survey: A Plat of Survey, as prepared by a Wisconsin Registered Land Surveyor, shall be required IF the property is located within or abuts a shoreland, wetland, floodplain, navigable waterway, or if verification of setbacks is questionable.

- 6) _____ **FORM: VPP-BI-0005-F "Electric, Plumbing, HVAC, Exterior (Utility) Plumbing Permit Application"**: IF ANY OF THESE WILL BE INSTALLED OR ALTERED, YOU MUST APPLY FOR THE APPLICABLE PERMITS. If the Village is unable to verify contractor certification through the State of Wisconsin, you may be required to provide a copy of each certification card.

NOTE: Fill out a separate form for each sub-contractor/trade:

- Electrical Permit Application**: Electrical permits will only be issued to a Wisconsin licensed Master Electrician. Submit completed form with appropriate signature.
- Interior Plumbing Permit Application**: Plumbing permits will only be issued to a Wisconsin Certified Master Plumber. Submit completed form with appropriate signature.
- HVAC Permit Application**: HVAC permits will only be issued to a Wisconsin Certified HVAC Contractor or HVAC Qualifier. Submit completed form with appropriate signature
- Exterior Plumbing (Utility Connection) Permit Application**: Exterior Plumbing permits will only be issued to a Wisconsin Certified Utility Contractor, Master Plumber, or Master Plumber-Restricted. Submit completed form with appropriate signature.

- 7) _____ **PROOF OF OWNERSHIP**: If the Village cannot verify current ownership through Kenosha County (example: recent purchases, deeds in error, etc) you may be required to provide a copy of recorded warranty deed or quit claim deed.

- 8) _____ **ANY OTHER ITEMS AS MAY BE REQUIRED DUE TO COVENANT OR OTHER RESTRICTIONS**:

May include:

- Erosion Control Permit, or any other required permits as determined by the Village
- Kenosha County Sanitary Permit or letter of compliance: IF the property is served by a private on-site sewage disposal system, a permit or compliance statement must be submitted with an application for Additions or Alterations.
- written approval from Architectural Control Committee or Developer.
- other (_____)

Checklist for Additions, Alterations & Accessory Structures (Continued)

I, _____ (Print Name), understand that all work shall be done in accordance with the conditionally approved plans and all other local, State or Federal regulations that may be amended from time to time and furthermore I understand the following:

* Each applicant (Owner and Contractor) is charged with the knowledge of Village Zoning Ordinances, Village Municipal Ordinances, and other County, State or Federal requirements related to the proposed project. Copies of the text of the Village Ordinances or portions thereof are available for sale, copying, or inspection upon request. Any statements made, assurance given, or permit erroneously issued contrary to the relevant Ordinances are null and void.

* All applications shall have zoning, building, sanitary, and erosion control approval before a zoning or building permit can be issued.

* All special assessments shall be satisfied before a zoning or building permit can be issued. Contact the Village Treasurer at the Village of Pleasant Prairie.

* Building and zoning permits may require up to ten (10) working days to be processed. If during the Village's review of the application, information is missing or additional information is required the permit will be put on hold until the information is received. The contractor/owner will be contacted and the 10 day review period will re-start when all required information is received.

* It is the responsibility of the contractor to call the Village of Pleasant Prairie, Building Inspection Department for required inspections. (Minimum of 2 business days notice required.) A re-inspection fee will be charged each time an inspection is required once the inspector has made two (2) previous inspections and the inspection has failed for a second time.

* It is illegal for anyone to occupy a structure, including people residing or placing/storing any personal property within the structure, until a Final Inspection passes. (Maximum fine \$500.00 per day.) All structures shall be inspected and approved prior to issuance of Final Certificate of Compliance for Occupancy.

* All related Fees (permits, etc) shall be tripled for work that has commenced prior to issuance of permits.

Signature (Owner/Contractor)

Date

(Part of Ply 4 for Applicants)

Cautionary Statement to Owners Obtaining Building Permits

101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:

(a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

(b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Cautionary Statement to Contractors for Projects Involving Building Built Before 1978

If this project is in a dwelling or child-occupied facility, built before 1978, and disturbs 6 sq. ft. or more of paint per room, 20 sq. ft. or more of exterior paint, or involves windows, then the requirements of ch. DHS 163 requiring Lead-Safe Renovation Training and Certification apply. Call (608)261-6876 or go to the Wisconsin Department of Health Services' lead homepage for details of how to be in compliance

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service center.

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Owner's Signature: _____ Date: _____

Contractor Credential Requirements

All contractors shall possess an appropriate contractor credential issued by the Wisconsin Division of Industry Services. Contractors are also required to only subcontract with contractors that hold the appropriate contractor credentials.



Zoning & Building Inspection Permits Standard Permit Application

(PLEASE PRINT NEATLY)

Job Address: _____ Tax Parcel No.: _____

Subdivision, CSM, Lot #: _____

Owner's Name: _____ Phone #: _____

Mailing Address: _____ Fax #: _____

City, State, Zip: _____ Email: _____

Owner acting as General Contractor (must sign and submit Cautionary Statement Form)
--OR--

General Contractor (Company Name: _____)

Company Contact Name: _____ Phone #: _____

Mailing Address: _____ Fax #: _____

City, State, Zip: _____ Email: _____

*Contractor's Wisconsin Certification # _____ (*Required for all Residential Additions, Alterations, and attached Accessory Structures)

1) Proposed Project:

- ACCESSORY STRUCTURE: (please circle all that apply)
garage / shed / deck / porch / gazebo / pool / hot tub / fence / driveway / residential communication structure/ other: _____
- ADDITION
- ALTERATION OR REMODEL
- OTHER: _____

2) Brief Project Description: (ex. sunroom addition, basement finish, new fence, replace driveway, etc.)

3) Estimated Cost of Project: \$ _____

4) Proposed Start Date: _____ Proposed Completion Date: _____

5) Proposed Dimensions:

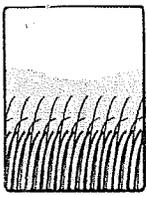
Building Size (Length x Width) _____ ft. x _____ ft. = _____ sq. ft. Building Height _____ ft.

Fence Height _____ ft. Fence Material: _____ Above Ground Pool Height _____ ft.

NOTE: ANY WORK STARTED WITHOUT THE REQUIRED PERMITS OR CONNECTION FEES MAY RESULT IN TRIPLED PERMIT FEE AMOUNTS. The undersigned hereby makes application for this permit to do the work herein described and as shown on the attached Plat of Survey/Site Plan and construction plans, and hereby agrees that all of the work will be done in accordance with all applicable codes and ordinances of the State of Wisconsin, the County of Kenosha and the Village of Pleasant Prairie.

Owner/Contractor Name (PLEASE PRINT): _____

Owner/Contractor Signature: _____ Date: _____



**PLEASANT
PRAIRIE**

Parent A/P # (if applic) _____ - _____ - _____ Permit A/P # _____ - _____ - _____

Permit Application for Single Family and Two-Family Residential Electric, Plumbing, HVAC, or Exterior (Utility) Plumbing

PLEASE FILL OUT A SEPARATE FORM FOR EACH CONTRACTOR

(PLEASE PRINT)

Job Address: _____ Tax Parcel No.: _____

Sub, CSM, Lot #: _____

Owner's Name: _____ Phone#: _____

Mailing Address: _____ City, State, Zip: _____

Electric Plumbing HVAC Utility (Exterior Plumbing) ESTIMATED VALUE: \$ _____

WISCONSIN LICENSE # _____ Email: _____

Company Name: _____ Phone #: _____

Mailing Address: _____ City, State, Zip: _____

ELECTRIC	INTERIOR PLUMBING	HVAC	EXTERIOR (UTILITY) PLUMBING
<input type="checkbox"/> New Electric Service for a new home _____ amp new home (SFR): \$180.00 each new home (2FR): \$360.00 each <input type="checkbox"/> Additional Electric sub-panel \$50.00 per panel <input type="checkbox"/> Generator & Transfer Switch _____ amp \$50.00 per set <input type="checkbox"/> Electric Service Update: FROM _____ amp TO _____ amp And/or: FROM: _____ OH _____ UG TO: _____ OH _____ UG \$100.00 per panel <input type="checkbox"/> Electric Service Repair \$50.00 <input type="checkbox"/> Electric Wiring Extension / Rewiring: _____ sq ft being remodeled or added \$.10/sq ft, min. \$50.00 <input type="checkbox"/> Electric for Swimming Pool, Hot Tub, or Pond \$50.00	# Water Closet/Bidets: _____ # Hose Bibs: _____ # Dishwashers: _____ # Tubs/Shower: _____ # Laundry Trays: _____ # Clothes Washers: _____ # Sump Pump: _____ # Ejector Pit: _____ # Garbage Disposals: _____ # Sinks: _____ # Floor Drains: _____ # Water Heaters: _____ # Water Softeners: _____ Lawn Sprinkler (AVB): _____ # Other (): _____ <input type="checkbox"/> TOTAL FIXTURES: _____ \$10.00 per fixture: new home (SFR): min \$150.00 new home (2FR): min \$300.00 existing home: min \$50.00 <input type="checkbox"/> City of Kenosha Temporary Water Card \$100.10 each, plus above listed Total Fixture fee.	<input type="checkbox"/> New Heating Unit(s) for a new home BTU: _____ new home (SFR): \$150.00 new home (2FR): \$300.00 plus \$25.00 each additional heating unit Existing Home: <input type="checkbox"/> Additional Heating Unit BTU: _____ \$50.00 per unit Describe: _____ <input type="checkbox"/> Furnace BTU: _____ \$50.00 per unit <input type="checkbox"/> Heating Pipe Extension: _____ sq ft being remodeled or added \$.10/sq ft, min. \$50.00 <input type="checkbox"/> Air Conditioner \$50.00 per unit	<input type="checkbox"/> Road Opening/Work in the Right-of-Way \$150.00 <input type="checkbox"/> Water Lateral \$75.00 each <input type="checkbox"/> Sanitary Sewer Lateral \$75.00 each <input type="checkbox"/> Storm Sewer Lateral \$75.00 each <div style="border: 2px solid black; padding: 5px;"> <p>Special Assessment Connection Fees:</p> <p>Property Record Maintenance Fee: (applies to HVAC & PLUMB/ Electric not associated with a construction permit)</p> <input type="checkbox"/> \$15.00</div> <p>Sump grant #: _____</p> <p style="text-align: center;">TOTAL FEES DUE:</p>

Re-inspection fee \$50. Failure to call for inspection fee \$75. Triple permit fee for work started without permit.

Permits may require up to ten (10) working days to be processed.

NOTE: The undersigned Wisconsin Certified Contractor makes application for this permit on behalf of the property owner and therefore takes responsibility for all work for which this permit is issued for in accordance with all applicable State of Wisconsin Codes and all Village of Pleasant Prairie Codes.

WI Certified Contractor Name (PLEASE PRINT): _____

WI Certified Contractor Signature: _____ Date: _____



rev. 9/02
rev 2/04

VILLAGE OF PLEASANT PRAIRIE
SWIMMING POOL REQUIREMENTS
PROPER PERMITS SHALL BE OBTAINED
PRIOR TO CONSTRUCTION OF A SWIMMING POOL

SWIMMING POOL: any structure, including a hot tub, that is intended to hold a minimum of 36 inches of water for recreational or therapeutic purposes, that has electrical service or utilizes a pump and/or a filter; or any structure for recreational or therapeutic purposes that is intended to hold water with a water depth of 42 inches or greater.

1. All permit applications shall include a site plan and a construction plan pursuant to Section 12.17 of the Village Zoning Ordinance (see attached) and the requirements of the National Electric Code.
2. The owner is responsible to ensure that proper inspections are obtained pursuant to the attached Village Zoning Ordinance.
3. Separate permits are required for fences or decks that may be associated with the swimming pool. Checklists for decks or fences can be obtained from the Village.
4. Prior to any electrical work, an electrical permit shall be obtained from a Village Licensed Electrical Contractor. For a list of Village Licensed Electrical Contractors contact the Village at (262) 694-9304.
5. Permit Fees:
 - a. Residential Swimming Pool
 - b. Commercial Swimming Pool, principal use
 - c. Commercial Swimming Pool, accessory use
 - d. Fence
 - e. Deck
 - f. Electrical Permit Residential Swimming Pool
 - g. Electrical Permit Commercial Swimming Pool
 - g. Pool Heater and Gas Piping

*Before digging call Diggers Hotline at 1-800-982-0299
to have all underground utilities marked.*

Village of Pleasant Prairie
Community Development Department
(Planning and Zoning)
9915 39th Avenue
Pleasant Prairie, WI 53158
(262) 925-6717

Village of Pleasant Prairie
Building Inspection Department
9915 39th Avenue
Pleasant Prairie, WI 53158
(262) 694-9304

Village of Pleasant Prairie, WI
Thursday, February 11, 2016

Chapter 420. Zoning Ordinance

Article XII. Swimming Pools

§ 420-83. Zoning permit required.

No person shall construct, repair, replace, install, enlarge, or alter any swimming pool, as defined by this chapter, unless a valid zoning permit for a swimming pool has first been issued pursuant to this chapter and such permit has neither expired nor been suspended or revoked. If work has commenced or is completed without proper permits, the Village may take the appropriate actions to prosecute the violation of this chapter. (See § 420-22 of this chapter for additional information related to a zoning permit for a swimming pool, including but not limited to preconditions, application requirements, incomplete applications, approval or denial of an application, issuance of a permit, binding nature of application, acceptance of permit conditions, time limits, assignment, inspections required, suspension, revocation or voiding a permit, circularity, plan changes, plans on file, invalid permits and disclaimer.)

§ 420-84. Standards for swimming pools.

A swimming pool may be installed in all districts except the C-1, C-3 or FPO District subject to the following requirements:

- A. All reasonable precautions should be taken by the property owner(s) to protect the users of the swimming pool from injury or accident. Convenient means of ingress and egress should be provided, and the depth of the water and any irregularities in the bottom should be clearly indicated. Safety equipment, such as but not limited to life buoys, life hooks and first aid kits, should be provided and be readily accessible.
- B. Said swimming pool shall not be filled with any amount of water until the required swimming pool enclosure pursuant to Subsection **F** has been properly installed and inspected.
- C. It shall be the sole responsibility of the property owner(s) to ensure that the following setbacks are met:
 - (1) Said swimming pool, including the pumps, filters, pool water disinfection equipment and all other accessories, shall be located a minimum of eight feet from any side or rear property line.
 - (2) A swimming pool shall be located a minimum of eight feet from any principal or accessory structure; however a hot tub shall be located a minimum of two feet from any principal or accessory structure.
[Amended 10-17-2005 by Ord. No. 05-49]
 - (3) Said swimming pool shall comply with any and all state, county or Village regulations with respect to the distances from an on-site sewage disposal system or private well(s).
 - (4) Said swimming pool shall not be located within a front street yard.

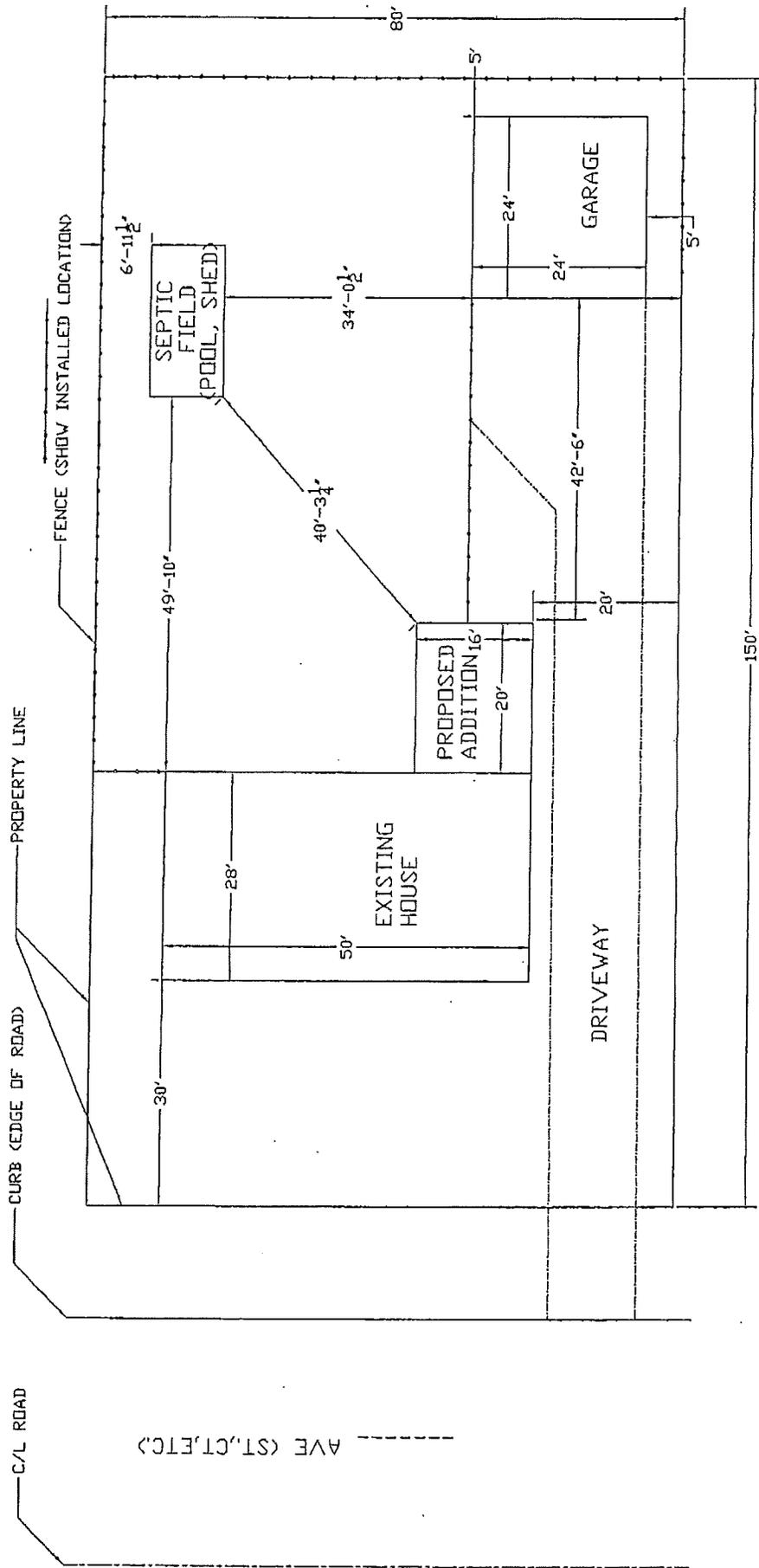
- (5) Said swimming pool may be located within a side street yard or a rear street yard, as defined by this chapter, provided that said swimming pool is located a minimum of 15 feet from the property line adjacent to the right-of-way.
 - (6) A swimming pool shall be located a minimum of 75 feet from the ordinary high-water mark of any navigable body of water, except as provided in § **420-139B(2)(f)**.
[Amended 2-18-2008 by Ord. No. 08-10]
 - (7) Said swimming pool shall be located a minimum of 25 feet from any field-delineated wetlands.
- D. Said swimming pool that incorporates a deck shall meet the requirements of § **420-87** of this chapter.
- E. If a swimming pool is located within an approved principal structure or an accessory structure, then said structure shall meet all of the appropriate setback requirements for that structure.
- F. If the swimming pool is located outside of an approved principal or accessory structure, then one of the following swimming pool enclosures shall be installed and maintained on the property:
[Amended 10-2-2006 by Ord. No. 06-50]
- (1) A four-foot-high residential fence constructed pursuant to § **420-81A** shall be installed that is located in the rear, side and/or rear street yard that completely surrounds the swimming pool.
 - (2) A deck with a railing or a railing/fence attached to the outer edge of the swimming pool shall be installed that completely surrounds the swimming pool, provided that the following requirements are met:
 - (a) The height of the railing/fence shall be a minimum of four feet, as measured from the finished yard grade to the top of the railing/fence; and
 - (b) The yard grade around the perimeter of the swimming pool shall remain level or slope downward away from the swimming pool a minimum of five feet from the base of the swimming pool; and
 - (c) The ladder or steps used as a means of ingress/egress to the swimming pool shall be enclosed with one of the following:
 - [1] A railing/fence with a self-closing and self-locking mechanism that is a minimum of four feet in height as measured from the finished yard grade to the top of the railing/fence and the yard grade shall remain level or slope downward away from the swimming pool a minimum of five feet from the base of the swimming pool; or
 - [2] A railing/fence that is a minimum of four feet in height as measured from the top step of the ladder to the top of the railing/fence which shall have a self-closing and self-locking mechanism; or
 - [3] The ladder or steps that shall be hinged at the top and capable of being raised out of the reach of children with a self-locking mechanism, wherein the self-locking mechanism is a minimum of four feet as measured from the finished yard grade; or
 - [4] A ladder or steps that is covered with a self-enclosing and self-latching barrier.
 - (3) If the outer wall of the swimming pool is a minimum of four feet in height, as measured from the finished yard grade to the top of the swimming pool, and the yard grade around the perimeter of the swimming pool remains level or slopes downward away from the swimming pool a minimum of five feet from the base of the swimming pool, then a railing/fence as specified above in Subsection **F(1)** and **(2)** is not required; provided, however, that the ladder or steps used as a means of ingress/egress to the swimming pool shall be enclosed with one of the following:

- (a) A railing/fence with a self-closing and self-locking mechanism that is a minimum of four feet in height as measured from the finished yard grade to the top of the railing/fence, and the yard grade shall remain level or slope downward away from the swimming pool a minimum of five feet from the base of the swimming pool; or
 - (b) A railing/fence that is a minimum of four feet in height as measured from the top step of the ladder to the top of the railing/fence, which shall have a self-closing and self-locking mechanism; or
 - (c) A ladder or steps that shall be hinged at the top and capable of being raised out of the reach of children with a self-locking mechanism, wherein the self-locking mechanism is a minimum of four feet as measured from the finished yard grade; or
 - (d) The ladder or steps that shall be covered with a self-enclosing and self-latching barrier.
- (4) For hot tubs only: A fitted cover that is capable of supporting a minimum of 100 pounds shall be securely fastened to the outer edge of the hot tub.
- G. Every gate or other opening in the fence or deck enclosing the swimming pool, except an opening to the dwelling or other main building of the premises, shall be kept securely closed and locked at all times when the owner(s) or occupant(s) of the property is not present at such swimming pool. All such gates shall be equipped with self-closing and self-latching devices placed at the top of the gate.
 - H. Any lighting installed in connection with the pool shall be shielded and directed downward onto the yard or pool; the light shall not glare onto adjacent properties or roadways.
 - I. No water drained from a pool shall be discharged over or near any septic tank, septic field or well or onto adjacent properties.
 - J. Said swimming pool shall be in compliance of the National Electrical Code.
 - K. Said swimming pool shall not be located within a utility easement(s) without written permission from the applicable utility company.
 - L. Said swimming pool shall not be located within a drainage easement.
 - M. Said swimming pool shall not be located within any other easement without written permission from the easement grantor and the Village.
 - N. Said swimming pool shall not block, redirect or cause a drainage problem for the adjacent or downstream properties.

§ 420-85. Dilapidated or hazardous swimming pools.

When a swimming pool is declared by the Zoning Administrator, Assistant Zoning Administrator or Deputy Zoning Administrator to be dilapidated or hazardous, the Administrator may order such swimming pool removed or repaired, and if it is not removed or repaired within a reasonable time after notice to the owner(s), the Village may remove the same and charge the cost thereof to the owner(s). Swimming pools in violation of this chapter shall, upon their repair or replacement, be repaired or replaced to meet the requirements of this chapter

EXAMPLE ONLY



VILLAGE OF PLEASANT PRAIRIE
 EXAMPLE SITE PLAN

DATE: OCTOBER 2004
 REVISED:

DRAWN BY: KEN ROBERS

SCALE: ' = 1'

VPP-BI-0020-I