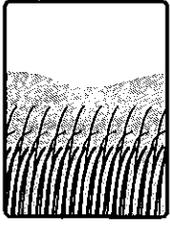


**Permit Packet**

**Decks, Porches**



## Zoning & Building Permits Checklist Form

### Additions, Alterations, & Accessory Structures - Residential (including but not limited to: Additions, Alterations, Attached & Detached Garages, Pole Barns, Sheds, Carports, Gazebos, Decks/Porches, Pool/Hot Tub/Spa, Fences, Driveways, Sports Courts, and Satellite Dishes/Residential Tower Antennas)

#### ALL PERMITS SHALL BE OBTAINED PRIOR TO ANY WORK COMMENCING

The Community Development Department will only accept a complete permit application submittal that includes the following items:

- 1) \_\_\_\_\_ FORM: VPP-BI-0031-F "Checklist Form – Additions, Alterations & Accessory Structures – Residential" (THIS FORM, Pages 1 & 2): Please complete, sign and return with your application materials.
- 2) \_\_\_\_\_ FORM: VPP-BI-0001-F "Standard Application Form": Fill out completely including signature.
- 3) \_\_\_\_\_ FORM: "Cautionary Statement" SBD-5823: (Page 3 only) Must be signed by the owner of the property.
- 4) \_\_\_\_\_ CONSTRUCTION PLANS OR BLUEPRINTS: Submit one of the following:
  - Addition:** Two complete sets of construction plans
  - Alteration:** Two complete sets of construction plans
  - Accessory Structure:** Two complete sets of construction plans OR FORM: VPP-BI-0022-F "Accessory Structure Wall Section"
  - Deck/Porch:** Two complete sets of construction plans
  - Driveway:** no construction plans required
  - Fence:** no construction plans required
  - Pool/Hot Tub/Spa, Above Ground:** copy of all brochures for pool, heater, filter, pump
  - Pool/Hot Tub/Spa, In Ground:** Two complete sets of construction plans
- 5) \_\_\_\_\_ SITE PLAN OR PLAT OF SURVEY: Submit one of the following (Not required for Interior Alterations):
  - Site Plan:** See VPP-BI-0033-I "Site Plan Requirements" and VPP-BI-0020-I "Sample Site Plan".
  - OR**
  - Plat of Survey:** A Plat of Survey, as prepared by a Wisconsin Registered Land Surveyor, shall be required IF the property is located within or abuts a shoreland, wetland, floodplain, navigable waterway, or if verification of setbacks is questionable.
- 6) \_\_\_\_\_ FORM: VPP-BI-0005-F "Electric, Plumbing, HVAC, Exterior (Utility) Plumbing Permit Application": IF ANY OF THESE WILL BE INSTALLED OR ALTERED, YOU MUST APPLY FOR THE APPLICABLE PERMITS. If the Village is unable to verify contractor certification through the State of Wisconsin, you may be required to provide a copy of each certification card.  
NOTE: Fill out a separate form for each sub-contractor/trade:
  - Electrical Permit Application:** Electrical permits will only be issued to a Wisconsin licensed Master Electrician. Submit completed form with appropriate signature.
  - Interior Plumbing Permit Application:** Plumbing permits will only be issued to a Wisconsin Certified Master Plumber. Submit completed form with appropriate signature.
  - HVAC Permit Application:** HVAC permits will only be issued to a Wisconsin Certified HVAC Contractor or HVAC Qualifier. Submit completed form with appropriate signature
  - Exterior Plumbing (Utility Connection) Permit Application:** Exterior Plumbing permits will only be issued to a Wisconsin Certified Utility Contractor, Master Plumber, or Master Plumber-Restricted. Submit completed form with appropriate signature.
- 7) \_\_\_\_\_ PROOF OF OWNERSHIP: If the Village cannot verify current ownership through Kenosha County (example: recent purchases, deeds in error, etc) you may be required to provide a copy of recorded warranty deed or quit claim deed.
- 8) \_\_\_\_\_ ANY OTHER ITEMS AS MAY BE REQUIRED DUE TO COVENANT OR OTHER RESTRICTIONS:  
May include:
  - Erosion Control Permit, or any other required permits as determined by the Village
  - Kenosha County Sanitary Permit or letter of compliance: IF the property is served by a private on-site sewage disposal system, a permit or compliance statement must be submitted with an application for Additions or Alterations.
  - written approval from Architectural Control Committee or Developer.
  - other ( \_\_\_\_\_ )

**Checklist for Additions, Alterations & Accessory Structures (Continued)**

I, \_\_\_\_\_ (Print Name), understand that all work shall be done in accordance with the conditionally approved plans and all other local, State or Federal regulations that may be amended from time to time and furthermore I understand the following:

\* Each applicant (Owner and Contractor) is charged with the knowledge of Village Zoning Ordinances, Village Municipal Ordinances, and other County, State or Federal requirements related to the proposed project. Copies of the text of the Village Ordinances or portions thereof are available for sale, copying, or inspection upon request. Any statements made, assurance given, or permit erroneously issued contrary to the relevant Ordinances are null and void.

\* All applications shall have zoning, building, sanitary, and erosion control approval before a zoning or building permit can be issued.

\* All special assessments shall be satisfied before a zoning or building permit can be issued. Contact the Village Treasurer at the Village of Pleasant Prairie.

\* Building and zoning permits may require up to ten (10) working days to be processed. If during the Village's review of the application, information is missing or additional information is required the permit will be put on hold until the information is received. The contractor/owner will be contacted and the 10 day review period will re-start when all required information is received.

\* It is the responsibility of the contractor to call the Village of Pleasant Prairie, Building Inspection Department for required inspections. (Minimum of 2 business days notice required.) A re-inspection fee will be charged each time an inspection is required once the inspector has made two (2) previous inspections and the inspection has failed for a second time.

\* It is illegal for anyone to occupy a structure, including people residing or placing/storing any personal property within the structure, until a Final Inspection passes. (Maximum fine \$500.00 per day.) All structures shall be inspected and approved prior to issuance of Final Certificate of Compliance for Occupancy.

\* All related Fees (permits, etc) shall be tripled for work that has commenced prior to issuance of permits.

\_\_\_\_\_  
Signature (Owner/Contractor)

\_\_\_\_\_  
Date

(Part of Ply 4 for Applicants)

### Cautionary Statement to Owners Obtaining Building Permits

101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:

(a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

(b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

### Cautionary Statement to Contractors for Projects Involving Building Built Before 1978

If this project is in a dwelling or child-occupied facility, built before 1978, and disturbs 6 sq. ft. or more of paint per room, 20 sq. ft. or more of exterior paint, or involves windows, then the requirements of ch. DHS 163 requiring Lead-Safe Renovation Training and Certification apply. Call (608)261-6876 or go to the Wisconsin Department of Health Services' lead homepage for details of how to be in compliance

### Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service center.

### Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

### Contractor Credential Requirements

All contractors shall possess an appropriate contractor credential issued by the Wisconsin Division of Industry Services. Contractors are also required to only subcontract with contractors that hold the appropriate contractor credentials.



# Zoning & Building Inspection Permits Standard Permit Application

(PLEASE PRINT NEATLY)

Job Address: \_\_\_\_\_ Tax Parcel No.: \_\_\_\_\_

Subdivision, CSM, Lot #: \_\_\_\_\_

Owner's Name: \_\_\_\_\_ Phone #: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Fax #: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_ Email: \_\_\_\_\_

Owner acting as General Contractor (must sign and submit Cautionary Statement Form)  
--OR--

General Contractor (Company Name: \_\_\_\_\_)

Company Contact Name: \_\_\_\_\_ Phone #: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Fax #: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_ Email: \_\_\_\_\_

\*Contractor's Wisconsin Certification # \_\_\_\_\_ (\*Required for all Residential Additions, Alterations, and attached Accessory Structures)

### 1) Proposed Project:

- ACCESSORY STRUCTURE: (please circle all that apply)  
garage / shed / deck / porch / gazebo / pool / hot tub / fence / driveway / residential communication structure/ other: \_\_\_\_\_
- ADDITION
- ALTERATION OR REMODEL
- OTHER: \_\_\_\_\_

### 2) Brief Project Description: (ex. sunroom addition, basement finish, new fence, replace driveway, etc.)

\_\_\_\_\_  
\_\_\_\_\_

### 3) Estimated Cost of Project: \$ \_\_\_\_\_

4) Proposed Start Date: \_\_\_\_\_ Proposed Completion Date: \_\_\_\_\_

### 5) Proposed Dimensions:

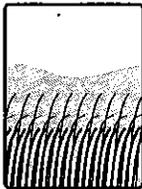
Building Size (Length x Width) \_\_\_\_\_ ft. x \_\_\_\_\_ ft. = \_\_\_\_\_ sq. ft. Building Height \_\_\_\_\_ ft.

Fence Height \_\_\_\_\_ ft. Fence Material: \_\_\_\_\_ Above Ground Pool Height \_\_\_\_\_ ft.

NOTE: ANY WORK STARTED WITHOUT THE REQUIRED PERMITS OR CONNECTION FEES MAY RESULT IN TRIPLED PERMIT FEE AMOUNTS. The undersigned hereby makes application for this permit to do the work herein described and as shown on the attached Plat of Survey/Site Plan and construction plans, and hereby agrees that all of the work will be done in accordance with all applicable codes and ordinances of the State of Wisconsin, the County of Kenosha and the Village of Pleasant Prairie.

Owner/Contractor Name (PLEASE PRINT): \_\_\_\_\_

Owner/Contractor Signature: \_\_\_\_\_ Date: \_\_\_\_\_



**PLEASANT  
PRAIRIE**

Parent A/P # (if applic) \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ Permit A/P # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

**Permit Application for Single Family and Two-Family Residential  
Electric, Plumbing, HVAC, or Exterior (Utility) Plumbing**

PLEASE FILL OUT A SEPARATE FORM FOR EACH CONTRACTOR

(PLEASE PRINT)

**Job Address:** \_\_\_\_\_ **Tax Parcel No.:** \_\_\_\_\_

**Sub, CSM, Lot #:** \_\_\_\_\_

**Owner's Name:** \_\_\_\_\_ **Phone#:** \_\_\_\_\_

**Mailing Address:** \_\_\_\_\_ **City, State, Zip:** \_\_\_\_\_

Electric  Plumbing  HVAC  Utility (Exterior Plumbing) ESTIMATED VALUE: \$ \_\_\_\_\_

**WISCONSIN LICENSE #** \_\_\_\_\_ **Email:** \_\_\_\_\_

**Company Name:** \_\_\_\_\_ **Phone #:** \_\_\_\_\_

**Mailing Address:** \_\_\_\_\_ **City, State, Zip:** \_\_\_\_\_

ELECTRIC	INTERIOR PLUMBING	HVAC	EXTERIOR (UTILITY) PLUMBING
<input type="checkbox"/> New Electric Service for a new home _____ amp new home (SFR): \$180.00 each new home (2FR): \$360.00 each  <input type="checkbox"/> Additional Electric sub-panel \$50.00 per panel  <input type="checkbox"/> Generator & Transfer Switch _____ amp \$50.00 per set  <input type="checkbox"/> Electric Service Update: FROM _____ amp TO _____ amp And/or: FROM: _____ OH _____ UG TO: _____ OH _____ UG \$100.00 per panel  <input type="checkbox"/> Electric Service Repair \$50.00  <input type="checkbox"/> Electric Wiring Extension / Rewiring: _____ sq ft being remodeled or added \$.10/sq ft, min. \$50.00  <input type="checkbox"/> Electric for Swimming Pool, Hot Tub, or Pond \$50.00	# Water Closet/Bidets: _____ # Hose Bibs: _____ # Dishwashers: _____ # Tubs/Showers: _____ # Laundry Trays: _____ # Clothes Washers: _____ # Ejector Pit: _____ # Garbage Disposals: _____ # Sinks: _____ # Floor Drains: _____ # Water Heaters: _____ # Water Softeners: _____ Lawn Sprinkler (AVB): _____ # Other ( ): _____  <input type="checkbox"/> TOTAL FIXTURES: _____ \$10.00 per fixture: new home (SFR): min \$150.00 new home (2FR): min \$300.00 existing home: min \$50.00  <input type="checkbox"/> City of Kenosha Temporary Water Card \$100.10 each, plus above listed Total Fixture fee.	<input type="checkbox"/> New Heating Unit(s) for a new home BTU: _____ new home (SFR): \$150.00 new home (2FR): \$300.00 plus \$25.00 each additional heating unit  Existing Home:  <input type="checkbox"/> Additional Heating Unit BTU: _____ \$50.00 per unit Describe: _____  <input type="checkbox"/> Furnace BTU: _____ \$50.00 per unit  <input type="checkbox"/> Heating Pipe Extension: _____ sq ft being remodeled or added \$.10/sq ft, min. \$50.00  <input type="checkbox"/> Air Conditioner \$50.00 per unit	<input type="checkbox"/> Road Opening/Work in the Right-of-Way \$150.00  <input type="checkbox"/> Water Lateral \$75.00 each  <input type="checkbox"/> Sanitary Sewer Lateral \$75.00 each  <input type="checkbox"/> Storm Sewer Lateral \$75.00 each  <div style="border: 2px solid black; padding: 5px;">                     Special Assessment Connection Fees:                       Property Record Maintenance Fee: (applies to HVAC &amp; PLUMB/ Electric not associated with a construction permit)  <input type="checkbox"/> \$15.00                       Sump grant #: _____   <b>TOTAL FEES DUE:</b> </div>

Re-inspection fee \$50. Failure to call for inspection fee \$75. Triple permit fee for work started without permit.

**Permits may require up to ten (10) working days to be processed.**

NOTE: The undersigned Wisconsin Certified Contractor makes application for this permit on behalf of the property owner and therefore takes responsibility for all work for which this permit is issued for in accordance with all applicable State of Wisconsin Codes and all Village of Pleasant Prairie Codes.

**WI Certified Contractor Name (PLEASE PRINT):** \_\_\_\_\_

**WI Certified Contractor Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_



<a href="#">Search</a>	Village of Pleasant Prairie, WI	<a href="#">Index</a>
<a href="#">Standard View</a>	CHAPTER 420. ZONING ORDINANCE	<a href="#">New Laws</a>
<a href="#">§ 420-86. Residential detached ...</a>	<a href="#">ARTICLE XIII. Other Accessory Structures</a>	<a href="#">§ 420-88. Residential sport courts.</a>

*This electronic version is provided for informational purposes only. For the official version please contact the municipality.*

§ 420-87. Residential decks and porches.

A. Zoning permit required. No person shall construct, repair, replace, install, enlarge, or alter any deck or porch unless a valid zoning permit for said structure has first been issued pursuant to this chapter and such permit has neither expired nor been suspended or revoked. If a work has commenced or is completed without proper permits, the Village may take the appropriate actions to prosecute the violation of this chapter. (See [§ 420-22](#) of this chapter for additional information related to a zoning permit for a deck or porch, including but not limited to preconditions, application requirements, incomplete applications, approval or denial of an application, issuance of a permit, binding nature of application, acceptance of permit conditions, time limits, assignment, inspections required, suspension, revocation or voiding a permit, circularity, plan changes, plans on file, invalid permits and disclaimer.)

B. Standards for decks and porches (including steps or stairs):

- (1) May encroach up to 10 feet into the rear yard of the underlying zoning district, provided that the deck or porch is not closer than three feet to the rear lot line.
- (2) May encroach up to seven feet into the side yard of the underlying zoning district, provided the deck or porch is not closer than three feet to the side lot line.
- (3) Shall be set back 10 feet from any wetland on the property and three feet from wetlands on an adjacent property.
- (4) Shall be set back a minimum of 75 feet from the ordinary high-water mark of any navigable waterway, except as provided in [§ 420-139B\(2\)\(f\)](#).

[Amended 2-18-2008 by Ord. No. 08-10]

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<a href="#">Search</a>	<a href="#">[Contents]</a>	<a href="#">Index</a>
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## Deck Construction Requirements Building Standards

### I) DEFINITIONS

- A. Deck: Any structure which serves as a raised horizontal platform on a floor constructed of wood or other materials, without enclosing walls or roof.
- B. Attached Deck: Any deck which is physically connected to the principal building or accessory building; or any deck used for exiting purposes, whether or not physically attached.
- C. Detached Deck: Any deck which is not physically attached to the principal building or accessory structure.

### II) SOIL & EXCAVATION REQUIREMENTS FOR DECK PIERS OR FOUNDATIONS

- A. No pier shall be placed on soil with a bearing capacity of less than 2,000 pounds (lbs) per square foot unless the pad support is designed through structural analysis.
- B. All organic material (roots, etc) shall be cut off at the sidewalls of the borings or trench. All organic and loose material must be removed from the cavity area prior to pouring concrete.

### III) DECK PIERS, PADS AND FOUNDATIONS

- A. General footings, pads or piers shall be of adequate bearing area to safely distribute all live and dead loads to the supporting soil without exceeding the bearing capacity of the soil.
- B. Type and size of concrete pads, piers or foundations.
  - 1. Decks attached to Principal buildings and detached decks used as an exit from the Principal building:
    - a. Concrete Pads: The minimum depth of a pad shall be 48" below grade. The minimum dimensions of this pad shall be 4" in depth and 8" in diameter.
    - b. Piers: The minimum depth of concrete piers shall be 48" below grade. The minimum dimensions of this pier shall be 8" in diameter. (The concrete pier(s) shall extend a minimum of 6" above grade unless an approved mounting bracket is secured at the top surface of the pier(s).

### IV) FRAMING

#### A. GENERAL REQUIREMENTS:

- 1. Materials: All wood framing used in deck construction shall be pressure-treated against decay or shall be a species of wood that is natural decay resistant.
- 2. Design Loading: Decks shall be designed for a minimum of a 40 pounds per square foot loading.

#### B. COLUMN POSTS:

- 1. Column posts shall be spaced per UDC COMM 21.22.
- 2. Column Size (Measured from grade to deck joists):
  - a. All column posts not exceeding six (6) feet in height shall be a minimum of four inches by four inches (4x4) nominal thickness.
  - b. All column posts exceeding six (6) feet in height shall be a minimum of six inches by six inches (6x6) nominal thickness.
- 3. Lateral Support: Decks over four (4) feet in height above grade shall be constructed in such a manner or mechanically attached to the deck foundation to resist lateral movement.

### V) BEAMS

#### A. BEAM SIZE:

- 1. All beams shall be sized per UDC COMM 21.22.

2. Beams shall be a minimum of two (2), two (2) inch thick members; or one (1), four (4) inch thick member. (i.e., 2-2x8 or 1-4x8)
3. Beams may be spaced on each side of the post provided that blocking is installed a minimum of twenty-four (24) inches on center between the beam members.

**B. BEARING:**

1. Beams bearing directly on posts shall be attached by means of approved metal anchors or other approved methods.

**C. LEDGER BOARDS:**

1. Ledger Boards(s) attached directly to the house or other structures may be used to replace a beam or beams. A single member of equal depth to the required size beam shall be used. The ledger board shall be attached with bolts, lag bolts, or nails spaced no less than sixteen (16) inches on center for 16D penny nails and 24 inches on center for 3/8" bolts or lag bolts, secured directly into the building structure. Flashing shall be installed between the ledger and building structure siding.

**VI) JOISTS**

**A. JOIST SIZE:**

1. All deck joists shall be sized and spaced per UDC COMM 21.22.

**B. BEARING:**

1. Deck joints shall bear a minimum of one and one half (1-1/2) inches on the beam or ledger board. Joists fastened to the face of the beam or ledger shall be attached with approved metal hangers.

**C. HANGERS:**

1. Shall be fastened in place by the use of approved hanger nails.

**D. OVERHANGING OF JOISTS:**

1. Joists, which are at right angles to the supporting beam, shall not be cantilevered more than two (2) feet past the supporting beam, unless designed by structural analysis.

**VII) DECKING**

**A. MATERIAL:**

1. All decking material shall be a minimum of one and one quarter (1-1/4) inches thick, nominal thickness. One (1) inch decking may be used provided that the joists are spaced no more than 16" on center.

**B. DECKING ORIENTATION:**

1. Decking shall be installed diagonally or at right angles to the joist.
2. Decking shall be centered over joists with cuts made at right angles to joists. Not more than two (2) adjacent boards may break joints on the same joist except at ends and at openings.

**VIII) GUARDRAILS AND HANDRAILS**

**A. GUARDRAILS:**

1. All decks, which are more than 24 inches above grade, shall be protected with guardrails.

**B. HANDRAILS:**

1. Every stairway of more than three (3) risers or 24" shall be provided with at least one handrail. Handrails shall be provided on all open sides of stairways.

**C. GUARDRAILS AND HANDRAIL DETAILS:**

**1. Height:**

- a. Handrails shall be located at least 30 inches, but not more than 34 inches, above the nosing of the treads. Guardrails shall be located 36 inches above the surface of the deck.

**2. Open Railings:**

- a. Open guardrails or handrails shall be provided with intermediate rails or an ornamental pattern to prevent the passage of sphere with a diameter greater than four (4) inches.

3. Railing Loads:

- a. Handrails and guardrails shall be designed and constructed to withstand a 200 pound load applied in any direction.

**IX) STAIRWAY – TREADS AND RISERS**

A. RISERS:

1. Risers shall not exceed eight (8) inches in height measured from tread to tread.

B. TREADS:

1. Treads shall be at least nine (9) inches wide, measured horizontally from nose to nose.

C. VARIATION:

1. There shall be no variation in uniformity exceeding 3/16 inch in the width of a tread or in the height of risers.

D. STAIR STRINGERS:

1. Shall be supported in accordance in the same manor as used for the deck.

**X) ALTERNATE PROVISIONS AND METHODS**

A. WOOD DECKS: Wood decks attached to the dwelling and detached decks used as an exit from the dwelling may be constructed to the Uniform Dwelling Code standards listed below:

1. Excavation requirements of UDC COMM 21.25
2. Footing requirements of UDC COMM 21.15(1)(F)
3. Frost penetration requirements of UDC COMM 21.16
4. Load requirements of UDC COMM 21.02
5. Stair, handrail and guardrail requirements of UDC COMM 21.04
6. Decay protection requirements of UDC COMM 21.10

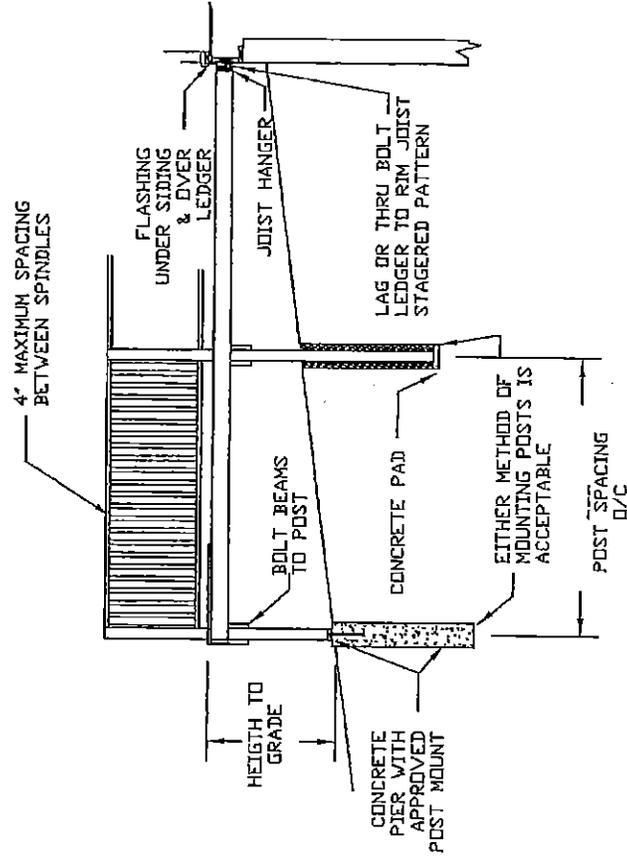
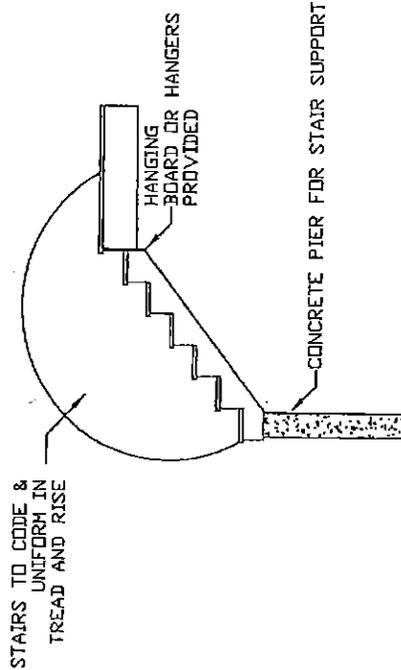
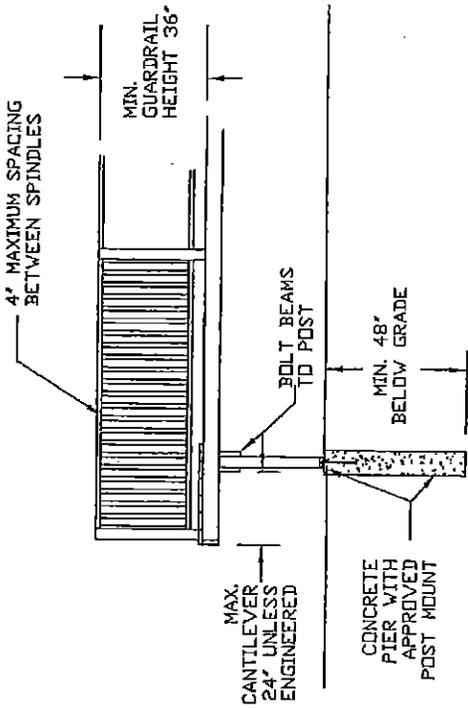
B. NEW MATERIALS AND METHODS:

1. Shall comply with the provisions of UDC COMM 20-25.

C. DETACHED DECKS MUST HAVE:

1. Concrete pads shall be provided at a uniform depth below grade with all loose or organic material removed from the pad area prior to placement of concrete.
2. Piers: The minimum 8" diameter concrete piers shall be at a uniform depth below grade.
3. Direct burial wood posts shall be placed on a minimum 2" nominal pressure treated plate or other approved materials at a uniform depth below grade. Posts shall be treated to CCA.60 for direct soil contact.
4. Ground contact framing shall be allowed for decks which are less than 24" above grade. All materials in direct contact with the soil shall be treated to CCA.60.





NOTE: GUARD RAILS ONLY  
REQUIRED ON DECKS  
THAT ARE 24" OR MORE  
ABOVE GRADE

EXAMPLE ONLY

# VILLAGE OF PLEASANT PRAIRIE

## DECK EXAMPLE ELEVATION VIEW

DATE: 2/23/05  
REVISED:

DRAWN BY: KEN ROBERS

SCALE: NTS

VPP-BI-0081-I



**For fastening wood joists, composite beams or other engineered wood components, Strong-Tie has no equal!**

No matter what the design challenge for wood web or other engineered wood components, Simpson Strong-Tie has a connector engineered to meet your requirements. We offer the largest selection of hangers available for engineered lumber.

Working closely with the major component manufacturers, we are constantly developing new products to meet the needs of manufactured wood products. One example is our line of LSSU hangers, designed to be slope/skew-adjustable on the job site to save valuable time.

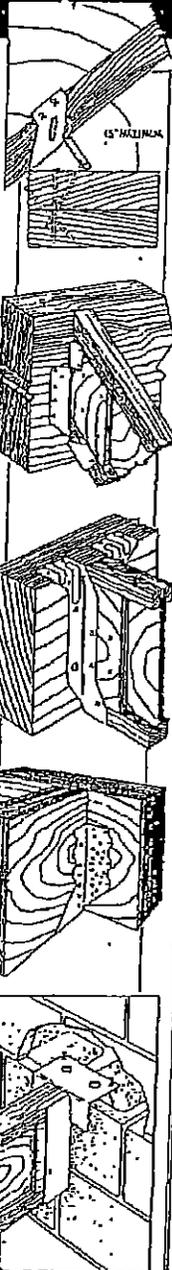
Often, these connectors are in stock at our local dealers for same day quick shipment!

So if you're specifying, buying or installing composite wood products, look to Strong-Tie Connectors to make your life easier, save time and assure superior construction!

**FREE COMPOSITE WOOD PRODUCTS CATALOG**



Contains illustrated how-to-do-it installation information.



**SIMPSON STRONG-TIE<sup>®</sup> COMPANY, INC.**  
 Sales Offices and Manufacturing:  
 Brez, CA • Columbus, OH  
 McKinney, TX • San Leandro, CA

National Toll-Free: 1-800-999-5099  
 Circle #197 on Reader Service Card

## Bolting Schedule for Deck Bands

Joist Span	6'	7'	8'	9'	10'	11'	12'	13'	14'	15'	16'
Bolt Size	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	5/8"	5/8"
Bolt Spacing	24"	24"	18"	18"	16"	12"	12"	12"	12"	12"	12"
16d Nail Spacing	9"	8"	7"	6"	5"	5"	4"	4"	4"	3"	3"

Note: This table assumes a deck design load of 50 psf (40 psf live load, 10 psf dead load), and Southern Pine 2-by dimension lumber. As an example, for a deck spanning 8 feet, you can use 1/2-inch bolts on 18-inch centers or 5/8-inch bolts on 24-inch centers.

band, it's cheap insurance if 63 people ever happen to be eating barbecue on that deck.

I have developed a table (see above) that gives the code-required bolt spacing for the conditions described above: 1 1/2-inch-thick Southern Pine bands loaded across the grain. It gives an acceptable bolt size and spacing for spans from 6 to 16 feet. If you have more load than the standard 40 psf, or if you frame with a less dense wood (Spruce-Pine-Fir, for example, is less than 80% as dense as Southern Pine), then you can have your engineer develop a similar table.

**Leg screws and nails.** The table also gives a schedule for 16-penny nails, for builders who so choose. I prefer bolts because they're easier to inspect and easier to take out if you ever have to remove the deck. Where you can't get access for a through-bolt, lag screws are my second choice; substitute the same diameter as the bolt required. Either lag screws or bolts are obviously much beefier than nails, so will resist long-term corrosion better than nails.

### Nailed Ledgers Inadequate

There are two more important points to make. First, if 1/2-inch bolts 12 inches on-center are required for a 14-foot deck span, how many nails do you suppose are required to properly transfer the load from joists to band through that 2x2 ledger strip you may have used in the past to support deck

joists? Trust me, it's more than you want to put through that skinny, split-prone member. Please use joist hangers in this situation; they're far more reliable.

Also, the bolt capacities given by the NDS assume that you're dealing with good sound material. Rot and termites can reduce those numbers to zero in a hurry. Like the decking and joists, the deck band is always pressure-treated. Buy yourself a little more cheap insurance and install a pressure-treated band at the house wherever a deck (or screened porch or similar space) will be bolted to it. It won't do much good if the deck band is sound but the one at the house rots out.

### Ounce of Prevention

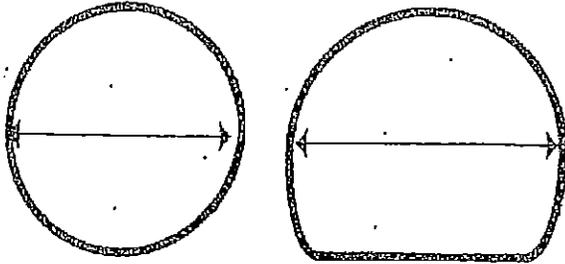
I'll admit this column is a little preachy. Unfortunately, CABO and other residential codes aren't explicit enough about proper deck support for my tastes. Even so, most decks with less bolting than is really required by code are still standing. But that may only be because there are safety factors built into the design values and because, more significantly, not everyone hosts a 63-person picnic.

Fortunately, no one in Atlanta died from the collapse of that deck. But proper bolting in the first place might have avoided the trouble altogether. ■

Christopher DeBlois is a structural engineer with Palmer Engineering, in Chamblee, Ga.

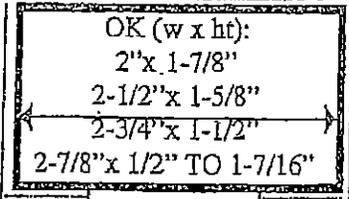
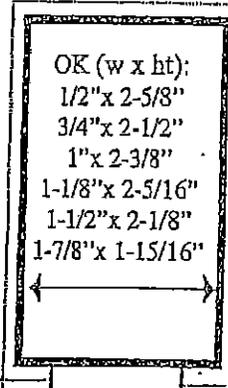
# 21.04(2)(a)5. HANDRAIL SHAPES

## ROUND



MAXIMUM 2"  
DIAMETER

## RECTANGULAR

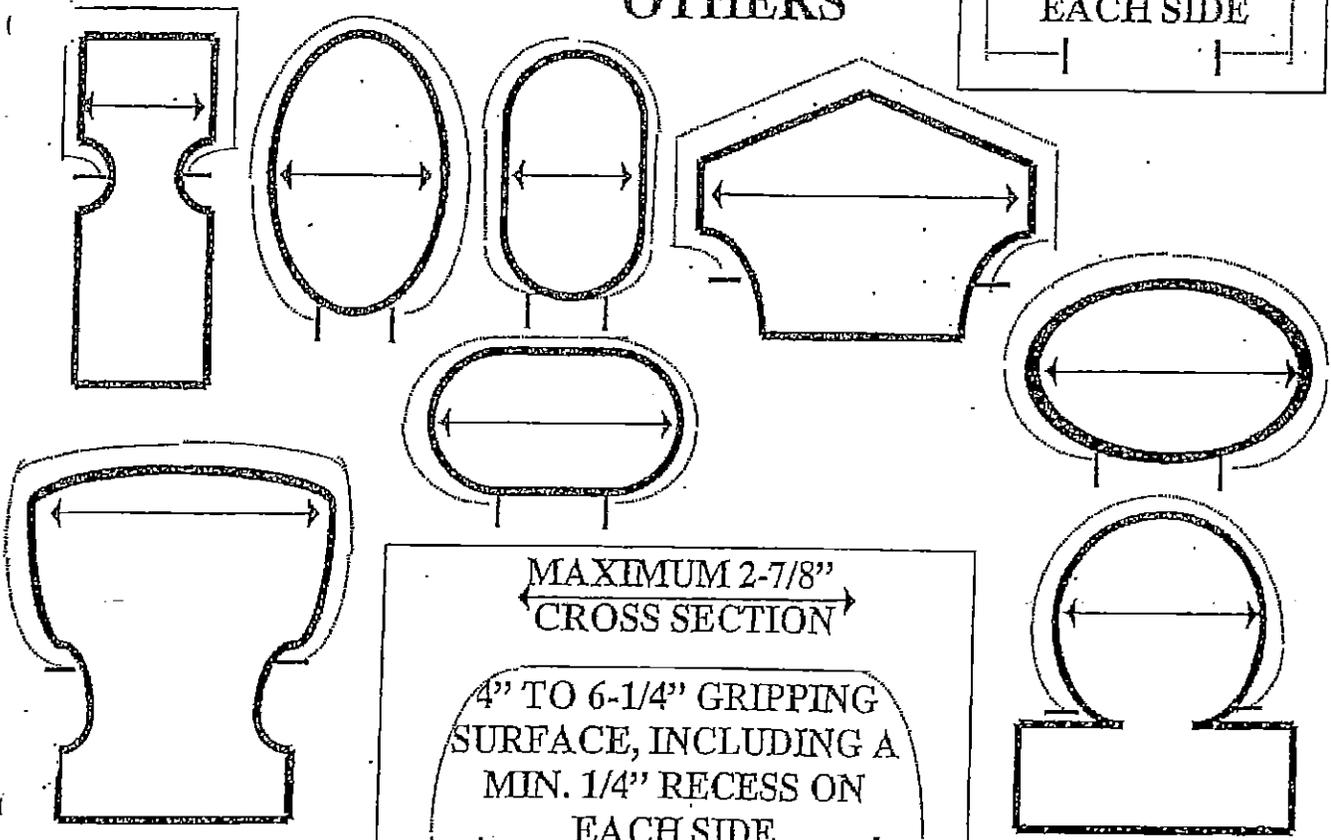


OK (w x ht):  
2" x 1-7/8"  
2-1/2" x 1-5/8"  
2-3/4" x 1-1/2"  
2-7/8" x 1/2" TO 1-7/16"

MAXIMUM 2-7/8"  
CROSS SECTION

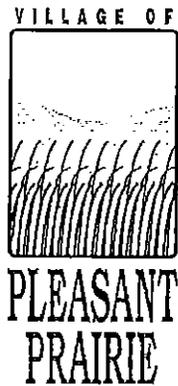
MAX. 6-1/4"  
GRIPPING  
SURFACE INCL.  
MIN. 1/4"  
RECESS ON  
EACH SIDE

## OTHERS



MAXIMUM 2-7/8"  
CROSS SECTION

4" TO 6-1/4" GRIPPING  
SURFACE, INCLUDING A  
MIN. 1/4" RECESS ON  
EACH SIDE



## Plat of Survey Requirements Information Sheet

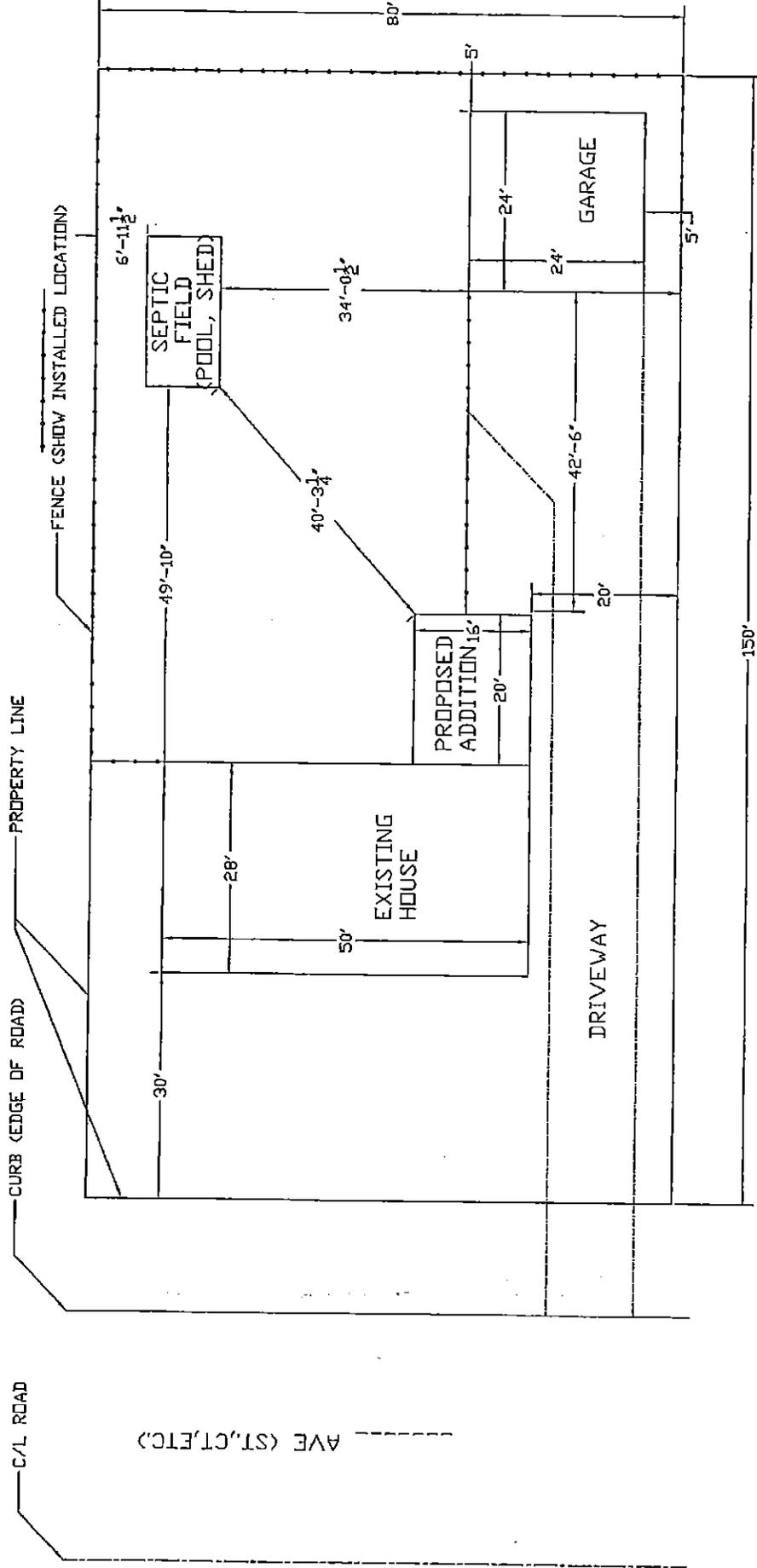
The Plat of Survey must be prepared by a Wisconsin Registered Land Surveyor and shall comply with the requirements of Section 236.34 of the Wisconsin Statutes, as amended from time to time and all the requirements of the Village Ordinances.

A Plat of Survey shall include the following:

1. Property site boundaries and adjacent lands that accurately identify the site location including a graphic scale and north arrow. Names and addresses of the applicant, owner of the site, and Wisconsin Registered Land Surveyor.
2. Existing and proposed road right-of-way lines and road names on site and adjacent to the site. Location of Lakes, streams, wetlands, shore lands, channels, ditches and other water courses and/or the 100-year floodplain on and immediately adjacent to the site, where applicable.
3. Location and dimensions of storm water drainage systems and/or direction of natural drainage patterns on and immediately adjacent to the site, including utility easements and the location of any wells, septic fields or holding tanks and their distances from lot lines and structures.
4. Existing and proposed elevations at the property corners and at all corners of the proposed structure(s), and benchmark elevation.
5. All existing and proposed street, side, rear, shore yard and wetland setbacks from all existing or proposed structures to the lot lines or ordinary high water mark. All street yard setbacks of structures on adjacent lots shall be shown to determine building site lines.
6. The location of the permanent residential driveway with setbacks to the side property lines. The driveway shall be a minimum of 5 feet from the property line and shall not be placed over sanitary sewer and water lines that may be brought to the house.
7. Location of construction entrances (graveled driveway) including the location of on-site parking area for construction vehicles (graveled and paved parking area) if different from the residential driveway.
8. The location of all existing and proposed structures with grades as required by following Village of Pleasant Prairie Municipal Code.
  - a. Existing grade levels at property lines will not be altered or changed to an appreciable extent in relation to grade levels of adjoining property. Grade is defined as the highest elevation taken at top of foundation wall. Finish grade assumed to be .66 feet below top of wall elevation.
  - b. Plat of Survey for new residential dwellings will reference the following elevation points: 1) Crown of road at center line of lot; 2) Existing elevations at new dwelling corners; 3) Highest point of proposed foundation; and 4) Finish grade at foundation of abutting residential structures (finished first floor elevations are also acceptable).
  - c. Top of Foundation elevations will conform to the following: 1) Foundation elevation shall be one to two feet above centerline of roads; 2) Foundation may be set higher where existing lot grade is more than two feet above road grade by the Village Building Inspector; and 3) Where abutting dwellings are above and below proposed elevations, and average of two existing grades will be used to set new structure grade.

EXAMPLE: Existing Dwelling #1 = 650'  
Existing Dwelling #2 = 656'  
Grade for new Dwelling = 653'
  - d. Elevation may be set by the Village Building Inspector, with the approval of the Community Development Director, in certain cases.
9. Any additional information that may be required by the Village Board, Plan Commission, Building Inspection or Community Development Departments.

# EXAMPLE ONLY



VILLAGE OF PLEASANT PRAIRIE

EXAMPLE SITE PLAN

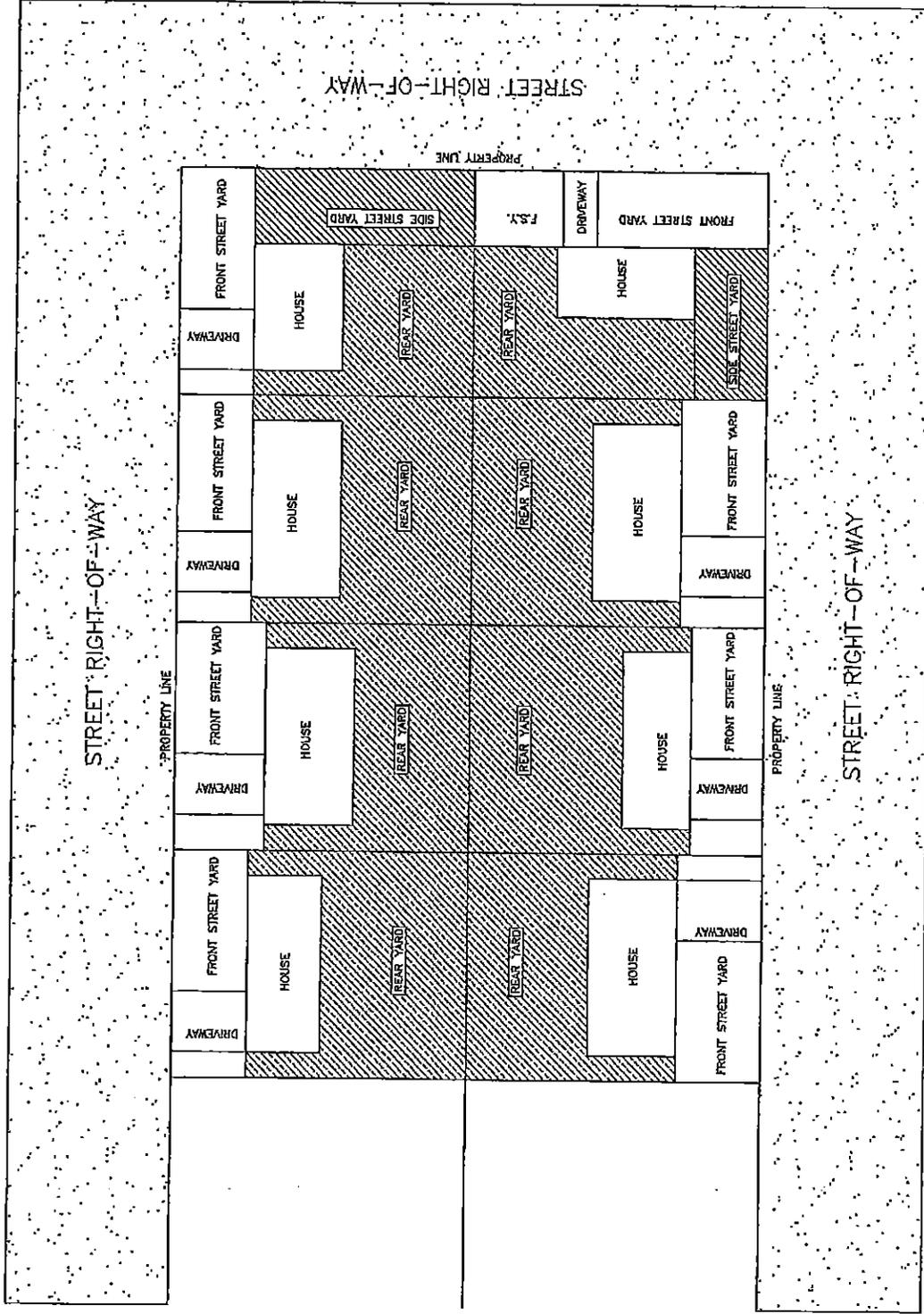
DATE: OCTOBER 2004  
REVISED:

DRAWN BY: KEN ROBERS

SCALE: 1" = 1'

VPP-BI-0020-I

ILLUSTRATION B (EXAMPLE ONLY)



**VILLAGE OF PLEASANT PRAIRIE**

VPP-COMDEV-0051-I YARD DEFINITION SHEET 1

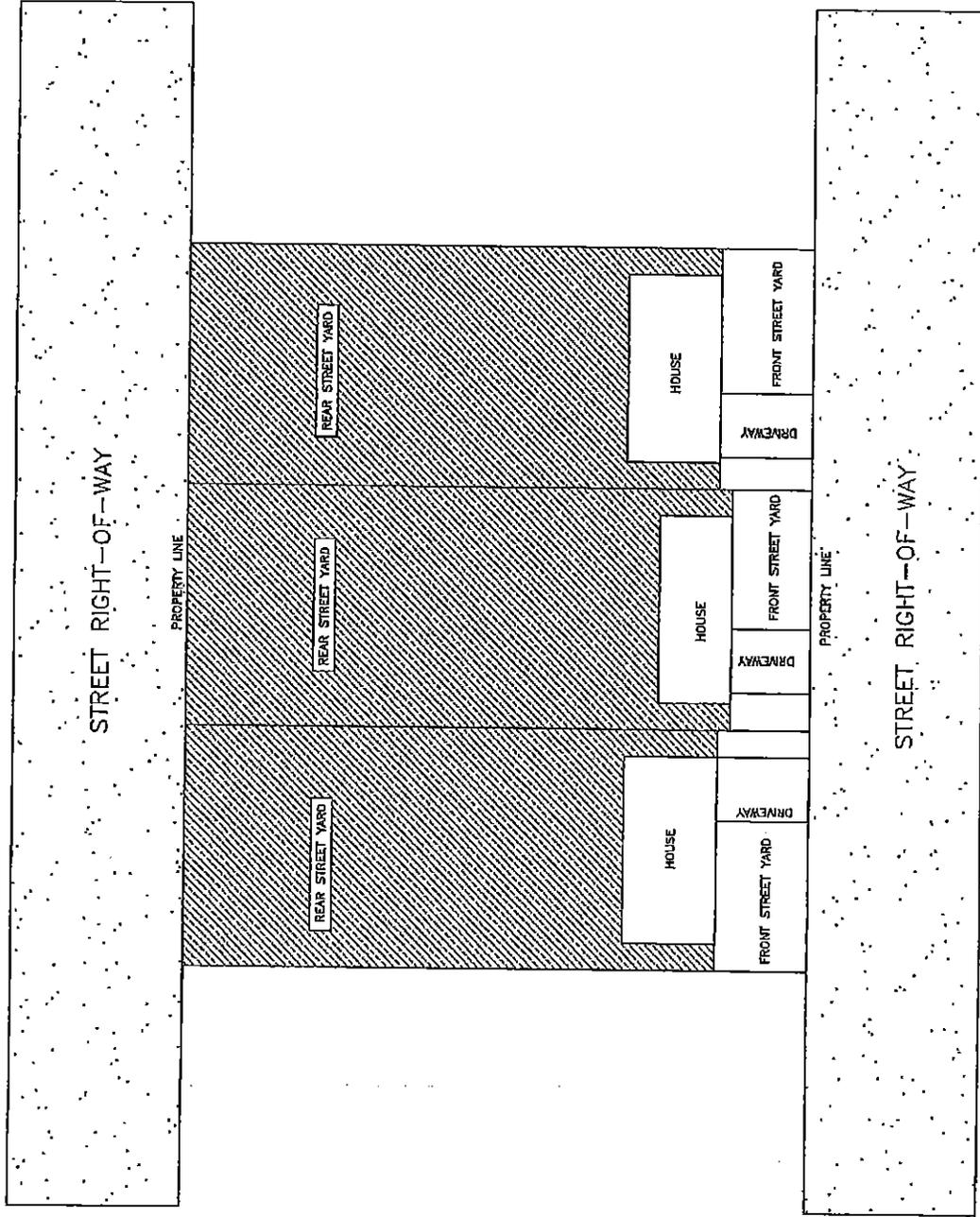
DATE: 2/1/05  
REVISED:

DRAWN BY: KEN ROBERS

APPROVED BY:

SCALE: NTS

ILLUSTRATION B (EXAMPLE ONLY)



**VILLAGE OF PLEASANT PRAIRIE**

VPP-COMDEV-0052-I YARD DEFINITION SHEET 2

DATE: 2/1/05  
REVISED:

DRAWN BY: KEN ROBERS

APPROVED BY:

SCALE: NTS