

**PLEASANT PRAIRIE PLAN COMMISSION MEETING  
VILLAGE HALL AUDITORIUM  
9915 39<sup>th</sup> AVENUE  
PLEASANT PRAIRIE, WISCONSIN  
6:00 P.M.  
JUNE 13, 2016**

**AGENDA**

1. Call to Order.
2. Roll Call.
3. Consider approval of the May 23, 2016 Plan Commission Meeting minutes.
4. Correspondence.
5. Citizen Comments.
6. New Business.
  - A. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #16-08 FOR AN AMENDMENT TO THE VILLAGE COMPREHENSIVE PLAN** for the request of Harold Brown, the owner of the vacant property generally located on 93<sup>rd</sup> Street east of 11<sup>th</sup> Avenue within Carol Beach Estates Unit #6 Subdivision (Lot 3 of CSM 1877) and further identified as Tax Parcel Number 93-4-123-191-0137 to amend the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to change the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designations to the Low-Medium Density Residential land use designation and to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan.
  - B. **PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AMENDMENT** for the request of Harold Brown, the owner of the vacant property generally located on 93<sup>rd</sup> Street east of 11<sup>th</sup> Avenue within Carol Beach Estates Unit #6 Subdivision (Lot 3 of CSM 1877) and further identified as Tax Parcel Number 93-4-123-191-0137 to rezone the portion of the zoned C-1, Lowland Resource Conservancy District to the R-6, Urban Single Family Residential District so that the entire property is within the R-6 District as a result of the Wisconsin Department of Natural Resources confirmation that there are no wetlands on the property.
  - C. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS** to consider the request of BJ Korman for EMCO Chemical Distributors, Inc to construct a 62,160 square foot warehouse addition and associated site improvements at their facility located at 8601 95<sup>th</sup> Street LakeView Corporate Park.
  - D. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #16-09 FOR AN AMENDMENT TO THE VILLAGE COMPREHENSIVE PLAN** for the request of Jeff Marlow, of Lexington Homes for the residential development of 3-49 unit apartment buildings, 10-8 unit apartment buildings and 19 single family lots on the vacant properties generally located west and north of Bain Station Road and CTH H (88<sup>th</sup> Avenue) to be known as Fountain Ridge. The amendments include: 1) to amend a portion of the Prairie Ridge Neighborhood Plan for the proposed development; 2) to amend the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to remove the urban reserve designation from the property and to change the area field identified as wetlands into the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designations from the Upper Medium Residential land use designation; and 3) to update Appendix 10-3 of the Village of Pleasant

Prairie Wisconsin, 2035 Comprehensive Plan reference said changes to the Land Use Plan Map 9.9.

- E. Consider approval of a **Conceptual Plan** for the request of Jeff Marlow, of Lexington Homes for the residential development of 3-49 unit apartment buildings, 10-8 unit apartment buildings and 19 single family lots on the vacant properties generally located west and north of Bain Station Road and CTH H (88<sup>th</sup> Avenue) to be known as Fountain Ridge.
- F. Consider approval of an **Affidavit of Correction to CSM 2520** for the request of Bruce Johnson with Liberty Builders, agent for Robert and Dorothy Ruffli owners of the vacant property generally located east of 39<sup>th</sup> Avenue at 114<sup>th</sup> Place related to relocation of access to Lot 2.

7. Adjourn.

It is possible that members and possibly a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above.

**The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39<sup>th</sup> Avenue, Pleasant Prairie, WI (262) 694-1400.**

**PLEASANT PRAIRIE PLAN COMMISSION MEETING  
VILLAGE HALL AUDITORIUM  
9915 39TH AVENUE  
PLEASANT PRAIRIE, WISCONSIN  
6:00 P.M.  
May 23, 2016**

A regular meeting for the Pleasant Prairie Plan Commission convened at 6:00 p.m. on May 23, 2016. Those in attendance were Thomas Terwall; Michael Serpe; Wayne Koessler; Jim Bandura; Bill Stoebig; John Skalbeck (Alternate #1); and Brock Williamson (Alternate #2). Deb Skarda and Judy Juliana were excused. Also in attendance were Tom Shircel, Assistant Administrator; Jean Werbie-Harris, Community Development Director; and Peggy Herrick, Assistant Zoning Administrator.

- 1. CALL TO ORDER.**
- 2. ROLL CALL.**
- 3. CONSIDER APPROVAL OF THE APRIL 25, 2016 AND THE MAY 9, 2016 PLAN COMMISSION MEETING MINUTES.**

Wayne Koessler:

I move approval of the minutes of the April 25th and the May 9th meeting in their printed form.

Jim Bandura:

Second.

Tom Terwall:

**MOVED BY WAYNE KOESSL AND SECONDED BY JIM BANDURA TO APPROVE THE MINUTES OF THE APRIL 25TH AND MAY 9, 2016 MEETING AS PRESENTED IN WRITTEN FORM. ALL IN FAVOR SIGNIFY BY SAYING AYE.**

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

- 4. CORRESPONDENCE.**
- 5. CITIZEN COMMENTS.**

Tom Terwall:

If you're here for an item that appears on the agenda as a matter for public hearing, we would ask that you hold your comments until that public hearing is held so we can incorporate your comments as an official part of the record. However, if you're here to discuss a matter that's not a matter for public hearing, or you want to raise an issue that's not on the agenda, now would be your opportunity to speak. We'd ask you to step to the microphone and begin by giving us your name and address. Is there anybody wishing to speak under citizens' comments? Anybody wishing to speak?

**6. OLD BUSINESS**

- A. TABLED PUBLIC HEARING AND CONSIDERATION OF A PRELIMINARY PLAT for the request of SR Mills on behalf of Creekside PP, LLC, the owner of the vacant properties north of the Creekside Crossing development generally located north of 93rd Street and east of Old Green Bay Road for the development of 65 single family lots and 7 Outlots on the remainder of the original Creekside Crossing development to be known as Creekside Terrace.**
- B. TABLED PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #16-04 for the request of SR Mills on behalf of Creekside PP, LLC, the owner of the vacant properties north of the Creekside Crossing development generally located north of 93rd Street and east of Old Green Bay Road to correct and amend the Village of Pleasant Prairie, 2035 Comprehensive Land Use Plan Map 9.9 and to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendments for the proposed Creekside Terrace development. The amendments include: 1) to show the dedicated right-of-way within the "Existing Rights-Of-Way" designation; 2) to show the 7 Outlots as shown on the Preliminary Plat within the Park, Recreation and Other Open Space Lands land use designation and to designate Outlot 5 with an "N" for a Neighborhood Park; 3) to show the wetlands as shown on the Preliminary Plat within the Park, Recreation and Other Open Space Lands with a Field Verified Wetlands land use designation; 4) to show the 65 single family lots as shown on the Preliminary Plat within the Low-Medium Density Residential land use designation; and 5) to remove the Urban Reserve designation on the properties. [Note: The existing retention basins will remain in the Surface Water designation and the location of the 100-year floodplain designation will remain unchanged at this time.]**
- C. TABLED PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AMENDMENT for the request of SR Mills on behalf of Creekside PP, LLC, the owner of the vacant properties north of the Creekside Crossing development generally located north of 93rd Street and east of Old Green Bay Road to rezone the proposed 65 single family lots into the R 4.5 Urban Single Family Residential District, to rezone the 7 Outlots (excluding the wetlands) into the PR-1, Neighborhood Park and Recreational District and to rezone the field delineated wetlands into the C-1, Lowland Resource Conservancy District for the proposed**

**Creekside Terrace development. The location of the 100-year floodplain (FPO, Floodplain Overlay District) will remain unchanged at this time.**

Wayne Koessler:

Mr. Chairman, I move that Item A, B and C be tables at the petitioner's request.

Jean Werbie-Harris:

No, actually first I need a motion to have it taken off the table, and then we are going to talk about a request by the petitioner to withdraw them at this time.

Wayne Koessler:

Okay, I'll withdraw that then. I move that we take them off the table, Item A, B and C.

Jim Bandura:

Second.

Tom Terwall:

**MOVED BY WAYNE KOESSL AND SECONDED BY JIM BANDURA TO REMOVE ITEMS A, B AND C FROM THE OLD BUSINESS FROM THE TABLE. ALL IN FAVOR SIGNIFY BY SAYING AYE.**

Voices:

Aye.

Tom Terwall:

Opposed? So ordered. Jean?

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission, there are three items that were tabled from a previous Plan Commission meeting. These were a public hearing and consideration of a Preliminary Plat, the second was a tabled public hearing and consideration of Plan Commission Resolution 16-04, and then finally a tabled public hearing and consideration of a Zoning Map Amendment. These were all for the Creekside Terrace development that was proposed north of basically 93rd Street and east of Old Green Bay Road.

As you know, they had been evaluating the concept of a single family development north of the condominium area. They would like some further time to further evaluate their project before bringing it back before the Plan Commission and the Board for a Preliminary Plat. They did have their Conceptual Plan approved back last August in 2015. So they still have some time to bring

forth a Preliminary Plat for your consideration and the Board's consideration. But at this time they're asking that all three items be withdrawn at their request.

Tom Terwall:

Motion to that effect is in order.

Jim Bandura:

So moved.

Michael Serpe:

Second.

Tom Terwall:

**IT'S BEEN MOVED BY JIM BANDURA AND SECONDED BY MICHAEL SERPE TO WITHDRAW ITEMS A, B AND C AT THE PETITIONER'S REQUEST. ALL IN FAVOR SIGNIFY BY SAYING AYE.**

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

## **7. NEW BUSINESS.**

Wayne Koessl:

Mr. Chairman, before we go into New Business I'd like to move that Items E and F be combined for the presentation but we'll take separate votes on them. That's for Majestic Realty.

Tom Terwall:

Is there a second to the motion? He wants to combine Items E and F.

Wayne Koessl:

That's Majestic.

Jim Bandura:

Items E and F so moved, I'll second.

Tom Terwall:

**IT'S BEEN MOVED BY WAYNE KOESSL AND SECONDED BY JIM BANDURA TO COMBINE ITEMS E AND F FOR PURPOSES OF DISCUSSION BUT WILL REQUIRE TWO SEPARATE VOTES. ALL IN FAVOR SIGNIFY BY SAYING AYE.**

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Wayne Koessl:

You're not suggesting we take them out of order are you?

Wayne Koessl:

No, no. Just combine them.

**A. PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS for the request of Jeff Lambert for Rust-Oleum Corporation to replace a 6,000 gallon nitrogen tank with and 11,000 bulk tank at their facility located at 8105 95th Street in LakeView Corporate Park.**

Jean Werbie-Harris:

So Item A is a public hearing and consideration of a Conditional Use Permit including Site and Operational Plans for the request of Jeff Lambert for Rust-Oleum Corporation to replace a 6,000 gallon nitrogen tank with and 11,000 bulk tank at their facility located at 8105 95th Street in LakeView Corporate Park.

As part of the public hearing, the Village staff has compiled a listing of findings of facts, exhibits and conclusions regarding the petitioner's request and are described and presented as part of this public hearing.

Findings of Fact

1. The petitioner is requesting a Conditional Use Permit including Site and Operational Plans to replace a 6,000 gallon nitrogen tank with an 11,000 bulk nitrogen tank at their facility located at 8105 95th Street in LakeView Corporate Park. And this is provided as Exhibit 1.
2. The property is identified as CSM #1203 located in a part of U.S. Public Land Survey Section 21, Township 1 North, Range 22 East in the Village of Pleasant Prairie and further identified as Tax Parcel Number 92-4-122-212-0355.

3. Pursuant to the application as part of Exhibit 1:
  - a. Rust-Oleum Corporation operates a paint manufacturing facility located in the Lakeview Corporate Industrial Park at 8105 95th Street. The facility produces a variety of both water-based and solvent-based coatings. The plant is made up of a few main areas. The bulk raw material storage tank farm is where liquid solvents and resins are stored. Powder raw materials such as color pigments are stored in the receiving warehouse portion of the plant. These raw materials are then mixed together in tanks of varying sizes to make the finished paint product. The finished product is then filled and packaged on the plant's filling lines. The product can be filled into half-pint cans, quart cans, 1 gallon cans, 5 gallon pails or aerosol spray cans.
  - b. This project involves the replacement of 6,000 gallon nitrogen tank with an 11,000 gallon bulk tank.
  - c. Nitrogen is used in three main processes within the facility because of its inert, safe properties. The first is that it is used to increase the safety while mixing paint batches. It is pumped into the mixing tanks to displace the oxygen thus reducing the likelihood of a flammable vapor explosion. The second use is to push plugs through the paint transfer piping lines. The plugs help clean the lines between different paint colors. The third is to help facilitate the offloading of resin tanker trucks. Most of their resins have a high viscosity which makes pumping them from the tankers to the bulk storage tanks difficult and time consuming. The nitrogen is used to slightly pressurize the tankers thus adding help to the transfer pumps.
  - d. As a result of increased paint production Rust-Oleum has determined the need for this additional liquefied nitrogen storage capacity in order to reduce the risk associated with this just-in-time deliveries to the existing 6,000-gallon storage tank. A usage of 100,000 to 130,000 cubic feet per day of nitrogen is anticipated within the next five years. Rust-Oleum currently receives four to five partial loads per week due to the fact that the 6,000 gallon tank cannot hold a full tanker and keep a sufficient safety stock. The vendor did not supply nitrogen in a timely fashion last fall which had resulted in shutting the entire plant down for about three hours. So Rust-Oleum has since determined that the most efficient and least costly storage arrangement is to replace the existing 6,000 gallon tank with an 11,000 gallon tank. The tank will be vertical, single-walled carbon steel tank similar to its existing tank. It will be 9 foot 6 inches' in diameter and 32 feet 8 inches high in straight side height and will be fabricated in accordance with NFPA 55. The existing tank being replaced is 27 foot 6 inches above grade. The existing building height is 32 feet.
  - e. The storage tank will sit on top of an existing concrete pad after the existing tank is removed. The new larger vaporizer set will be placed on the existing pad next to the nitrogen tank. A six foot high chain link fence will be installed around the tank and a new vaporizer location with 6 inches of concrete filled pipe bollards

per NFPA requirements will be installed. No new electrical or lighting is anticipated. The entire arraignment is located within the rear fenced area of the site that is monitored by security cameras.

4. The current zoning of the property is M-2, General Manufacturing District, and it's in a High-Hazard Group H Uses within the district pursuant to Chapter 3 of the 2006 International Commercial Code. And it's allowed within the district on this property with the approval of a Conditional Use Permit.
5. There were several previous Conditional Use Permits that have been approved for this property:
  - a. Kenosha County Resolution #94 was approved on July 27, 1988 for a Conditional Use Permit to operate the manufacturing, research and development facility for Rust-Oleum Corporation.
  - b. A CUP #92-009 was approved by the Village on November 11, 1992 for the storage of product on site.
  - c. A CUP #95-017 approved by the Village on November 6, 1995 to construct a 480 square foot building to be used in the recovery of paint and propellant from returned or rejected aerosol containers.
  - d. CUP #96-01 approved by the Village on April 1, 1996 to construct housing for equipment used to inject propellant into aerosol cans.
  - e. CUP #03-03 approved by the Village on February 10, 2003 for the installation of a thermal oxidizer and relocation of maintenance office.
  - f. CUP #07-01 approved by the Village on April 9, 2007 to construct a 3,320 square foot addition for testing new products with proper temperature and humidity controls. In addition, the emergency access roadway was rerouted to accommodate the addition.
  - g. CUP #12-07 was approved by the Village on October 8, 2012 to install a new aerosol spray-paint filling equipment that included the installation of a 192 square foot prefabricated structure located on a concrete pad outside rear of the facility.
  - h. CUP #13-07 was approved on September 9, 2013 to install new aerosol spray-paint can filling equipment that included a 320 square foot prefabricated structure located outside on a concrete pad in the rear of the facility to house the required equipment that adds propellant to the cans.
  - i. CUP #13-08 was approved on September 9, 2013 to install a new aerosol spray paint filling equipment which includes the installation of a 192 square foot prefabricated structure housed the required equipment, again, that adds propellant to the cans on the rear of the facility.

- j. CUP #15-05 approved on October 26, 2015 to install a new propellant storage tank, 30,000 gallons, on the west side of the facility.
6. Notices were sent to adjacent property owners via regular mail on May 3, 2016, and notices were published in the *Kenosha News* on May 9 and May 16, 2016.
7. The petitioner was e-mailed a copy of this memo on May 20, 2016.
8. According to the Village Zoning Ordinance the Plan Commission shall approve a Conditional Use Permit if they find after viewing the findings of fact, the application and related materials, as well as the information presented this evening, that the project as planned will not violate the intent and purpose of all Village Ordinance and it meets the minimum standards for the granting of a Conditional Use Permit. Furthermore, the Plan Commission shall approve any site and operational plan application if after finding in the decision that the application, coupled with satisfaction of any conditions of approval, will comply with all Village ordinance requirements and all other applicable federal, state or local requirements regarding this project.

This is a matter for public hearing, and I'd like to continue the public hearing at this time.

Tom Terwall:

Is there anybody wishing to speak on this matter? Anybody wishing to speak? Yes, sir? Give us your name and address, sir.

Jeff Lambert:

Jeff Lambert, 8105 95th Street, Pleasant Prairie here. I just wanted to open up if you have any questions, further questions, and also to say thanks to the Village for their continued support of our facility and our efforts to have a safe and profitable manufacturing facility here.

Tom Terwall:

Thank you. You're available to answer any questions, correct?

Jeff Lambert:

Yes.

Tom Terwall:

Thank you. Anybody else wishing to speak?

Jim Bandura

I have a question. Does it change the scope at all for the fire department with the larger tank? I know it displaces oxygen?

Jeff Lambert:

I'm sorry, the question?

Jim Bandura

Does it change the scope for the fire department if they get a call regarding the extra nitrogen on the property?

Jeff Lambert:

No, no, this is the same process that we've had.

Tom Terwall:

Anybody else? We'll open it up to comments from Commissioners and staff.

Michael Serpe:

Move approval of the Conditional Use Permit.

Wayne Koessler:

Second.

Tom Terwall:

**IT'S BEEN MOVED BY MICHAEL SERPE AND SECONDED BY WAYNE KOESSL TO APPROVE THE CONDITIONAL USE PERMIT SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.**

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

**B. PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AND ZONING MAP AMENDMENTS for the request of Jeffery Marlow, President of Lexington Homes Inc., for the proposed development of a 60-unit apartment building on the property located north of 97th Court and west of 94th Avenue in the Prairie Ridge Development to be known as Skyline Towers. Specifically the property is proposed to be rezoned from the R-9 (UHO), Multi-Family Residential District with an Urban Landholding Overlay District to the R-11 (PUD), Multi-**

**Family Residential District with a Planned Unit Development Overlay District and to create the specific PUD zoning regulations for this development.**

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and the audience, item B is the public hearing and consideration of a Zoning Text and Zoning Map Amendments for the request of Jeff Marlow, President of Lexington Homes Inc., for the proposed development of a 60-unit apartment building on the property located north of 97th Court and west of 94th Avenue in the Prairie Ridge Development to be known as Skyline Towers. Specifically the property is proposed to be rezoned from the R-11 (UHO), Multi-Family Residential District with an Urban Landholding Overlay District to the R-11 (PUD), Multi-Family Residential District with a Planned Unit Development Overlay District and to create the specific PUD zoning regulations for this development.

Mr. Chairman, I'd like to begin by saying that there was a typo in the notice and in the agenda that were sent out. And just to clarify what we're requesting this evening as part of the application is the rezoning from an R-11 (UHO) to an R-11 (PUD). So there was a typo that had gone out, and I just wanted to make sure everyone understood that for purposes of clarification.

So the petitioner is requesting approval of the Zoning Text and Map Amendments for the proposed Skyline Towers development. The 60-unit Skyline Towers apartment building will provide 60 underground parking spaces and 63 surface parking spaces on a 3.35 acre property located north of 97th Court and west of 94th Avenue in the Prairie Ridge Development. A Zoning Map Amendment to rezone the property from the R-11 (UHO) to R-11 (PUD) is being proposed. In addition, the Zoning Text Amendment to create the specific PUD zoning regulations for this development is being proposed. The PUD also includes the approval of the final a PUD Development Plan and a Digital Security Imaging System Agreement and Access Easement.

Skyline Towers is proposed to be located at 9511 81st Street in the Prairie Ridge Development. It will consist of one 60 unit three story building. Parking will be accommodated primarily by underground parking with additional surface parking available. Storage lockers are available internally in the underground parking area as well as on each floor. All units will have individual high efficiency top load washers and front load dryers along with built in microwaves, smooth top ranges and refrigerators. The anticipated rents based on a thorough market study will range from the mid \$700 for an efficiency up to in excess of \$1,600 for a two bedroom. The residents will be responsible for their heat and water. The billing of the water will be accomplished by the building having one main water meter which will be billed to the property owner and paid. This water bill will then be split up and billed to the individual units by owner.

The 60-unit building will offer an array of floor plans ranging from an efficiency style to a luxurious 1,622 square foot unit with 2 bedrooms and 2.5 baths. The building will breakdown as follows:

On the first floor there will be:

- 5- 2 bedroom with 2.5 baths--units range in size from 1,200-1,370 sq. ft.

- 5- 2 bedroom with 2 baths -- units range in size from 1,132-1,260 sq. ft.
- 1- luxury 1 bedroom with 1.5 baths- unit is 1173 sq. ft.
- 8- 1 bedroom with 1 bath-units range in size from 820-980 sq. ft.
- 4- efficiency with 1 bath - units are 617 sq. ft.

On the second floor:

- 3- luxury 2 bedroom with 2.5 baths-units range in size from 1,370-1,400 sq. ft.
- 3- 2 bedroom with 2.5 baths-units range in size from 1,200-1,218 sq. ft.
- 5- 2 bedroom with 2 baths-units range in size from 1,132-1,260 sq. ft.
- 2- 1 bedroom Loft with 1.5 baths-unit is 1,000 sq. ft.
- 6- 1 bedroom with 1.5 baths - units range in size from 820-980 sq. ft.
- 2- lofts with 1.5 baths-units are 1,032 sq. ft.
- 2- efficiency with 1 bath-units are 617 sq. ft.

And then finally on the third floor:

- 6- 2 bedroom loft with 2.5 baths-units range in size from 1,503-1,622 sq. ft.
- 4- 1 bedroom loft with 2.5 baths-units range in size from 1,281-1,411 sq. ft.
- 1- 1 bedroom loft with 1.5 baths-unit is 1,401 sq. ft.
- 3- lofts with 1.5 baths-units range in size from 900-903 sq. ft.

The reason why we brought that to your attention just like we did the last time with a similar project that they did in Pleasant Prairie, the Cobblestone Development, is that they have great variety of housing units in their apartment building, and will range in size from someone who is just merely looking for an efficient at 617 square feet to someone who is looking for over 1,600 square feet in that single building.

Population: Based upon the current projections, and again this is based on Pleasant Prairie's census population count of 2.34 persons per household in Pleasant Prairie, a maximum of 140 persons are intended to live at this development. The developer anticipates less than ten percent of the occupants will be children or less than five percent will be school age children.

Site Amenities: Skyline will have access to an executive clubhouse which is located next door to the northeast at their current community known Cobblestone Creek. Club Cobblestone will house the staff of the property management team from Lexington Management, which is the management arm of Lexington Homes, Inc. It is complete with security monitoring system via cameras and access key system. Again, Cobblestone is just located to the northeast of this development.

Site Access, Parking and Open Space: The three story building is comparable and compatible with the surrounding three story senior housing development on the north and the Cobblestone developments to the northeast. The 3.35-acre property will retain 50 percent open space which greatly exceeds the minimum requirement of 25 percent of the site to remain in open space.

There are a total of 60 underground parking spaces with an additional 63 surface parking spaces for a total of 123 parking spaces. The development limits the number of cars per unit and is providing one designated space per unit of underground parking. The PUD will provide for

reducing the required enclosed parking of the required spaces from 67 to 60 as proposed. The overall number of parking spaces meets the total minimum requirements of the zoning ordinance as outlined below.

Again, the zoning ordinance sets forth that there's a minimum of 113 parking spaces and an addition nine required for the Clubhouse, actually for the handicapped parking spaces pursuant to the state requirements. The one bedroom there are 33 one bedroom and efficiencies. So with the total number of one bedrooms there would be 55 spaces required. There are 27 two bedroom apartments, and with guest spaces and onsite spaces 58 spaces are required.

The lighting of the parking areas will be done by a pole system with shoebox fixtures along with building mounted dark sky compliant LED wall packs and can lights at the building entrances. Additionally, the apartment building entrances, parking lots and garage entrances will be monitored via a camera monitoring system pursuant to the Village's Security Ordinance.

I have included also in your packets the attached DSIS or the Digital Security Imaging System Agreement and the Access Easement are required to be executed prior to issuance of permits, and the system shall be installed and operational in accordance with the DSIS Agreement prior to the occupancy of the building. The Access Easement document will be required to be recorded at the Kenosha County Register of Deeds Office. And just as a reminder the DSIS is a camera system that monitors ingress, egress, access, outside common space areas, parking lots and so on and so forth. These cameras are live fed back to the Pleasant Prairie Police Department so they could get live easy access to an activity or an event or recorded information of some incident that may have happened on that particular property.

The driveway access points to the development as shown on the slide, the driveways come from the development and access to the north, 81st Street, which align to the Senior Villa Apartment Development to the north. In addition, there is an access to underground parking, the 96th Avenue to the west. There's no direct access to this development to 97th Court or to the local arterial, 94th Avenue, to the east.

Construction Practices: This is something that we had talked about in detail back in 2012 when I went with my staff to visit a number of the other Lexington projects in Wisconsin. We not only visited the projects, we talked to the communities and visited with the police departments of each of the communities that they had projects. So some of the things that you are going to hear about now are some of the additional features that they offer at their projects and what they put in the Cobblestone Development which is just to the northeast.

Lexington Homes prides itself on building communities in which are built of high quality and intricate conceptual design. Highlighted below is a list of some of their construction practices as outlined in their written narrative and are also being included in the PUD. Again, so they will be part of the ordinance as part of the approval.

- The building will have an internal sprinkling system for fire safety.
- The external walls of the building will have 2 x 6 construction.
- High performance vinyl windows and patio doors with low E glass and argon gas will be installed.

- Partial stone façades blended with maintenance free products with aluminum frame and full glass front entry doors for security and aesthetics will be provided.
- Complete intercom system for entry.
- Custom plastered interior walls, this is not a drywall board system.
- Individual sound walls divide each unit.
- Sound insulation between the floors and RC-1 channel is added to the underside of the floor truss for additional reduction of sound transfer.
- Three fourths inch gypcrete poured on 2nd and 3rd floors for another sound barrier and it also acts as another fire preventative.
- Deadbolt and peephole for individual unit entry doors.
- 30 year dimensional shingle roofs.
- All exterior site building and landscaping maintenance to be performed regularly by Lexington Management. And, again, they also have the DSIS system for this project.

Postal service is proposed to be accommodated inside the building for convenience and also as another security measure. The developer shall work with the post office directly to determine the location of the internal mailboxes.

Property Management and Maintenance: And, again, for some of you I did talk about this in detail when the Cobblestone project was presented, and I'm sure that the developer will discuss some of this in detail as well. Pursuant to the approved Conceptual Plan written narrative, Lexington Management knows that the real success to any community lies with the long-term management and maintenance of the site. Lexington operates under a very structured process and it includes a copy of their management forms and has provided those to the Village for our input and comment. And I'm going to just describe some of their leasing information.

Leasing: Every potential resident that tours our site is required to fill out a Welcome to the Community form. This ensures the safety of their staff before each tour is given. This form requires that they see a valid IDs and gives them current living information. When the tour results in someone wanting to reside with them they are given a Rental Process form along with a Standard Applications for Occupancy. The rental process form clearly highlights what the qualifications they must have to reside at the property. The application is a more detailed document that allows them to qualify them for every potential resident.

With the receipt of the application, security deposit and signed rental process form they start the detailed approval process. This includes a credit check which requires a score of 600 or higher; the renter's gross monthly income shall be 2.5 times higher than the amount of the monthly rent, and a criminal background check is run. Lexington Management as a standard allows only two people per bedroom and two vehicles per unit. There are variables to this approval process which are also outlined on the rental process form.

Residents are required to sign a minimum one year lease with variable terms that have that one year period depending on the individual situation. It's management's goal to always try to secure one year leases continually with a built in parameter that does not allow anyone to move out between November and February. They don't allow dogs. Cats are permitted with an extra deposit and an extra monthly rent.

Management Structure: As one of the principal owners of Lexington Homes, Michelle Stimpson, has a focus on the day-to-day operations of the entire management division. They oversee just under 1,700 units, and she believes in treating every resident as she would like to be treated. She physically reviews every resident file and signs every single lease that occurs within the entire company. With 20 years of experience in this industry and having both a real estate and broker's license, she knows that on the management side of things the difference is always in the details.

Weekly she meets with her district staff to review every property that they oversee. In these meetings site suggestions along with marketing and maintenance are discussed in great detail with implementation plans to be carried out and reported each week. Their district staff is required to be at each property working with the site management. Monthly reports are clearly documented and provided to ensure the continued success of each site. Their management operates on the principal that this is somebody's home. They focus on the presentation not only to their prospective and current residents but to their guests as well.

Additionally, they will have property staff which will include a property manager, assistant manager, cleaning staff and maintenance. Their goal is always to have as many of their staff physically living at the property so that someone is always available. At a minimum one of the managers will live at the property.

They are very centered on routine inspections. Monthly they do property inspection reports along with exterior and interior building inspection reports. Yearly they inspect the interior of every single apartment and complete a full report as to the interior condition of that unit. At that time an annual property review is also completed to help plan for upcoming projects.

Site Construction Schedule: They are requesting that if they receive approval to start in June of 2016 with site grading and excavation work, and they'd like to be completed in April of 2017.

So with respect to the request this evening, the Zoning Text and Map amendments: The developer is requesting to rezone the property from the current R-11 (UHO), Multi-Family Residential District with an Urban Landholding Overlay District, to an R-11 (PUD), Multi-Family Residential District with Planned Unit Development Overlay District. Developing the site as a PUD will allow for flexibility with some requirements of the Village Zoning Ordinance provided that there is a defined benefit to the community.

Some of the modifications to the zoning ordinance as part of the PUD is that they are requesting:

- To increase the density to only have one building on the site.
- To go from 9.6 dwelling units per acre to 21.2 dwelling units per acre.
- To increase the number of apartment units allowed from 24 to 60 units with a mix of 6-efficiency units, 27 1-bedroom units and 27 2-bedroom units.
- To allow the building height of the apartment building to increase from 35 feet to a maximum height of 51 feet.
- To allow for efficiency units to be reduced from a minimum of 700 square feet to 617 square feet.
- To reduce the 40 foot setback to 35 foot setback adjacent to 94th Avenue, and this is consistent with the other two apartments just to the north.
- To allow for a reduction of the required enclosed parking from 67 to 60 for each of the units, one for each unit.

In consideration of these modifications to the PUD the following is going to be required:

- A minimum one parking space per unit shall be in an enclosed underground garage.
- The three unit bedroom units are prohibited.
- To provide additional secured storage spaces for each unit in the underground parking area as well as on the floors.
- The exterior building materials and design of the apartment building shall be a combination of stone, cement board, brick and shall have a 30 year architectural shingle.
- That they would increase the amount of open space from 25 percent to 50 percent, and it shall remain as open space.
- The apartment building will be fully sprinklered in accordance with Chapter 180 of the Village Municipal Code.
- Landscaping and exterior turf shall be fully sprinklered.
- The height of the multifamily residential identification sign will be six feet rather than eight feet.
- The developer shall install an onsite security and enter into a DSIS agreement with the Village and provide the Village with the required access easement that provides access over the entire property in order to get access to the cameras as well as the DVR headroom.
- As required by the developer and supported by the Village no dogs would be allowed within the development.
- Additional landscaping as laid out by staff would be required on the additional berming that they have identified on the east side of the site.

So with that those are the initial staff comments. What I'd like to also mention is that we did receive four or five different emails from residents in the nearby Prairie Ridge Development. And so what I wanted to do is I wanted to address some of those comments. I did get emails out, but they were very late this afternoon because most of these emails came in today. And I just want to cover some of those additional comments before introducing the developer to make an additional presentation. So hopefully we can clarify some of the questions or concerns that the residents might still have.

The Village staff received a number of concerns from single family homeowners in the Prairie Ridge Subdivision. This is the subdivision that lies just to the west of this proposed project. The Village as part of its notification process, and we pride ourselves on being transparent with the residents of Prairie Ridge and elsewhere in the Village, that we provided notification to all the neighbors within 300 feet which is required by our ordinance. The State statute only requires a 100 foot notification. We went 300 feet, and we also sent notification to the Prairie Ridge Homeowners Association President.

In addition, our notification goes into the *Kenosha News* two times prior to announcing this public hearing. And then in addition it's also posted on the Village's website, it's posted on three different public places of the Village, and the entire staff presentation, the agenda and the maps and the drawings, everything is also posted on the Village's website. So there's a number of ways that this information does get out to the Village residents.

With respect to the zoning, as I mentioned at the beginning, it was brought to the staff's attention that there was a typo in the notice that went out to the residents and in the initial agenda that went out. And it did state that the property was requested to be rezoned from R-9 (UHO) to R-11 (PUD). And, again, we stand corrected. We apologize for that inconvenience if there was any misunderstanding. They are going from the current R-11 to R-11, we are just making a modification from the UHO to a PUD for this development.

With respect to the density, and I wanted to get into some of this because the Prairie Ridge project is a project that if you can believe it we actually started this project 20 years ago. We did the initial planning, and we had our initial meetings with VK Development in 1996. So for those of you that were here back then we have been working on this project for a very, very long time. And in 2003 we approved a somewhat more detailed conceptual plan for the 54.9 acres of Prairie Ridge. And this is an area that we had affectionately referred to it as Arbor Ridge, that was VK's name for this particular area. This is the area that is south of Prairie Ridge Boulevard, west of 94th Avenue, north of Highway C which is Wilmot Road, and then east of the ponds and part of the single family towards the south end.

As part of that original approval of that concept plan by the Plan Commission and the Board and the hearings that were held, this original project included 521 units of apartments, 98 condominium units for a total of 619 units. And there was an overall density of the entire area of 11.3 units per acre. Based on the projects of the 1.5 persons per apartment unit and the 2.68 units per owner occupied condo, at the time we had laid this out for a maximum density of 1,044 residents which could be expected under this 2003 conceptual plan.

With the current development and the proposed Skyline Towers, this area would have 162 assisted living units, 191 senior housing units, 60 multifamily units, 98 condo units for a total of 511 units with an overall density of 9.3 units per acre. So we're modifying that 2003 plan from 619 units down to 511 units. And, again, overall density going from that time of 11.3 down to 9.3. Based on Pleasant Prairie's projections with one person per assisted living unit, 1.5 persons per senior apartment, 2.34 units per rental, 2.68 for owner occupied condo, a total of 885 residents is estimated would come from this development area at full development.

And, again, let me just remind you that when we laid out the entire Prairie Ridge development we looked at this as one large mixed use development which included mixes of residential and, as VK would have called it, a continuum of care. So they varied all the way from the hospital to single family, we had two family, there was multifamily, there was senior apartments, there was assisted living memory care facilities as well as nursing home facilities and hospice care. So it was always intended that there would be a multitude or range of residential type of development. And the development for residential primary would be south of Prairie Ridge Boulevard with the exception of our group quartered hospice which is the end of life care and the Grand Prairie Nursing Home which is north of Prairie Ridge Boulevard.

So as shown on the slide up there it just reiterates the number of housing units in each of the various areas. And, as you know, the area that is identified to the 2, 120 and 71 those were original projects that VK Development had proposed with the 120 and 71, the 96 is the assisted living memory care senior lifestyle development that was just recently completed, and they just had their ribbon cutting. And then they are also proposing 66 apartment units directly south of that, the senior lifestyle. And then the 60 is the apartments that are being proposed this evening.

And then as part of the area that is vacant right now just east of the ponds and the lower area of the single family, that was identified as two family condominiums as well as 68, and that was primarily six and eight unit condominiums.

With respect to transportation and traffic, roadway access to the new apartment building as I mentioned previously would be from 81st Street as well as from 96th Avenue. Residents leaving the development would either travel north on 96th Avenue or 97th Court to Prairie Ridge Boulevard, or they'd go east to 94th Avenue and then make their way on Prairie Ridge Boulevard or County Trunk Highway C, Wilmot Road. Both roads are considered local arterials or collector roads used to convey the traffic. So 94th Avenue was built as an arterial and a collector road as was Prairie Ridge Boulevard. There are no direct driveways or roadways which connect into the Prairie Ridge single family area from this proposed apartment development.

This is the original plat that -- oh, it didn't show up. I'm not sure why the first one didn't show up, but the first one was the original plat. We did planning between 1996 and 1998, and then Prairie Ridge was initially platted in 1998. And that showed that first phase of residential plus all of these main roadways within the Prairie Ridge Development. In 1999 we platted Prairie Ridge Addition #1, and that really constituted the second part of the single family development out there.

Since that time we've done a number of other changes and other certified survey maps and plats. For example, as you can see right up on the screen 76th Street now extends west and changes into 77th and goes all the way to 104th Avenue. In the Arbor Ridge area that we were just talking about there's a 96th Avenue, 97th Court, 81st Street, so all of those areas have been platted and developed. 80th Street which is just to the west of 94th Avenue that's been completed. And then we finished a couple of other roadways. But all of the main public roadways are now complete in Prairie Ridge. There's still opportunity for some private roadways such as that area that still remains vacant between 97th Court and the Prairie Ridge Subdivision.

As part of the development of Prairie Ridge, and many of you remember this, that for two years we worked on traffic studies, traffic impact analysis that was required by the State of Wisconsin, Kenosha County and by the Village. So there was a very detailed traffic study that was done for the Prairie Ridge area based on full development and full build out based on all of these plans that we're talking about. And all of the traffic on Highway 50 took this into account as well. In fact, in addition to improvements that VK Development had to make internally with respect to all the public roads, there were improvements in 88th Avenue and significant improvements in 104th Avenue at the intersections at Highway 50.

In addition, he also needed to post a little over \$1.6 million for the future widening and improvements to Highway 50 when that comes to be. And we just learned last week that that project for the widening and improvement of Highway 50 from six lanes to eight lanes looks like it's going to probably take place in the year 2020, so about four years from now. So all of the other roads within the development, the public roads in the development were either put in by VK or a subsequent developer, all public roads at the developer cost. But, again, it's very important to note that all of the lane widths and the sizes and the turning movements and the access points all of that was laid out and has been following not only the TIA but has been following our Village ordinances as well with respect to separation spacing and placement and road widths and

turn lanes and things like that. So, again, it's a long process over the last 20 years that we've been working on this.

Skyline description: The site of the proposed Skyline Development was approved in 2003. At that time there was a 70 unit apartment building that was proposed at that location. The current proposal is a 60 unit apartment building. The 60 unit building, as I mentioned, will range with units from efficiency to luxurious larger units, 617 square feet to 1,622 square feet. Rents, again, at this time would average between \$700 and over \$1,600.

Based on current projections, again these are based on our projections, 2.34 persons per household in a rental unit in Pleasant Prairie, a maximum of 140 persons are intended to live in this development. The Skyline Development is very comparable to the Cobblestone Creek Development. The renters will have access to the Cobblestone Creek Clubhouse. This development plan is consistent with the character of the current surrounding neighborhood.

There were a number of questions that were raised regarding school age children. And so we contacted Kenosha Unified School District in addition to the developer. And, again, by comparison we looked at the Cobblestone Creek Apartments. There's 164 apartment units in four buildings. They have a total of seven school age children or 1.8 percent of the Cobblestone Creek residents that are attending the nearby Pleasant Prairie Elementary School. As such with a 60 unit apartment and 140 projected residents it's anticipated, again similar type of project, it's anticipated that three school age children would likely come from this development or 1.8 percent of Skyline Tower's residents.

With respect to land value some people had some questions on land values. And I was able to just talk to the assessor briefly, but based on their initial analysis the Cobblestone Apartments had no negative impact on the single family residential land values in Prairie Ridge. And, in fact, at this point it looks like land values over the last two years seem to be increasing by at least eight to ten percent.

The last question that was raised with me had to do with service calls. From 2013 to present day there have been three EMS calls and six false alarms made to the Fire and Rescue Department for the Cobblestone Creek Apartments. So basically they're averaging about three calls a years. From 2014 to 2016 there have been average of about six Police Department related calls per year. And these calls range from requests for additional patrols during construction to citizen inquiries. So, as you can see, the Cobblestone Development has not had a significant impact on the Village's public services from at least a police and fire perspective, and I just wanted to bring that to your attention as well.

So with that I would like to introduce Jeff Marlow from Lexington. And he'd like to make a further presentation and answer any questions and to talk a little bit about this project.

Jeff Marlow:

State my name for the record?

Tom Terwall:

And your address, too, please.

Jeff Marlow:

And my address, okay. Jeff Marlow, Lexington Homes, 1300 North Kimps Court, Green Bay, Wisconsin. Thank you for the time tonight. She said a lot [inaudible] add to. But there's a couple key points I would like to address. But I think Jean really did spell out quite particularly the different phases of our apartments that we have built in our first phase. And we looked at that, and I wanted to make sure because our design of the building is really important. I've been really focused on that, that we get the proper building and the proper mix. And it's about giving opportunities for everyone. That's what we really like about it. There are 17 different floor plans that's within the building. But when it's all said and done the average rent is almost \$1,2000 a month. And they're still paying the utilities and everything else. So from that aspect of it, it truly is a more upscale, high end type of rental application that's there.

Now, of course, we can't discriminate against anybody from that application, whether they have children or they don't have children. But what you've built a lot of times will determine what you get. So when this building was designed with Skyline we took some of the things on the building designs that we had over at Cobblestone. Jean had mentioned that on our building design out of 60 units, I think it's really key, 33 of them are only one bedrooms or less. Eight of them are as efficiencies. So it's almost like a 57 percent ratio as far as the actual units. So I think that's really, really important.

So whether it's going to be how many people are there, what's involved, I said, you know what, I really need to know. And it's good that we need to know this, too. Because we do our own market studies, and we wanted to get an idea of how many people because this was a new building design that we came up with when we brought this here. It was an offshoot of what we built in Pewaukee a little bit, but this was a new one that we really wanted to focus on. So we did. So we went in and asked and went to the property manager, the division Michelle is at, and I said I need to know the numbers because I'm going to this meeting tonight and I want to be able to tell them what it is. It was rather interesting.

Out of the 164 units that we have built that right now is over at Cobblestone that's been there for two years, two and a half years, so we're pretty much at our occupancy range, out of those units there's 270 people that live. If you do the mathematics that's 1.55. Jean had mentioned she's working off of what the statistics are of normal because it's lumped together. When they talk about developments of apartments it's all, it's very broad. Well, the type of design that we're building and what we're doing it's not that way so our number is much reduced. So if you take a look at -- I'm anticipating we're going to have about 90 people that are going to be living on the property that's there.

The other thing we did, Jean mentioned there was seven -- for pressure of the schools that there were seven young adults. We obviously cannot ask everyone how old are your children that are living with you. We can't do that. But we can ask are they 18 or older or not on the application so we do. And we go back in and we take a look at it. So we know that there are seven children that are attending the school that are there. Total throughout that whole complex of 160 units

there's 20. So these units do not create a problem of pressure on the schooling system. They're not designed that way, they're not intended that way.

Now, we'll get some people that maybe are midterm that are coming in looking to build in the community, need a place short term, those types of things. So I just wanted to make sure everyone knew that, 1.54 that's the number that we have for people that are living at our facility that's there. And I would anticipate it would be the same because we did the same type of units, the same type of designs of what we'll working with. I mean if it's not broken we're just going to keep on doing that.

A couple other things we've done, too. We used to allow cats, too. We were no cats, no smoking and no dogs. I mean hopefully we can always say -- people come up here, they'll tell you, you want to hear this, we're going to do this, we're going to do that. Hopefully the beauty if go take a look at our property. We take an incredible amount of pride, Jean's right. We're constantly patrolling the property, looking at the property. Sometimes when I have to write that check to put in that surveillance system it gets to my back pocket a little bit. But truly we love it because we have the availability. I can be anywhere, anywhere and I can view the property. We can oversee the property. It's like having an extra set of eyes, and it's really been a great attribute. And I'll tell you we do actually like having that [inaudible].

I mean hopefully if you take a look at the property I think it would be hard for someone to say that we don't take care of the property, that we're not a good neighbor. We pick up our garbage. We make sure that we do things right and not part. The actual density, too, it's not construed, we're not going to be at 21 per unit. That was I presume what the zoning could go up to, correct?

Jean Werbie-Harris:

Mm-hmm.

Jeff Marlow:

Right, because we're actually at 17 if you actually take a look at it. I just wanted to be sure that we're over 20 a unit because we're not. That's there. Otherwise than that I'm open to any and all questions that I could answer to the Board or to the public afterwards.

Tom Terwall:

We'll continue the public hearing, but if you're going to be available.

Jeff Marlow:

Absolutely. I'll be right in the front row.

Tom Terwall:

Thank you. Anybody else wishing to speak on this matter? Anybody wishing to speak? Jean, I think you answered all our questions. Yes, ma'am?

Paula Aide:

Paula Aide, 8084 East Ridge. I did have a question as to when the traffic study was done.

Tom Terwall:

Can you answer that?

Jean Werbie-Harris:

The first traffic study was done between 1996 and 1998. I don't have the exact date. And then there was a second one done by VK. And then we amended it a third time for the hospital. We have those traffic studies upstairs.

Paula Aide:

Is there any plan to perform another traffic study considering the increase in retail in process as well as the Quik Trip and other amenities recently added?

Jean Werbie-Harris:

So I guess I just need to begin by saying is that when they did the traffic study they assumed full build out, and we assumed everything north would be retail, and it would be service related. So we anticipated that there would be those types of uses. So the traffic engineers did a projection based on those types of uses at that time. I guess I can defer to our Village Engineer to see if there would be any additional traffic studies that would need to be done.

Matt Fineour:

As Jean said the original traffic studies incorporated this area as a full build out scenario. So those traffic studies were done to get the road alignments, the road widths, and those type of things. If there were some problems in the future, the future TIAs would more or less concentrate on intersections. Let's say there's a consistent backup at a certain intersection all the time, different road markings, that type of thing. But the roads are in there, they're working properly, and anything future, like I said, would be just for intersection control, road markings, that type of thing unless there was a bigger problem than that that we're not aware of.

Tom Terwall:

Does that answer your question?

Paula Aide:

Yes, it does. Thank you.

Tom Terwall:

Thank you, ma'am. Anybody else? Yes, sir?

Richard Stazarovski:

Richard Stazarovski [phonetic], 8025 100th Avenue. We live on the pond, and there's going to be water runoff from there. So just wondering where the water's going to go. It's three times already since we've lived there, since '03, the pond has overflowed into our yard. I'm sure this will be a little problem.

Matt Fineour:

I can answer that. The pond that's shaded in blue there is where the stormwater goes to. That's a regional pond built for a lot of the Prairie Ridge area. So that also takes in the Target areas, areas offsite from that map. Like I said it acts as a regional pond. I do know I think it was last year it was found out that the outlet for that pond was halfway plugged with branches, debris and so forth like that, and it did build up and went into some of the back properties over there. The public works department did clear that out so that should be back to normal. But that pond was designed, again, for Prairie Ridge for the development as a whole.

Richard Stazarovski:

It still didn't help. We've still got water on our property.

Tom Terwall:

John, any current issues?

John Steinbrink, Jr.:

John Steinbrink, Jr., 8600 Green Bay Road, Director of Public Works. Like the gentleman had said there were three different occasions where the pond had gone up over the outflow. There's actually two controlling structures within that pond. One of them is just the standard pipe that you have that's the lowest elevation, and then there's an overflow. So when that gets plugged or there's large volumes of rain it goes over the overflow. Like Matt had said that first 12 inch pipe did get plugged 100 percent with tree roots.

It is the combination of responsibilities of the Prairie Ridge Commercial Association and a component of this development that is responsible for maintaining that pond. And for whatever reason that hadn't been done for a number of years. And so it did raise up. It actually plugged up that 12 inch pipe full, and the branches filled up the overflow pipe, and so it was plugged 100 percent. We did go down and we pulled out everything that was on top of the overflow structure, and that lowered it down. We pumped the pond down, and we actually replaced the original 12 inch outfall structure and billed that to the Prairie person that's responsible for it. And so now it is on a regular maintenance program and I'm not foreseeing any problems because someone is addressing it on a regular basis.

Tom Terwall:

No beaver issues at this point.

John Steinbrink, Jr.:

No, no beavers in there. And if we do see any we do have means to eradicate them and relocate them.

Tom Terwall:

Thanks, John. Anybody else? Yes, ma'am?

Kathy Jalensky:

Kathy Jalensky, 9716 84th Place in Prairie Ridge. My husband and I built in Prairie Ridge and had the opportunity to meet with VK, and we saw the whole conceptual plan and we agree with that. We like how his plan is with St. Catherine's and the multi-units and things. Only a comment. I wish you would have gone back on that original amendment, and we had originally planned and my husband and I had volunteered for a couple years working with the Village looking at this condo development. And as a realtor as well, and I do agree that land values are good, but I would prefer to see the units come down and that amendment changed when you had gone from 9 to 21 dwellings in the unit.

Also, I'd like to see and encourage that hopefully we can have a good condo unit there. I know that, for example, we had looked at the designs of Prairie Village and looked at that hopefully anticipating that would come in our subdivision. As an agent I know that if I list a unit in Prairie Village in condo it's gone that day. So I think that that's going to certainly help our property values. And when I'm having clients come into town and taking them on a tour of the Village they want to know where I live. It's a common question. They want to know where an agent is going to be living, and I love Prairie Ridge. And I think our unit, the complex is great. Our association is wonderful, and I appreciate all the people that work very hard on that.

But I'd like you to really consider and go back to that original amendment, not having that unit as a three story. Again, I didn't have an opportunity to take the notes that Jean presented, but take that into consideration what our original plan, what VK had originally given us and what all of us who built there wanted to see. And so I would prefer not to have a three story unit, that kind of density, something in a smaller scale back to that original plan from 1999. And then, again, I hope that someone comes forward, and maybe this developer should consider looking at some executive level type of condominiums. I think that will certainly help and support our property values. So thank you for your time.

Tom Terwall:

Thank you. Jean?

Jean Werbie-Harris:

If I can respond to Kathy a little bit. The original plan was a three story, 70 unit apartment on this particular site where Skyline is. With respect to all the vacant land that was at the south end was shown as two units and north, the six and eight units, I can honestly say that I've been working

with a lot of developers that have been looking at that, and I am trying to push condominiums at that location and even two unit condominiums and luxury condominiums. I'm trying to do all sorts of things I can to encourage that to happen. And I understand exactly where she's coming from, and I think that would make a great transition area right there.

So I can only say that I'm going to continue to try to encourage that type of development before anything further happens. Because as you know there is an existing condominium that was platted at that very first phase, and there's 30 in that first phase that's still platted and it's still an active condominium unit development down there, although nothing was ever built with respect to those units. And then the rest was still identified as condominiums, but I'm not sure exactly what a new developer will do with respect to that. All of that land was owned by VK initially, the condominium area. And then it was lost to the bank, and the bank still owns it. So that's kind of the last piece of Prairie Ridge that VK actually had owned that has not transferred to a new developer yet. But, again, I'm encouraging that type of development.

Tom Terwall:

Is there anybody else wishing to speak? Yes?

Carl Ehr:

Good evening. I'm Carl Ehr, 8139 East Ridge Drive. First of all I want to compliment Lexington Homes on the Cobblestone Development. Beautiful. However, that's up on the boulevard, and I think the height of it and what they've done is more complementary to that area. I'm not against them doing something here, but I am against the height of the building. So do they have a rendering, an elevation of this building in relation to the other buildings in the area?

Tom Terwall:

Jean, do you have an answer?

Jean Werbie-Harris:

We do have a rendering of the building, but we don't have a perspective from this location to the residential subdivision. What I can tell you is that the closest point of this building to the closest point of a single family house in that subdivision is 500 feet. It's readily comparable to the two buildings to the north on Prairie Ridge Boulevard and 94th Avenue. But I don't have a comparable going all the way. This land is higher than the single family subdivisions to the west. It is higher. And it kind of transitions. It goes from higher and it's going down this way.

And so we envision that at least the condominium area which is that vacant area between, we envision that that area would have probably a lot of lookouts and walkouts in order to try to start stepping that down significantly. We can't really change the grades of this property because the road grades are set, the utilities are all set, everything that nature has been put into the ground already. But, again, as you get further just to the west of 97th Court that's when we envision that things could start stepping down considerably.

Tom Terwall:

Thank you.

Carl Ehr:

Stepping down like basically to the west?

Jean Werbie-Harris:

Correct.

Carl Ehr:

As a resident whose this building sits in my backyard, and I'm not concerned at all about the looks of it. I think it would be a beautiful building. But I'm very concerned about the height, especially because it's already sitting up on a higher elevation. It's probably 20 feet higher than my backyard just the elevation of the base grade already. And the buildings that are up there look good, but they're a bit more of a distance away. And it's anticipated that the new buildings that would be built closer to our house would pretty much buffer that. So that's my concern is that the building would be a bit on the tall side as they have it now.

Tom Terwall:

And what's the distance of this building from your house?

Carl Ehr:

Can you put up that 300 foot zone? It's about 400 feet from my backyard if that's 300 feet. It comes right in. I live in one of the areas right by the sidewalk going into Prairie Ridge Estates.

Tom Terwall:

Okay, thank you. Anybody else? If not I'm going to open it up to Commissioners and staff. Jim?

Jim Bandura:

A question to Jean. What's the height of Cobblestone compared to this Skyline development?

Jean Werbie-Harris:

I would have to defer to Jeff. I'm thinking it's between 43 and 46.

Jeff Marlow:

Forty six.

Jean Werbie-Harris:

Forty six.

Jim Bandura:

Another question to Mr. Marlow. I had the opportunity to read your lease on Cobblestone. And it's a tough lease for anybody that's going to lease it. Is this going to be basically the same lease per unit?

Jeff Marlow:

As far as meaning -- what do you mean by tough?

Jim Bandura:

It was in depth.

Jeff Marlow:

Well, the good news is now we're paperless so you don't have to read it on paper anymore. So everything is paperless now. It's the same type lease. Yes, we're very detailed oriented.

Jim Bandura:

Your requirements are going to be basically the same?

Jeff Marlow:

Oh, absolutely they are, yes. The requirements that Jean had mentioned have not changed by any standards between where we are at as far as background checks, where we're out as far as credit scores, for income ranges. That's all the same. We'll be creating a smoke free environment, and we're also going to have where there's no cats allowed either. It's amazing sometimes. It's actually been pretty good because we do those inspections once a year. It's amazing sometimes what you find when you take a walk through for pets and that.

Can I ask one other question? I am in the process of talking with the bank on that piece of property which you're talking about across from where your homes are located. And this is question that I looked at the original plan and I saw it was four units, six units and everything else. And I said to myself I don't know if that's going to go there. Where we're from in Green Bay we've done a lot of duplexes, and then we split them up and sold them off as condos. I asked them to lay it out for me, and we laid it out where we actually could come up with 77 units that would be on that site that we're talking about that would be there. And if those condos would be there the backside and the height of those condos some of them would be ranches, some of them would be story and a half that would be there. Would that be a preferred thing if they would be as condos so that basically we would just take a lot and they would share -- you know, you would share a divider wall that would be there, but they would be set up as duplexes? Is that something that would be of an interest to the neighborhood? Any thoughts one way or another?

[Inaudible]

Jeff Marlow:

Oh, yeah, absolutely, no, you're right. And what they talked about two year, on some of those lots -- there's a lot of exposure that's there. So with some of those exposures you're going to see ranches that will come into play more.

[Inaudible]

Michael Serpe:

We're not getting any of the conversation from the back. It has to be on record. So if you're going to answer please come to the microphone.

Jeff Marlow:

So if I get a little feedback that would help me out as I've been working on the negotiations. Because truthfully I want to bring it in that it would be done as duplex condos is what we'd like to do. We'd get rid of the other units.

Jim Bandura:

Would that be considered like a 55 plus community?

Jeff Marlow:

No, we want to give everyone an opportunity no matter what age you are to be able to own. And, once again, what you build usually is what you get. I would anticipate those units if that would go through would probably be somewhere in the \$300,000 range. With building costs escalating it's probably \$300,000, maybe \$350,000 would be the thought. I mean they would be very nice looking units.

[Inaudible]

Tom Terwall:

Kathy, did you want to add something? Come to the microphone please.

Jeff Marlow:

All right, that's my cue to leave.

Kathy Jalensky:

You want my name and address again?

Tom Terwall:

Please.

Kathy Jalensky:

Kathy Jalensky, 9716 84th Place. To answer your question, and I agree it's not a matter of what size you're building, it is the quality and the price range. To add a unit, condo units, whether they're attached to a family and sharing a wall, that kind of thing, if you're going to be building it \$300,000 plus that's the kind of unit that would support our subdivision. And I really do believe if you can be building them they are going to be sold. You're going to make a great profit on it. As I said if you're familiar with Prairie Village condo units the one I had was on the market for hours and it was gone. So I think for our benefit as homeowners and you as a developer it would be a great investment for you. I guarantee you we'd be able to sell those.

Tom Terwall:

Thanks, Kathy. Mike, you had a comment or question?

Michael Serpe:

Jeff, a couple things. When we did the Cobblestone approval, number one, I'm very impressed with the quality. I'm as impressed with Jim with the application process. I think it's easier to get into the CIA than it is to your apartments. But my question to you, Jeff, would be, and I don't know the answer to this if it could be done, but if you were to sell Skyline at some point in time could we ensure that the agreements with the application process go along with the sale of the building? So in other words the new owner would maintain the integrity of that building with the application process so it maintains the integrity of the neighborhood as well.

Jeff Marlow:

I don't know exactly how we'd be able to do that. I mean I'll put it to you this way. Whoever would be buying the building if that would happen would mean I'm probably not here right now talking to you. But I'm staying here. I'm staying here as long as the Good Lord lets me be here. But at that point in time the amount of dollars and cents that would have to be spent to buy the building really is an incredible insurance policy. Because most people if you're going to spend that type of dollar amounts have to have strong policies or they won't make it. And you're not seeing too many -- when you look at that type of amenities and things that are spent to make the buildings look that way usually you're pretty safe.

Michael Serpe:

One other question, Jeff. Where do you find plaster men?

Jeff Marlow:

In Green Bay, Wisconsin. I have to drive them up here. That's a good question, it's tough.

Michael Serpe:

I didn't think any more existed?

Jeff Marlow:

No, I think Green Bay is the last pocket that I know of truthfully. There are some family friends of mine that have been with me for 20 some years traveling the state wherever we go to. Because you're right it's almost impossible. Even our repair work we teach our own repair people now how to be able to do the touch ups and so forth afterwards. Thank you.

Tom Terwall:

Anybody else?

Brock Williamson:

I have a question. My background is in landscaping. And what's the height of the evergreen trees you're probably going to use as a buffer?

Jeff Marlow:

I would say they'd be very comparable to the height of what we had before at our other site which are probably six to eight.

Jean Werbie-Harris:

I think they were six to eight on top of berm.

Jeff Marlow:

I would say six to eight.

Brock Williamson:

Okay, thank you.

Tom Terwall:

That's it? Then I'll close the public hearing.

Michael Serpe:

This Prairie Ridge I was on the Board and the Plan Commission from the beginning, and it's one of our proudest developments. We're proud of it as a Plan Commission and as a Board as you are as a resident. And I don't think that we would support anything that would detract from the quality of that development in its entirety. It's one of our best. It's a very popular development, a very successful one. And I would move approval of the Zoning Map and Text Amendment.

Wayne Koessl:

I'll second, Chairman.

Tom Terwall:

**IT'S BEEN MOVED BY MICHAEL SERPE AND SECONDED BY WAYNE KOESSL TO APPROVE THE CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLAN SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. YES?**

Jean Werbie-Harris:

Actually there's no Site and Operation Plan, I thought I just heard you say that, or Conditional Use. It's just a Zoning Text and Map Amendment and related development plan.

Michael Serpe:

Just the Zoning Map and Text Amendment, that's it.

Tom Terwall:

Sorry. It's been moved and seconded to approve the Zoning Text Amendment subject to the terms and conditions outlined in the staff memorandum. All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Michael Serpe:

It's great to work with people that are professionals. Sometimes we don't get that respect up here, but thank you.

**C. PUBLIC HEARING AND CONSIDERATION OF AN AMENDMENT TO CONDITIONAL USE PERMIT #13-03 (4th Amendment) for the request of Attorney J. Michael McTernan agent for VIDHYA Corp, VIII, Inc., the property owners, to remove condition #54 and allow the BP Amoco gasoline station and convenience store located at 10477 120th Avenue to remain open after June 10, 2016 subject to the terms and conditions of the said Conditional Use Permit and the Settlement Agreement between the Village and the property owners.**

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and the audience, the Item C is a consideration of an amendment to a Conditional Use Permit #13-03. It's the 4th Amendment for the request of Attorney J. Michael McTernan, agent for VIDHYA Corp, VIII, Inc., the property owners, to remove condition #54 and to allow the BP Amoco gasoline station and convenience store located at 10477 120th Avenue to remain open after June 10, 2016 subject to the terms and conditions of the said Conditional Use Permit and the Settlement Agreement between the Village and the property owners.

As a part of the hearing comments and as part of the public hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's request as presented and described below:

#### Findings of Fact

1. The petitioner is requesting a 4th Amendment to CUP #13-03 to allow the BP Amoco gasoline and convenience store located at 10477 120th Avenue to remain open past June 10, 2016. This is provided as Exhibit 1.
2. The subject property is known as Lot 14 of CSM 1489 located in a part of U.S. Public Land Survey Section 30, Township 1 North, Range 22 East in the Village of Pleasant Prairie and further identified as Tax Parcel Number 92-4-122-302-0130.
3. The property is currently zoned B-4, PUD, Freeway Service Business District with a Planned Unit Development Overlay District, and a gasoline station requires a Conditional Use Permit to operate in the B-4 District.
4. There were some previous approvals on this property.
  - a. On November 19, 2012, the Plan Commission approved a Conditional Use Permit #12-10, Exhibit 2, including site and operational plans to allow BP Amoco to operate a gasoline station and convenience store and to install a carbon treatment filtration system that treats existing contaminated ground water from several reported hazard substance releases at the BP site. This Conditional Use Permit approval was and is still is subject to compliance with the Settlement Agreement approved by the Village Board on November 29, 2012 and the 53 additional conditions. The Conditional Use Permit was valid until May 1, 2013. A full copy of the Settlement Agreement is on file with the Village.
  - b. On May 28, 2013, the Plan Commission approved CUP #13-03, Exhibit 3, to allow BP Amoco to operate a gasoline station and convenience store and to install the carbon treatment filtration system that will treat existing contaminated ground water from several reported hazard substance releases at the site. This approval was subject to the compliance with the Settlement Agreement approved by the Village Board on November 29, 2012, the 1st Amendment to the Settlement Agreement approved by the Village Board on April 1, 2013 and the 53 additional conditions. The Conditional Use Permit was valid until June 10,

2014. And a copy of the Settlement Agreement and the 1st Amendment to the Settlement Agreement are on file with the Village.

- c. On January 13, 2014, the Plan Commission approved the 1st Amendment to Conditional Use Permit #13-03 provided as Exhibit 4 to allow BP Amoco to continue to operate the gasoline station and convenience store with the approval of Settlement Agreement Amendment #2 which addressed the request for modified analytical test parameters, discharge water standards and reporting requirements of the carbon treatment filtration system that will treat existing contaminated ground water from several reported hazard substance releases at the site located at 10477 120th Avenue. This approval was subject to the compliance with the Settlement Agreement approved by the Village Board on November 29, 2012, the 1st Amendment to the Settlement Agreement approved by the Village Board on April 1, 2013, the 2nd Amendment to the Settlement Agreement approved by the Board on February 3, 2014 and the 53 additional conditions. The Conditional Use Permit was valid until June 10, 2014. A full copy of the Agreement and all Amendments are on file with the Village.
- d. On June 9, 2014, the Plan Commission approved the 2nd Amendment to Conditional Use Permit #13-03, this is Exhibit 5, and this was to allow BP Amoco to continue to operate the gasoline station and convenience store. This approval was subject to compliance with the Settlement Agreement approved by the Village Board on November 29, 2012, the 1st Amendment to the Settlement Agreement approved by the Board on April 1, 2013, the 2nd Amendment to the Settlement Agreement approved by the Board on February 3, 2014 and the 53 additional conditions. The Conditional Use Permit 2nd Amendment was valid until June 10, 2015. A full copy of the Settlement Agreement and all Amendments are on file with the Village.
- e. On June 8, 2015, the Plan Commission approved the 3rd Amendment to CUP #13-03, Exhibit 6, to allow BP Amoco to continue to operate the gasoline station and convenience store. This approval was subject to compliance with the Settlement Agreement and all the Amendments thereto that were approved by the Village Board as well as the 53 additional conditions. The CUP 3rd Amendment was valid until June 10, 2016.
- f. On June 15, 2015, the Board approved a 3rd Amendment to the Settlement Agreement, and on May 2, 2016 the Village Board approved a 4th Amendment to the Settlement Agreement. A full copy of the Settlement Agreement and all of the Amendments to the Settlement Agreement are on file with the Village.

Note that the findings of fact and the public hearing records of the above noted approvals are hereby all included as part of the public record and are available for viewing at the Village Hall. So I won't be reading all of those documents into the record.

## 5. Site Status

Over the past several years, Vidhya and their consultants have taken actions in order to comply with the settlement agreement and the aforementioned amendments to the Settlement Agreement and have made progress in addressing the illicit discharges. The following broad scope items have been completed to date:

- During early 2012, the BP Amoco station located at 10477 120th Avenue was ordered to stop an ongoing illicit discharge of petroleum products into a drainage ditch adjacent to the property. Station owners were also ordered to develop and implement a plan to remove the contamination from the surrounding soils and groundwater. During September of 2012, station owners presented an acceptable plan to stop the illicit discharge, remediate the contamination, and to monitor the surrounding soils and groundwater. The system has been operational since April of 2013.
- Due to the site remediation that has been completed to date and testing results, the owner's engineers have proposed to shut down the pumping and the treatment system while continuing to monitor the drainage ditch, sumps and select monitoring wells frequently for petroleum discharge. Both the Village and the Wisconsin Department of Natural Resources must approve the shutdown in order for it to take place.
- As noted above, on May 2, 2016, the Village Board approved the 4th Amendment which includes a plan for Vidhya Corporation to shut down a groundwater pumping and treatment system. An engineering and environmental firm has outlined a strategy to shut down the system which has been operating within the limits of a Wisconsin Pollutant Discharge Elimination System, WPDES, permit for the past two years.
- If during the course of one year, any petroleum product is observed in the ditch, sumps, or monitoring wells, steps shall be required immediately to be taken to remove the petroleum, the Wisconsin DNR and the Village shall be notified, and the treatment system would be restarted. If, after one year, spring 2017, there is no increase in groundwater contamination and the ditch remains free of petroleum, the site could be reviewed for a closure request with no further pumping, treatment or monitoring. Site closure is determined by a Wisconsin DNR Closure Committee who reviews the case.
- Since Vidhya is currently in substantial compliance with the Settlement Agreement and related Amendments, Vidhya's recent request and Board's approval to shut down the groundwater pumping and treatment system, the Village Engineer because it hasn't been a full one year, he is recommending actually a one year extension of the CUP. Therefore, the planning staff is recommending approval of the 4th Amendment to the Conditional Use Permit #13-03 for a one final year of extension subject to all of 53 conditions with condition #54 to read as follows:

54. This Conditional Use Permit #13-03 4th Amendment is valid until June 14, 2017. In order for this facility to continue to operate after June 14, 2017, an application for an extension to this Conditional Use Permit shall be reconsidered by the Plan Commission at a regularly scheduled public hearing prior to June 14, 2017. We actually happen to have a meeting on June 12, 2017 next year.
6. The petitioner and all of the abutting and adjacent property owners within 300 feet were notified via U.S. Mail on May 5, 2016 of this hearing. Public hearing notices were also published in the *Kenosha News* on May 9 and 16, 2016.
7. The petitioner and the property owner were emailed a copy of this memorandum on May 20, 2016.
8. According to the Village Zoning Ordinance, the Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings of fact, the application, related materials and the information presented this evening that the project as planned will not violate the intent and purpose of the Village Ordinance and it meets the minimum standards for granting of a Conditional Use Permit. Furthermore, the Plan Commission shall not approve any site and operational plan application without finding in the decision that the application, coupled with satisfaction of any condition of approval, will comply with all Village ordinance requirements and all applicable federal, state and local requirements.

With that I'd like to continue the public hearing. The petitioner has representation, and the Village staff that's been working on this with their Engineer is Matt Fineour, and I'm sure they'd both be happy to answer any questions that you might have.

Tom Terwall:

Mr. McTernan, go ahead.

Michael McTernan:

Michael McTernan, 6633 Green Bay Road, Kenosha, Wisconsin. Thank you for the endless work the Village has done to monitor and to work with us on this. And hopefully next year at this time will be the last time I'll be coming back for an extension for an amendment. But I appreciate it, and I'm here to answer any questions you have. Thank you.

Tom Terwall:

Thank you. Do you wish to add anything?

Matt Fineour:

Unless you guys want to further information. I'll just say this, that over the past year they've been monitoring this site, the quarterly sampling, they've submitted all their quarterly reports. Over the next year they're going to be shutting down the system for the next year. When they

shut down the system this isn't a shut down permanently yet. This is a shut down to basically continue monitoring the site to see how the site characteristics hold while they're not pumping. So they need to see that to make sure that either if the groundwater rises that they can see what's going to happen with that pump off. So if it comes out that hopefully in a year that the site's stable, we still don't have any illicit discharges, then they'll have a little bit more substantial case to the DNR that we can work towards site closure. If for the next year something doesn't go that way and they've got to turn the pumps back on, then they've got to turn the pumps back on. But I think a year from now they will have a pretty good road to what's going to happen in the end here.

Tom Terwall:

But you're comfortable with approving this tonight then?

Matt Fineour:

Yes, I am.

John Skalbeck:

I've got a question. So when the problem was found out, was there soil removed where it was the source of that remove, and was the leak identified and all that?

John McTernan:

You go back in time, the site had contamination at the property that had occurred prior to my client's ownership and occupancy of the property. BP Corporate had owned the property, had a significant spill on site, and had received closure from the DNR to leave the contamination onsite, rebuilt the site, and that contamination sat there. At some point in time over time groundwater elevations had picked up and had grabbed the contaminated soil that had been impacted and remained onsite, and it had hit the discharge pipe and had appeared in the ditch.

My clients have gone in and put in new sump pumps and had done some excavation to clean up some of the contaminated site. But there is still on the site, and as the DNR now knows, there is contaminated soil on the property. The goal as the engineer has stated is that hopefully by now having treated groundwater that has flowed through there the site is stabilized. And we're hoping that over a year's period of time we'll be able to monitor and watch to determine that we have addressed this. It's still not going to eliminate the contaminated soil that's in the site. It remains in there buried. Obviously if anything changes and we go to excavate or dig anything up we'll have to reopen and deal with that. The goal is hopefully to have everything stabilized at this point and no longer continue to treat the groundwater. Does that answer your question?

John Skalbeck:

Well, it does. I mean I was a groundwater consultant for 12 years, and so residual contamination in the soil will continue to be a source. And so you can pump forever and it will continue to be a problem. So without taking the source out of the ground it takes a long time for that to degrade. So I think we may be hopeful that when turning off the pumps over the course of a year we might

get lucky, but the high probability is you'll see groundwater contamination again, because the water will continue to move through this contaminated soil that remains in the ground. It's unfortunate that Wisconsin DNR gave a closure with residual contamination in the ground and your client bought it. But nonetheless it's still there and will likely be an issue. I mean I think the Village owes itself to keep a close eye on this one. I agree we should continue the permit, but let's make sure we keep an eye on it.

Michael McTernan:

We're hoping. And that's all we can do. And the continuing testing, the continuing monitoring over the next year to see what happens. As the engineer stated if the problems are up the systems come right back on. We understand that. So this is just a -- this requirement today is just a continuance on our conditional use for another year while we go down that path. So we'll know more a year from now, and we may still be here for another year. We don't know. Take it one step at a time. Thank you.

Tom Terwall:

Anything to add, Jean?

Jean Werbie-Harris:

I wanted to mention that just for clarification, again, on page 4 of the staff memo the Conditional Use Permit 13-03, 4th Amendment, would be valid until June 14, 2017, and to twice in that same paragraph it refers to that date. So I just want to make sure and clarify that.

Tom Terwall:

Thank you, Jean.

Michael Serpe:

Move approval of 13-03.

Jim Bandura:

Second.

Tom Terwall:

**IT'S BEEN MOVED BY MICHAEL SERPE AND SECONDED BY JIM BANDURA TO APPROVE THE CONDITIONAL USE PERMIT 13-03 4TH AMENDMENT UNTIL JUNE 14, 2017 SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.**

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

**D. PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #16-07 FOR A COMPREHENSIVE PLAN AMENDMENT for a portion of the Green Hill Farms Neighborhood Plan related to the development of the property at 8000 128th Street for the Village's new Residential Recycling Center.**

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and the audience, this is a consideration of Plan Commission Resolution #16-07 for a Comprehensive Plan Amendment for a portion of the Green Hill Farms Neighborhood Plan related to the development of the property at 8000 128th Street for the Village's new Residential Recycling Center.

On May 9, 2016, the Plan Commission conditionally approved a Conditional Use Permit including Site and Operational Plans to operate the Village of Pleasant Prairie Residential Recycling Center at 8000 128th Street. This facility is the Village's new residential compost site that is being relocated from the Roger Prange Municipal Center Building site. The property is also referred to as the former 73-1 sewerage treatment facility site.

The 2035 Land Use Plan Map 9.9 of the Village Comprehensive Plan indicates this property is located within the Governmental and Institutional land use designation, and the non-impacted environmental areas are located within Primary Environmental Corridor, Other Open Space with wetlands and 100-year floodplain land use designations.

A refinement of the Land Use Plan is the Neighborhood Plan. Neighborhood Plans take into account the compatibility of existing and planned land uses, identifies how future land divisions and developments could occur, plans how access roadways to the land divisions should be provided and interconnected to existing roadways, examines the practicability of providing certain lot layouts, road layouts, parkways, open space areas, park areas, preservation areas, public community facilities, infrastructure improvements and municipal services to service the area. The property is located within the Green Hill Farms Neighborhood Plan area.

As recommended as part of the Implementation Element, Chapter 10 of the Village Comprehensive Plan, Neighborhood Plans shall be revised and updated to ensure that these detailed plans are consistent with the Comprehensive Plan. If there is a conflict between the a specific Neighborhood Plan and the Comprehensive Land Use Plan Map 9.9, the Comprehensive Plan Land Use Plan Map shall govern and the Neighborhood Plan shall be amended.

With that being said, the proposed Residential Recycling Center is allowed with a Conditional Use Permit in the I-1 District, which is consistent with the Comprehensive Land Use Plan; however, the Green Hill Farms Neighborhood Plan needs to be amended. The Plan Commission approval of the CUP including Site and Operational Plans on May 9, 2016 was subject to the approval of this Neighborhood Plan Amendment being considered at this meeting this evening.

The Neighborhood Plan removes a proposed public road extending east-west through the site at 8000 128th Street and places the property within the Governmental and Institutional land use designation. The non-impacted environmental areas are located within Primary Environmental Corridor, Other Open Space with wetlands and 100-year floodplain land use designations as shown on the 2035 Comprehensive Land Use Map. This change has no effect on the net density of the subdivision or the neighborhood.

With that I'd like to continue the public hearing. John Steinbrink, Jr., is in the audience as well, and he is the Public Works Director. And he also manages our new residential recycling center at that location which is intended to be open for business on Monday, June 6th.

Tom Terwall:

Anything you want to add, John?

John Steinbrink, Jr.:

John Steinbrink, 8600 Green Bay Road, Public Works Director. No, I think Jean did a great job, but I can answer any questions from the residents or the staff.

Tom Terwall:

Thank you. This is a matter for public hearing. Is anybody wishing to speak on this matter? Yes, sir?

Steve Franklin:

Good evening. Steve Franklin, 8400 122nd Street. My main concern is the fact that now there will be only one way of ingress and egress into any potential new development to the east. How does the Village address that?

Tom Terwall:

John?

John Steinbrink, Jr.:

I believe Jean is maybe better addressed to answer this question.

Jean Werbie-Harris:

We've talked about this as a staff as to whether or not a single family development with that number of lots would still be appropriate at that location. But there has been no proposal to date to modify the Comprehensive Plan for that particular area. Single family developments can typically have one entrance in and out if there are fewer than, I think we've had between 20 and 30 single family lots so we'd have to take a look at that more closely. In addition, other options that would be open if that would develop for single family would be residential fire sprinklers, that's another option. And a final option would be if that diagonal roadway which is our

private/private road that connects from State Line into the residential compost site, if for some reason that that was dedicated as a public road then there possibly could be a connection where that cul-de-sac is that terminates, that could possibly terminate and go into that road that runs on a diagonal, here's the aerial, that could lead to 128th Street. So there's a couple of different options before any new development could be proposed on that vacant property owned by GAR [phonetic] we would have to evaluate things a little bit more closely.

Tom Terwall:

But until such time as that develops it's a moot point, is that correct?

Jean Werbie-Harris:

Until there's a proposal at that site it is a moot point. But we are looking at this plan at this time.

Steve Franklin:

Just one more question. Is there an ordinance that -- apparently there's about 30 or 35 homes. Is there an ordinance that says you need more than one ingress and egress or no?

Jean Werbie-Harris:

There's a reference in the Village's Land Division and Development Control Ordinance. And from my memory, I'd have to look it up, it's Chapter 395, but I believe it's when you hit 40 single family lots that there must be two means of ingress and egress to and from that development. So we'd have to look at that a lot more closely and evaluate what that impact would be. Right now 122nd is a rural cross-section roadway. It doesn't currently meet our standard, our current standards, with respect to a public roadway today. So if that were to develop for single family purposes we probably would have to re-look at 122nd Street as well.

Steve Franklin:

What does re-look at mean? Since I reside on that road what does re-look at mean?

Jean Werbie-Harris:

As part of the evaluation of any new proposed development in Pleasant Prairie we look at the land uses, we look at the roads, the road profiles. We look at the ability to service the property for sewer and water. We would look at the condition of the road. There are a number of things that the engineering and the planning department and public works, everyone will look at the road right of way and do like a mini traffic study to see whether or not if it can handle any additional road, traffic, and what improvements would need to be made to that road to handle that additional traffic, to see if the road needs to be improved, if it has to be widened, if anything needs to be done in order to handle any proposed or new development. We've not done a detailed traffic study or analysis of this particular are at this time.

Tom Terwall:

Is there anybody else? Seeing none, I'll open it up to comments and questions from Commissioners and staff. Wayne?

Wayne Koessl:

If there aren't any questions from the Commissioners, Mr. Chairman, we kind of went through this at our last meeting in detail. And I would move that the Plan Commission would approve Resolution 16-07 and recommend that the Village Board approve the amendment to the Green Hills Farms Neighborhood Plan as presented at our May 23, 2016 Plan Commission meeting.

Jim Bandura:

Second.

Tom Terwall:

**IT'S BEEN MOVED BY WAYNE KOESSL AND SECONDED BY JIM BANDURA TO APPROVE THE RESOLUTION AS STATED AND TO RECOMMEND TO THE VILLAGE BOARD THAT IT ALSO APPROVE THE NEIGHBORHOOD PLAN SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.**

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Jean Werbie-Harris:

I'd request that both Items E and F be considered by the Plan Commission as discussed previously.

Tom Terwall:

Motion to that effect please.

Michael Serpe:

So moved.

Bill Stoebig:

Second.

Tom Terwall:

**MOVED BY MICHAEL SERPE AND SECONDED BY BILL STOEBIG TO COMBINE ITEMS E AND F FOR DISCUSSION PURPOSES AND VOTE SEPARATELY. ALL IN FAVOR SIGNIFY BY SAYING AYE.**

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

- E. Consider the request of John Burroughs of Majestic Realty Co., for approval of Final Site and Operational Plans for the construction of a 424,164 square foot speculative industrial building on the vacant land located on the east side of 88th Avenue about ¼ mile south of Bain Station Road.**
- F. Consider the request of John Burroughs of Majestic Realty Co., for approval of a Certified Survey Map to subdivide the property located on the east side of 88th Avenue about ¼ mile south of Bain Station Road into two (2) parcels for industrial development.**

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and the audience, we have two requests at the request of John Burroughs of Majestic Realty Company for approval of Site and Operational Plans for the construction of a 424,164 square foot speculative industrial building that's proposed on the vacant land located on the east side of 88th Avenue about ¼ mile south of Bain Station Road.

The second request by John Burroughs of Majestic Realty Company is for the approval of a Certified Survey Map to subdivide the property located on the east side of 88th Avenue about ¼ mile south of Bain Station Road into two parcels for industrial development. As you mentioned, these items are related and will be discussed at the same time, however separate action would be needed by the Plan Commission.

The Village has been working with the developer for the past several years, and to date the following approvals have been obtained for the development of the Majestic Badger Logistics Center site:

1. On October 15, 2012, the Village of Pleasant Prairie Board of Trustees approved the following requests related to the development of the property generally located south of Bain Station Road on the east side of 88th Avenue. This is for Tax Parcel Number 92-4-122-162-0301 in the Village. The three approvals include:

- Village Comprehensive Plan, Ordinance 12-33 was approved by the Board on October 15, 2012 to amend the Comprehensive Land Use Plan Map 9.9 and to amend a portion of the Pleasant Farms Neighborhood Plan.
  - Conceptual Plan was conditionally also approved by the Board for the development of the originally proposed 1.2 million square foot warehouse/distribution facility building known as the Majestic Center.
  - Zoning Map Amendments 12-34 was approved by the Village Board on October 15, 2012 to rezone a portion of the property that was zoned A-2, General Agricultural District into the M-2, General Manufacturing District. Portions of the property within the 100-year floodplain that were zoned FPO, Floodplain Overlay District, and C-1, Lowland Resource Conservancy District areas remained unchanged. But note that upon the completion of the detailed wetland field delineation and the 100-year floodplain field survey including floodplain boundary adjustments additional amendments to the 2035 Comp. Plan as well as the Zoning Map will be required.
2. Floodplain Boundary Adjustment was conditionally approved by the Plan Commission on April 8, 2013. It has not yet been considered by the Board since the plans need to be modified and approval from the Wisconsin DNR and that's still pending. The floodplain boundary adjustment proposes to remove approximately 98,173 cubic feet of floodplain and to create approximately 99,144 cubic feet of floodplain to compensate for the floodplain being filled. This work has already commenced and will be completed this year in 2016.
  3. Site and Operational Plans were conditionally approved by the Plan Commission on May 13, 2013 for the construction of a 1,180,480 square foot warehouse/distribution building on the property. And there were several extensions that were granted by the Plan Commission. However the petitioner has decided to start with a spec building at this time on the northern end of the property and not proceed with that 1.1 million square foot facility.
  4. Zoning Map Amendment Ordinance #13-18 and Zoning Text Amendment PUD Ordinance #13-19 were approved by the Village Board on May 20, 2013. The Zoning Map Amendment rezoned the property to include a PUD, Planned Unit Development Overlay District. The existing M-2, General Manufacturing District, C-1, Lowland Resource Conservancy District and FPO, Floodplain Overlay District remained unchanged. The Zoning Text Amendment which is attached in your packets created the specific PUD requirements for this property.
  5. Preliminary Site and Operational Plans were approved by the Plan Commission on April 25, 2016, and this was to begin the development of the northern portion of the property for a 424,164 square foot building and associated onsite public and private improvements, along with off-site County Trunk Highway H public improvements.
  6. Development Agreement was also approved by the Village Board on May 2, 2016 for the public improvements within County Trunk Highway H or 88th Avenue for this project.

At this time, the petitioner is requesting to obtain Final Site and Operational Plans approval to begin the development of the northern portion of the property for the construction of the speculation building and associated onsite and offsite improvements. In addition, the petitioner is requesting approval of the Certified Survey Map to subdivide the property into two parcels. The building will be constructed on the northern portion of the site or on Lot 1 of the proposed CSM. The petitioner is tentatively planning to construct a second building on Lot 2 at some time in the future.

For the Final Site and Operational Plans: The Final Site and Operational Plans will allow the petitioner to construct a 424,164 square foot speculative industrial building on the vacant land located on the east side of 88th Avenue about ¼ mile south of Bain Station Road on Lot 1. The building has been designed so that it can be easily divided into as many as four tenant spaces. The building design is a cross dock facility with trailer storage as shown on the plans. The design provides for secured truck courts in the event that future tenants would require that feature.

At this time there is no identified user for this speculative building. As information, any tenant that proposes to use or occupy 50 percent or more of this speculative building will require Site and Operational Plan approval from the Plan Commission. Also, depending on the use proposed, a CUP in addition to the Site and Operational Plan approval may be required.

Building Setbacks: The M-2, General Manufacturing District requires that the building meet the following minimum setback requirements:

- Street setback: minimum of 65 feet from CTH H.
- Side and rear setbacks: 45 feet minimum.
- Shore setback: 75 feet minimum from the ordinary high water mark of Jerome Creek.
- Wetland setback: 25 feet from the wetlands on the property.
- There is no setback to the 100-year floodplain; however no structures shall be located within the 100-year floodplain.

Setbacks for parking areas which includes parking spaces, maneuvering lanes and fire lanes as measured from the back of curb shall meet the following minimum requirements:

- Industrial area parking setback: 90 feet minimum to the future residential lot area in the northeast corner of the site per the PUD.
- A minimum of 20 feet from the front County Trunk Highway H right-of-way.
- A minimum of 20 feet from other private roadways and drives to the side and rear lot lines with the exception to the east property line wherein a zero setback is being proposed. And, again, as you can see on the slide everything to the east at that location is basically open space, floodplain and wetland.
- A minimum of 90 feet from the north property line at the northeast end abutting future residential development.
- In addition, parking areas shall not be located within any easements unless express written approval is allowed or provided by the easement holder.

The M-2 District requires that at minimum of 25 percent of the site be open space, which the site provides.

A Traffic Impact Analysis or a TIA has been prepared by the developer's consultant, and it was reviewed by the Village and Kenosha County. A copy of the consultant's recommendations indicates that both deceleration and acceleration lanes and a by-pass lane shall be installed on County Trunk Highway H by the Majestic. Based upon the traffic study completed, Majestic shall also provide a cost contribution for the nearby future Bain Station Road and County Trunk Highway H intersection improvements which is proposed to be a roundabout. The cost is \$163,500.00. These improvements are anticipated to be constructed in 2017 by Kenosha County. This amount is payable by Majestic Realty Company to the Village as a condition precedent to the issuance of a building permit which funds will then be transferred to Kenosha County.

Employee, client and visitor vehicular and truck access to the site will be from a main driveway from 88th Avenue or Highway H. All parking areas and maneuvering lanes, fire lanes including the truck court, shall be improved with concrete vertical curb and gutter. The plan identifies 292 automobile parking spaces including 12 handicapped accessible spaces and 111 trailer spaces. The truck courts and trailers are planned to face north and south on the site.

Pursuant to the Village Zoning Ordinance the minimum onsite parking spaces for a manufacturing use would require five spaces, plus one space per employee on the largest shift and the required number of handicapped accessible parking spaces pursuant to the State Code. The minimum onsite parking spaces for a warehouse/distribution center is based on one space for every two employees during any 12 hour period plus the required number of accessible spaces per to the State Code. At the time that the proposed tenant use or uses and number of employees are known, adequate onsite parking shall be identified and provided. While the final number of required parking spaces will be determined based on the actual tenants, the number of parking spaces being provided anticipates the higher parking space requirements of the uses.

The development will be served by municipal sanitary sewer and water. Public water is located within 88th Avenue, and public sanitary sewer is located within an existing Sanitary Sewer Easement that was previously granted to the Village that's located on the site. Note that the Sanitary Sewer Easement is being widened and being provided by the petitioner on the CSM, and this is because of the maintenance access and Vactor equipment turnaround that's needed. The location of the parking areas, fire lanes and maneuvering lanes may be allowed to be over the Sanitary Sewer Easement, and it's subject to any conditions as noted on the CSM. Fourteen foot wide gravel maintenance access pathways are being installed over the public sanitary sewer main for the Village to be able to access our utility.

A total of 16 public street lights are going to be installed and shall be installed in the County Trunk Highway H right-of-way. The owner is also obligated to pay for the ongoing utility facility and maintenance related charges for the street lights. The Village, by that I mean Sandro Perez our Inspection Superintendent and John Steinbrink, Jr., our Public Works Director, will coordinate activities with the owner's engineer for the preparation of detailed Highway H public street lighting including the street lighting electrical service distribution plans, specifications and their installation and inspection.

In the executed Development Agreement the owner is obligated and has agreed to construct the Required Public Improvements pursuant to the Village approved Plans, and this is including installing a by-pass lane, acceleration and deceleration lanes, gravel shoulders, pavement

markings, traffic signage, and 88th Avenue road related repairs; installing storm sewer improvements; making hydrant and valve adjustments; making sanitary manhole adjustments and installing a new sanitary manhole, and that is located on the east side of the property just east of the parking lot; installing public street trees; installing public street lights and related appurtenances; and installing the 14 foot wide gravel sanitary sewer maintenance paths.

Construction: A pre-construction staff/contractor/owner meeting for the Majestic project was held on May 5, 2016 pursuant to the approvals of the preliminary site and operational plans, the development agreement and the related public improvements, as well as the conditional approvals of the erosion control and Wisconsin NOI permit and the mass grading plans. The ribbon cutting ceremony was held on May 5, 2016. Following the Village's conditional approvals of the Final Site and Operational Plans and related comments and conditions, receiving State approved plans and approvals, and issuance of the building permits, the construction of the building and other site work can commence likely in early June. Majestic anticipates that the building and site work would be completed by December 31, 2016.

So the second part of this request is the Certified Survey Map. The CSM subdivides the property into two parcels, dedicates additional right-of-way with 60 feet from centerline for County Trunk Highway H and future widening as required by Kenosha County. It also sets forth Dedication and Easement Provisions and Restrictive Covenants. Lot 1 is proposed to be 29.13 acres with over 600 feet of frontage on Highway H, and Lot 2 is proposed to be 58.37 acres with over 2,000 feet of frontage on Highway H.

With respect to wetlands on the property, the wetlands, as field delineated on the site in 2008 by Wetland and Waterway Consulting and as approved by the Wisconsin DNR on December 19, 2008 are shown on the CSM within a Dedicated Wetland Preservation and Protection, Access and Maintenance Easement.

With respect to shorelands and floodplains, Jerome Creek is located adjacent to the property. This Creek has been determined to be a navigable waterway. The location of the ordinary high water mark shall be field identified by the Wisconsin DNR and shown on the plans and the CSM. The Plans show the location of the 75 foot ordinary high water mark shore yard setback and the 300 foot shoreland jurisdictional area. The property owner has obtained the Village's Stipulated Shoreland Permit for the grading within 75 feet of the ordinary high water mark.

The location of the 100-year floodplain associated with Jerome Creek was field delineated pursuant to the DFIRM Map panel 191D dated June 19, 2012 and the associated table for the Jerome Creek which identifies the 100-year floodplain elevations. As noted above, the Floodplain Boundary Adjustment was conditionally approved by the Village, Wisconsin DNR and FEMA. The floodplain boundary adjustment will remove approximately 98,173 cubic feet of floodplain, and they will be creating 99,144 cubic feet of floodplain to compensate for the area being filled. The 100-year floodplain area after the amendment is already shown on the CSM, and it's located within a Dedicated Floodplain Preservation and Protection, Access and Maintenance Easement. As noted previously all the floodplain work will be finalized in 2016. Again, upon completion of that work, the petitioner will need to file for the Zoning Map and Text Amendments to reflect the correct floodplain boundary adjustments.

Under woodlands, a tree survey has been completed along the north property lines, and these wooded areas shall be protected and preserved during and after building/site construction. These areas are shown on the CSM within a Dedicated Woodland Preservation and Protection, Access and Maintenance Easement. The grading and berming along the north property line east and south of the cemetery shall also be constructed in such a manner to protect that drip line of the trees.

So the staff has two recommendations. The first is recommending conditional approval of the Final Site and Operational Plans subject to compliance with the above comments and all of the following conditions and comments as identified in the staff memorandum. And the second item is consideration of the approval of the Certified Survey Map, and that survey map is recommended for approval subject to the comments and conditions as outlined in the staff memorandum. And, again, part of that includes the payment of any outstanding taxes or special assessments and impact fees and so on and so forth. But also that payment of that transportation improvement fee of \$163,500 which the Village will in turn transfer to Kenosha County. With that the staff recommends conditional approval of both items subject to the comments and conditions as read into the record.

Tom Terwall:

A motion for Final Site and Operational Plan approval?

Jim Bandura:

So moved, Mr. Chairman.

Tom Terwall:

Is there a second?

Michael Serpe:

Second.

Tom Terwall:

**IT'S BEEN MOVED BY JIM BANDURA AND SECONDED BY MICHAEL SERPE TO GRANT FINAL SITE AND OPERATIONAL PLAN APPROVAL AS INDICATED SUBJECT TO THE TERMS AND CONDITIONS. YES, MA'AM?**

Jean Werbie-Harris:

Does the petitioner have any additional comments that they would like to add? He said no.

Tom Terwall:

Then we have a motion and a second for Final Site and Operational Plan Approval subject to the terms and conditions outlined in the staff memorandum. All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered. Then we need a motion to send a favorable recommendation to the Village Board to approve the CSM and the Development Agreement subject to the terms and conditions.

Wayne Koessl:

So moved, Mr. Chairman.

Bill Stoebig:

Second.

Tom Terwall:

**MOVED BY WAYNE KOESSL AND SECONDED BY BILL STOEBIG TO SEND A FAVORABLE RECOMMENDATION TO THE VILLAGE BOARD TO APPROVE THE CSM AND DEVELOPMENT AGREEMENT AS INDICATED. ALL IN FAVOR SIGNIFY BY SAYING AYE.**

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

**G. Consider the request of Patricia Soens for approval of a Certified Survey Map to subdivide vacant land locked properties and the lands adjacent neighbor properties generally located east of Cooper Road at the 8200 block.**

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission, this is an item to consider the request of Patricia Soens for the approval of a Certified Survey Map to subdivide vacant land locked properties and to attach the lands to adjacent neighbor properties generally located east of Cooper Road at the 8200 block.

The petitioner is requesting to subdivide their vacant land locked properties, Tax Parcel Numbers 91-4-122-113-0044 and 91-4-122-113-0048, within the 8200 block of Cooper Road. It's on the east side of Cooper Road. Several of the adjacent property owners will be acquiring portions of the vacant property so that no land will remain land locked. The properties west of 50th Avenue

are zoned R-5, Urban Single Family Residential District, and the properties east of 50th Avenue are zoned R-6, Urban Single Family Residential District.

- The property at 8201 Cooper Road, Tax Parcel Number 91-4-122-113-0042, owned by Helen Sampson will obtain portions of the vacant property to the south and east to form Lot 1 of the proposed CSM. Lot 1 will be 0.69 acre.
- The property at 8205 Cooper Road identified as Tax Parcel Number 91-4-122-113 0050 owned by Stanley and Dorothy Krifka will obtain portions of the vacant property to the north and east to form Lot 2 of the proposed CSM. Lot 2 will be 1.5 acres.
- The property at 8215 Cooper Road identified as Tax Parcel Number 91-4-122-113-0052 owned by Roxanne Patrick will obtain portions of the vacant property to the east to form Lot 3 of the proposed CSM. Lot 3 will be 1.12 acres.
- The property at 4910 83rd Street identified as Tax Parcel Number 91-4-122-113-0064 owned by John and Pamela O'Connell will obtain portions of the vacant property to the north to form Lot 4 of the proposed CSM. Lot 4 will be 0.72 acre.

The proposed land divisions conform with the Village Zoning Ordinance, Land Division and Development Control Ordinance and the Village's Comprehensive Land Use Plan. And as you can see by the slide that it clearly identifies how they are kind of unwinding a once development in this area where there was going to be some extensions of public roads from the City, and there was going to be a subdivision in this area. The adjacent property owners and the original landowner felt that that's not what they'd like to see in this area. And the statement that if you don't like what you see you should purchase it and change it, and that's what these residents are doing. They're purchasing this additional land and not looking towards any urban development for some subdivision in this area. And I believe that there might be some of them here if you have any questions.

Tom Terwall:

Yes, ma'am?

Patricia Soens:

I'm Patricia Soens at 8123 Cooper Road. And this is a relatively simple plan where we have land that was slated for a subdivision, and then after my uncle died I helped to fix up the house that I now own. And the neighbor to the north of me had asked well, gee, can we buy the land behind ours and add it on. And I brought that to my dad's attention and he said, gee, that's kind of a good idea, see if other neighbors would like to do that. So I started knocking on neighbors' doors all the way around the property, and I was real surprised at the responses. And I found out that not too many years ago when this was going to be a subdivision there was over 200 people that came here protesting that and don't want a subdivision there. If you don't this is the way to keep it just the way it is.

So everybody jumped on board, and everybody is excited. It got to be like added on like a little park and to keep the road kind of the way it's been since I grew up on it where Cooper Road is

noted for their long extensions of land from Cooper Road on out. And pleasantly surprised at all the wildlife that's still in there even though we have like Lance School so close to us. We have deer in there, we had a buck in our yard, I got a picture of it. And there's a lot of red foxes now and coyotes. And everybody is happy with all that there. So everybody just wants to work on taking out all the weeds that shouldn't be in there and keeping it more natural, more pine trees and bird houses. Just keep it the way it is kind of natural. That's what the plans are from all the neighbors leading with money in their hands saying when can we buy it. So we're looking forward to it.

Tom Terwall:

Good, thank you.

Patricia Soens:

I appreciate your time and all the help that Pleasant Prairie has given me especially fixing up the house that my uncle had. In fact, it was quite an ordeal. So Pleasant Prairie I really have to raise my hat to you for helping me with that. And Jean all the times I've been bugging them with all the questions. But you've been a big help like with this and every step of the way helping me get it together so that it works the way it should [inaudible].

Michael Serpe:

Since you are so kind in your words I'll make a motion to approve the Certified Survey Map.

Jim Bandura:

And I'll second it.

Tom Terwall:

**IT'S BEEN MOVED BY MICHAEL SERPE AND SECONDED BY JIM BANDURA TO APPROVE THE CSM SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.**

Voices:

Aye.

Tom Terwall:

Opposed? So ordered. A motion to adjourn is in order.

Michael Serpe:

Tom, can I just say something before we do. Last week in the Kenosha News there was an article where Uline was having a little bit of difficulty with the City of Kenosha and at the same time complimented Pleasant Prairie. And that compliment I think we saw tonight in a presentation on

the Skyline development. When it's presented in its entirety and thoroughly that speaks well for our staff and community development, Jean, Peggy, Kristina and Tom and Matt, John, Jr. We've got a good group here. And I think her presentation may have quelled a lot of speculation on what was going to happen here. So when the presentation is made complete and good, it's accepted and reasonable people understand it, and my hats off to you people for doing the job.

Wayne Koessl:

I'll second that, Mr. Chairman. We've always had an outstanding staff that has the interest of Pleasant Prairie at heart and all the citizens.

Michael Serpe:

Now we can adjourn.

## **8. ADJOURN.**

Tom Terwall:

Can you put that in a motion, Mike.

Michael Serpe:

Yeah.

Tom Terwall:

Is there a second?

Wayne Koessl:

I'll second. Yes, ma'am, go ahead.

Jean Werbie-Harris:

I know that Mike Serpe just mentioned Kristina, but I'm not sure -- it was the Board meeting last week. Kristina is our new planner in our community development department. So, Plan Commission, I'm introducing you to Kristina. She knows what she's getting into. So we have a lot going on, and she's a welcome addition to our team.

Tom Terwall:

Welcome aboard. We have a motion and a second, is that correct, to adjourn.

Michael Serpe:

Yes.

Tom Terwall:

All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered. We stand adjourned.

**THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME  
HOWEVER SEPARATE ACTION IS REQUIRED.**

- A. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #16-08 FOR AN AMENDMENT TO THE VILLAGE COMPREHENSIVE PLAN** for the request of Harold Brown, the owner of the vacant property generally located on 93<sup>rd</sup> Street east of 11<sup>th</sup> Avenue within Carol Beach Estates Unit #6 Subdivision (Lot 3 of CSM 1877) and further identified as Tax Parcel Number 93-4-123-191-0137 to amend the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to change the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designations to the Low-Medium Density Residential land use designation and to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan.

**Recommendation:** Village staff recommends that the Plan Commission approve **Plan Commission Resolution #16-08** to approve amendments to the Comprehensive Plan as outlined in said Resolution.

- B. **PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AMENDMENT** for the request of Harold Brown, the owner of the vacant property generally located on 93<sup>rd</sup> Street east of 11<sup>th</sup> Avenue within Carol Beach Estates Unit #6 Subdivision (Lot 3 of CSM 1877) and further identified as Tax Parcel Number 93-4-123-191-0137 to rezone the portion of the zoned C-1, Lowland Resource Conservancy District to the R-6, Urban Single Family Residential District so that the entire property is within the R-6 District as a result of the Wisconsin Department of Natural Resources confirmation that there are no wetlands on the property.

**Recommendation:** Village staff recommends that the Plan Commission approve the **Zoning Map Amendment** as presented in the June 13, 2016 Village Staff Report.

## VILLAGE STAFF REPORT OF JUNE 13, 2016

### **CONSIDERATION OF PLAN COMMISSION RESOLUTION #16-08 FOR AN AMENDMENT TO THE VILLAGE COMPREHENSIVE PLAN**

for the request of Harold Brown, the owner of the vacant property generally located on 93<sup>rd</sup> Street east of 11<sup>th</sup> Avenue within Carol Beach Estates Unit #6 Subdivision (Lot 3 of CSM 1877) and further identified as Tax Parcel Number 93-4-123-191-0137 to amend the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to change the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designations to the Low-Medium Density Residential land use designation and to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan.

**CONSIDERATION OF A ZONING MAP AMENDMENT** for the request of Harold Brown, the owner of the vacant property generally located on 93<sup>rd</sup> Street east of 11<sup>th</sup> Avenue within Carol Beach Estates Unit #6 Subdivision (Lot 3 of CSM 1877) and further identified as Tax Parcel Number 93-4-123-191-0137 to rezone the portion of the zoned C-1, Lowland Resource Conservancy District to the R-6, Urban Single Family Residential District so that the entire property is within the R-6 District as a result of the Wisconsin Department of Natural Resources confirmation that there are no wetlands on the property.

### **THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME HOWEVER SEPARATE ACTION IS REQUIRED.**

*The property owner had hired DK Environmental Services Inc., to complete a wetland delineation on the vacant property generally located on 93<sup>rd</sup> Street east of 11<sup>th</sup> Avenue within Carol Beach Estates Unit #6 Subdivision (Lot 3 of CSM 1877) and further identified as Tax Parcel Number 93-4-123-191-0137. The wetland staking was completed on October 24, 2015 and the required wetland report was filed with the Wisconsin Department of Natural Resources (DNR) and on April 20, 2016 the DNR sent the **attached** letter indicating that upon their field visit on April 13, 2016, concurred with the biologist with DK Environmental Services Inc., that there are no wetlands found on the site.*

In accordance with the Village of Pleasant Prairie 2035 Comprehensive Plan, upon completion of a wetland staking the 2035 Land Use Plan Map 9.9 shall be amended to reflect the results of the aforementioned wetland staking. Therefore, the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 is proposed to be corrected to change the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designations to the Low-Medium Density Residential land use designation and Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan is proposed to be updated to reflect this change in the land use plan.

Futhermore, in accordance with the Village Zoning Ordinance, upon completion of a wetland staking the Zoning Map shall be corrected to reflect the results of the staking. Again since the DNR has determined that there are no wetlands on the property the portion of the property that is zoned C-1, Lowland Resource Conservancy District is proposed to be rezoned into the R-6, Urban Single Family Residential District so that the entire property is within the R-6 District.

Village staff recommends that the Plan Commission approve Plan Commission Resolution #16-08 and send a favorable recommendation to the Village Board to approve the Comprehensive Plan Amendments as presented.

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the Zoning Map Amendment as presented.

**VILLAGE OF PLEASANT PRAIRIE PLAN COMMISSION  
RESOLUTION #16-08  
TO AMEND THE VILLAGE OF PLEASANT PRAIRIE, WISCONSIN  
2035 COMPREHENSIVE PLAN**

**WHEREAS**, on December 19, 2009 the Village Board of Trustees adopted the *Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan* (Comprehensive Plan); and

**WHEREAS**, Harold Brown, the property owner, had hired DK Environmental Services Inc., to complete a wetland delineation on the vacant property generally located on 93<sup>rd</sup> Street east of 11<sup>th</sup> Avenue within Carol Beach Estates Unit #6 Subdivision (Lot 3 of CSM 1877) and further identified as Tax Parcel Number 93-4-123-191-0137; and

**WHEREAS**, the wetland staking was completed on October 24, 2015 and the required wetland report was filed with the Wisconsin Department of Natural Resources (DNR); and

**WHEREAS** on April 20, 2016 the DNR sent a letter indicating that upon their field visit on April 13, 2016, concurred with the biologist with DK Environmental Services Inc., that there are no wetlands found on the site (See **Exhibit 1**); and

**WHEREAS**, the following amendments to the Village Comprehensive Plan are proposed:

1. to change the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designation to the Low-Medium Density Residential land use designation on the vacant property identified as Lot 3 of CSM 1877 and further identified as Tax Parcel Number 93-4-123-191-0137; and
2. to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to reflect the above noted changes to the 2035 Land Use Plan Map 9.9.

**WHEREAS**, on February 8, 2016 the Village Plan Commission held a public hearing to discuss the proposed amendments.

**NOW THEREFORE, BE IT RESOLVED**, that pursuant to Sections 62.23 (3) (b) and 66.1001 (4) (b) of the Wisconsin Statutes, the Village of Pleasant Prairie Plan Commission hereby approves the aforementioned amendments to the Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan as presented at the June 13, 2016 public hearing.

**BE IT FURTHER RESOLVED** that the Plan Commission does hereby recommend that the Village Board enact an Ordinance adopting the amendments, as referenced above, to the *Village of Pleasant Prairie 2035 Comprehensive Plan*.

**Adopted this 13<sup>th</sup> day of June 2016.**

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

\_\_\_\_\_  
James Bandura  
Secretary

\_\_\_\_\_  
Thomas W. Terwall  
Plan Commission Chairman

Date Posted: \_\_\_\_\_  
\_\_\_\_\_-Comp Plan Amendments--Brown-No wetland LU  
CODE1604-002

State of Wisconsin  
DEPARTMENT OF NATURAL RESOURCES  
101 S. Webster Street  
P.O. Box 7921  
Madison, WI 53707-7921

Scott Walker, Governor  
Cathy Stepp, Secretary  
Telephone 608-266-2621  
Toll Free 1-888-936-7463  
TTY Access via relay - 711



April 20, 2016

WIC-SE-2016-30-00342

Harold Brown  
7801 88th Ave Unit 273  
Pleasant Prairie, WI 53158

RE: Wetland Delineation Report for an approximately 0.2 acre project area (Carol Beach Estates Subdivision Lot 3 Block 6) located in the SW1/4 of the SE1/4 of Section 18, Township 1 North, Range 23 East, Village of Pleasant Prairie, Kenosha County

Dear Mr. Brown:

We have received and reviewed the wetland delineation report prepared for the above mentioned site by DK Environmental Services, Inc. This letter will serve as confirmation that there is no state regulated wetland located within the project area. This finding is based upon an April 13, 2016 field visit. The finding of a lack of state regulated wetland within the project area is valid for five years unless altered site conditions warrant a new wetland delineation be conducted. Be sure to send a copy of the report, as well as any approved revisions, to the U.S. Army Corps of Engineers.

If you are planning development on the property, you are required to avoid take of endangered and threatened species, or obtain an incidental take authorization, to comply with the state's Endangered Species Law. To insure compliance with the law, you should submit an endangered resources review form (Form 1700-047), available at <http://dnr.wi.gov/topic/ERReview/Review.html>. The Endangered Resources Program will provide a review response letter identifying any endangered and threatened species and any conditions that must be followed to address potential incidental take.

In addition to contacting WDNR, be sure to contact your local zoning office and U.S. Army Corps of Engineers to determine if any local or federal permits may be required for your project.

If you have any questions, please contact me at (608) 261-6430 or email [Neil.Molstad@wisconsin.gov](mailto:Neil.Molstad@wisconsin.gov).

Sincerely,

Neil Molstad  
Wetland Identification Specialist

We are committed to service excellence.

Visit our survey at <http://dnr.wi.gov/customersurvey> to evaluate how I did.

cc: Marie Kopka and Rebecca Graser, U.S. Army Corps of Engineers  
Community Development Department, Village of Pleasant Prairie  
Daniel Krill, DK Environmental Services, Inc.  
Elaine Johnson, DNR Water Management Specialist  
Chris Jors, SEWRPC

Attachments:

Project Area Location Map  
Aerial Photo of Project Area

APPENDIX A

The following reference materials were reviewed and used to assist in the wetland field reconnaissance.

1. LOCATION

The ±0.19-acre project site is a vacant, residential lot located east of 1067 93<sup>rd</sup> Street in the Village of Pleasant Prairie, Wisconsin. The property is located in a mature residential area in Carol Beach Estates subdivision in the NE ¼ of Section 19, Township 01 North, Range 23 East of the Third Principle Meridian. The central portion of the study area is located approximately at 42.536273° North Latitude and -87.822586° West Longitude.



*5. AERIAL PHOTOGRAPH  
APPROXIMATE DATA POINT LOCATIONS*



**ORD. # 16-**

**ORDINANCE TO AMEND THE OFFICIAL ZONING MAP  
OF THE VILLAGE OF PLEASANT PRAIRIE,  
KENOSHA COUNTY, WISCONSIN  
PURSUANT TO CHAPTER 420-13 OF THE VILLAGE ZONING ORDINANCE**

**BE IT ORDAINED by the Village of Pleasant Prairie Board of Trustees,  
Kenosha County, Wisconsin, that the Official Village Zoning Map is hereby amended  
as follows:**

The vacant subject property generally located on 93<sup>rd</sup> Street east of 11<sup>th</sup> Avenue within Carol Beach Estates Unit #6 Subdivision known as Lot 3 of CSM 1877 located in U.S. Public Land Survey Section 19, Township 1 North, Range 23 East in the Village of Pleasant Prairie and further identified as Tax Parcel Number 93-4-123-191-0137 is hereby rezoned as follows: the portion of the zoned C-1, Lowland Resource Conservancy District to the R-6, Urban Single Family Residential District so that the entire property is within the R-6 District as a result of the Wisconsin Department of Natural Resources confirmation that there are no wetlands on the property.

The Village Zoning Administrator is hereby directed to record this Zoning Map Amendment on the appropriate sheet of the Official Village Zoning Map and Appendix B in Chapter 420 of the Village Municipal Code shall be updated to include said amendment.

**Adopted this \_\_\_\_ day of \_\_\_\_\_, 2016.**

**VILLAGE BOARD OF TRUSTEES**

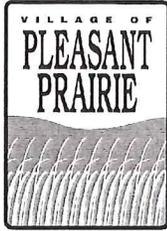
\_\_\_\_\_  
John P. Steinbrink  
Village President

ATTEST:

\_\_\_\_\_  
Jane M. Romanowski  
Village Clerk

Posted:\_\_\_\_\_

\_\_\_\_\_-Brown wetland  
CODE1604-003



Filed \_\_\_\_\_ 20\_\_ Published \_\_\_\_\_ 20\_\_  
 Public Hearing \_\_\_\_\_ 20\_\_  
 Fee Paid \_\_\_\_\_ 20\_\_ Approved \_\_\_\_\_ 20\_\_  
 Notices Mailed \_\_\_\_\_ 20\_\_ Denied \_\_\_\_\_ 20\_\_

**VILLAGE OF PLEASANT PRAIRIE, WISCONSIN  
 COMPREHENSIVE PLAN AMENDMENT APPLICATION**

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Comprehensive Plan as hereinafter requested and affecting the property located at \_\_\_\_\_ and

Tax Parcel Number 93<sup>rd</sup> ST.

**Check all that apply**

Land Use Plan Amendment: To change the land use designation from the \_\_\_\_\_  
to remove wetland designation land use designation  
 to the to put in residential designation  
 land use designation.

Neighborhood Plan Amendment for the \_\_\_\_\_ Neighborhood

Other Amendment to the Comprehensive Plan (specify) \_\_\_\_\_

Petitioner's interest in the requested amendment: Build House

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request to determine additional information that may be needed for this request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

**PROPERTY OWNER:**

Print Name: Harold Brown

Signature: Harold Brown

Address: 7801 88<sup>th</sup> ave

Pleasant prairie WI 53158  
 (City) (State) (Zip)

Phone: 847 912 1555

Fax: \_\_\_\_\_

Email: \_\_\_\_\_

Date 4/22/16

**OWNER'S AGENT:**

Print Name: Harold Brown

Signature: \_\_\_\_\_

Address: \_\_\_\_\_

(City) (State) (Zip)

Phone: \_\_\_\_\_

Fax: \_\_\_\_\_

Email: \_\_\_\_\_

Date: \_\_\_\_\_



Filed \_\_\_\_\_ 20\_\_ Published \_\_\_\_\_ 20\_\_  
 Public Hearing \_\_\_\_\_ 20\_\_ \_\_\_\_\_ 20\_\_  
 Fee Paid \_\_\_\_\_ 20\_\_ Approved \_\_\_\_\_ 20\_\_  
 Notices Mailed \_\_\_\_\_ 20\_\_ Denied \_\_\_\_\_ 20\_\_

**VILLAGE OF PLEASANT PRAIRIE, WISCONSIN  
 ZONING MAP AND TEXT AMENDMENT APPLICATION**

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be rezoned from the present C-1 District(s) to R-6 District(s). The property petitioned to be rezoned is located at: \_\_\_\_\_ and is legally described

as follows: 93<sup>rd</sup> St & 11<sup>th</sup> Ave

Tax Parcel Number(s): 93-4-123-191-0137

The proposed use for this property is: Residential

Petitioner's interest in the requested rezoning: Build Home

Compatibility with adjacent land uses: Residential adjacent

I (We) are also requesting a Zoning Text Amendment to amend Section \_\_\_\_\_ of the Village Zoning Ordinance.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request to determine additional information that may be needed for this request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

**PROPERTY OWNER:**

Print Name: Harold Brown

Signature: Harold Brown

Address: 7801 88<sup>th</sup> Ave

Pleasant Prairie WI 53158  
 (City) (State) (Zip)

Phone: 847 912 1555

Fax: \_\_\_\_\_

Email: \_\_\_\_\_

Date 4/27/16

**OWNER'S AGENT:**

Print Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Address: \_\_\_\_\_

(City) (State) (Zip)

Phone: \_\_\_\_\_

Fax: \_\_\_\_\_

Email: \_\_\_\_\_

Date: \_\_\_\_\_

**DK Environmental Services, Inc.**

1422 Sunflower Court ♦ Grayslake, Illinois 60030 ♦ (847) 548-7458 ♦ [dkenvserv@sbcglobal.net](mailto:dkenvserv@sbcglobal.net)

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## **WETLAND ASSESSMENT REPORT**

**PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN 53158**

**Tax Parcel # 93-4-123-191-0137-0**

**(Lot 3, Block 6 in Carol Beach Estates Subdivision Unit #6)**

**NE 1/4 Section 19 – Township 1 North – Range 23 East**

*Prepared for:*

Harold E. Brown  
7801 88<sup>th</sup> Avenue, Lot 273  
Pleasant Prairie, WI 53158

*Prepared by:*

**DK Environmental Services, Inc.**

**1422 Sunflower Court**

**Grayslake, Illinois 60030**

**(847) 548-7458**

**[dkenvserv@sbcglobal.net](mailto:dkenvserv@sbcglobal.net)**

*October, 2015*

## **WETLAND ASSESSMENT REPORT**

**PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN 53158**

**Tax Parcel # 93-4-123-191-0137-0**

**(Lot 3, Block 6 in Carol Beach Estates Subdivision Unit #6)**

**NE 1/4 Section 19 – Township 1 North – Range 23 East**

### **INTRODUCTION**

On October 24, 2015, DK Environmental Services, Inc. (DKES) staff completed a wetland field investigation of the Harold E. Brown parcel in the Village of Pleasant Prairie, Kenosha County, Wisconsin to determine on-site wetland and “waters of the U.S.” boundaries. The assessment resulted in no wetland areas being identified on the 0.19 acre vacant residential lot. This report was prepared to document the results of data collection located on and near the project site, and to serve as a basis for wetland identification under Section 404 of the Clean Water Act. Wetland investigation techniques were performed in accordance with methodology established by the U.S. Army Corps of Engineers (USACE). The approximate data point locations are shown in Appendix A, Exhibit 5. Appendices illustrate the following:

- A) Exhibits
  - 1) Location Map
  - 2) Wisconsin Wetland Inventory (WWI) Map
  - 3) Soil Survey
  - 4) FEMA Flood Insurance Rate Map (FIRM)
  - 5) Aerial Photograph with Data Point Locations
- B) Site Photographs
- C) U.S. Army Corps of Engineers Data Forms

The ±0.19-acre project site is a vacant, residential lot located immediately east of 1067 93<sup>rd</sup> Street, on the south side of 93<sup>rd</sup> Avenue in the town of Pleasant Prairie, Wisconsin. Note: Lot 3 is five lots east of the intersection of 11th Ave. and 93<sup>rd</sup> Street.

The property is situated in a mature residential area in Carol Beach Estates subdivision in the NE ¼ of Section 19, Township 01 North, Range 23 East of the Third Principle Meridian. The central portion of the study area is located approximately at 42.536273° North Latitude and -87.822586° West Longitude.

## METHODOLOGY

Our methodology followed procedures outlined in the *Corps of Engineers Wetland Delineation Manual*, dated January 1987, including the *Regional supplement to the Corps of Engineers Wetland Delineation Manual: Midwest Region*, dated August 2010. Both manuals identify the mandatory technical criteria for wetland identification. The three essential characteristics of a jurisdictional wetland are hydrophytic vegetation, hydric soils and wetland hydrology as described below:

I) Hydrophytic Vegetation: Hydrophytic vegetation is defined as the community of macrophytes that occurs in areas where inundation or soil saturation is either permanent or of sufficient frequency and duration to exert a controlling influence on the plant species present. Hydrophytic vegetation is present when the plant community is dominated by species that can tolerate prolonged inundation or soil saturation during the growing season. Wetland indicator status is the estimated probability a plant species occurs in a wetland area. Reed (1988) designated indicator statuses for the U.S. Fish and Wildlife Service, Region 3, which are based on separating plants into five basic groups:

- (1) OBL (Obligate Wetland) almost always occur (estimated probability >99%) in wetlands under natural conditions;
- (2) FACW (Facultative Wetland) usually occur in wetlands (estimated probability 67-99%), but occasionally are found in nonwetlands;
- (3) FAC (Facultative) are equally likely to occur in wetlands or nonwetlands (estimated probability 34-66%);
- (4) FACU (Facultative Upland) usually occur in nonwetlands (estimated probability 67-99%), but occasionally are found in wetlands (estimated probability 1-33%); and
- (5) UPL (Upland) almost always occur (estimated probability >99%) in nonwetlands under natural conditions.

If greater than 50% of the plants present are FAC, FACW, or OBL the subject area is considered jurisdictional in terms of vegetation.

Vegetation was sampled within plots to quantitatively characterize wetland and/or upland plant communities within a given area. Within each plot visual estimates of percent cover of each plant species was made for each stratum (trees, saplings and shrubs, herbaceous plants and woody vines). The Dominance Test is then calculated by applying the 50/20 rule. If a plant community passes the Dominance Test, then the vegetation is hydrophytic and no further vegetative analysis is required. However, if the plant community fails the dominance test, and indicators of hydric soil and/or wetland hydrology are present then the Prevalence

Index is applied. The Prevalence Index is a weighted-average of wetland indicator status of all plant species within a sample plot. If the plant community satisfies the Prevalence Index, then the vegetation is hydrophytic. If the plant community fails Prevalence Index then it must meet the test Morphological Adaptations to be considered hydrophytic. If this last test fails then the vegetation is considered non-hydrophytic. Results of vegetative sampling are illustrated on the attached Routine U.S. Army Corps of Engineers Data Forms.

**II) Hydric Soils:** According to the National Technical Committee for Hydric Soils a hydric soil is a soil that formed under conditions of saturation, flooding or ponding long enough during the growing season to develop anaerobic conditions in the upper part (USDA Soil Conservation Service 1994). Repeated periods of saturation or inundation combined with microbial activity causes morphological changes within the soil. This promotes biogeochemical processes, such as the accumulation of organic matter and the reduction, translocation, or accumulation of iron and other reducible elements. The result of these processes is useful in identifying hydric soils during both wet and dry periods (USDA Natural Resources Conservation Service 2006). There are 21 hydric soil indicators and if one is present it is considered a hydric soil. A detailed description on the 21 hydric soil indicators can be found in *Interim Regional supplement to the Corps of Engineers Wetland Delineation Manual: Midwest Region*, dated September 2008. The hydric soil indicators include:

- Histosol
- Histic Epipedon
- Black Histic
- Hydrogen Sulfide
- Stratified Layers
- 2 cm Muck
- Depleted Below Dark Surface
- Thick Dark Surface
- Sandy Mucky Mineral
- 5 cm Mucky Peat or Peat
- Sandy Gleyed Matrix
- Sandy Redox
- Stripped Matrix
- Loamy Mucky Mineral
- Loamy Gleyed Matrix
- Depleted Matrix
- Redox Dark Surface
- Depleted Dark Surface
- Redox Depressions
- Coast Prairie Redox
- Iron-Manganese Masses

A soil pit is excavated to the appropriate depth to describe the soils profile. Color of the soil matrix and redox, mottling, and gleying within the profile are described using the Munsell Soil Color Charts (Gretagmacbeth 2000). Generally, a hydric soil is present when there is an organic soil, histic epipedon, sulfidic material, aquic or peraquic moisture regime, reducing soils conditions, soil colors gleyed, bright mottles and/or low matrix chroma, soil listed on the hydric soil list, and iron and manganese. Results of soil sampling and if they meet one of the indicators are illustrated on the attached Routine U.S. Army Corps of Engineers Data Forms.

**III) Wetland Hydrology:** Wetland hydrology indicators are used in combination with indicators of hydric soil and hydrophytic vegetation. These other indicators reflect a sites history of past episodes of inundation or soil saturation and if it was repeated over a period of time. Areas that have hydrophytic vegetation and hydric soils generally have wetland hydrology (National Research Council 1995). Hydrologic indicators are the most brief of all wetland indicators as occur from recent or long-term meteorological conditions. Typically, the presence of water for a week or more during the growing season creates

anaerobic conditions. Anaerobic conditions lead to the prevalence of wetland plants. An area needs to meet one or more of the primary wetland hydrology indicators, which include: surface water, high water table, saturation, water marks, sediment deposits, drift deposits, algal mat or crust, iron deposits, inundation visible on aerial imagery, sparsely vegetated concave surface, water-stained leaves, aquatic fauna, true aquatic plants, hydrogen sulfide odor, oxidized rhizospheres on living roots, presence of reduced iron, recent iron reduction in tilled soils, thin much surface, and gauge or well data. Or an area needs to meet two or more of the secondary indicators, which include: surface soil cracks, dry-season water table, crayfish burrows, saturation visible on aerial imagery, stunted or stressed plants, geomorphic position and the FAC-Neutral test. Results of hydrology are illustrated on the attached Routine U.S. Army Corps of Engineers Data Forms.

### RESULTS

The following is a brief description of the results of our field reconnaissance. We have included the dominant plant species identified on site in the data forms, including hydrologic conditions and soils observed from data point samples taken at the time of the investigation. Specific information regarding the on-site data sampling plots is found on the attached USACE Data Forms.

The subject property is a vacant, residential lot with existing homes to the east, west, and south, and 93<sup>rd</sup> Street at the north. The lot is pitched slightly to drain toward the road at the north, which has curb and gutter drainage installed.

The lot is covered by manicured turf grass and is partially shaded by overhanging mature trees in the overstory, including Silver Maple (*Acer saccharinum*) and Weeping Willow (*Salix babylonica*) that border the property along the west. The understory was found to be dominated by a vegetative mix typical of well-drained lawns, including turf grass – Kentucky Blue grass mix (*Poa pratensis*), Creeping Charlie (*Glechoma hederacea*), Common dandelion (*Taraxacum officinale*), and Queen Anne's lace (*Daucus carota*). Daylilies have been planted at the base of the trees along the west property line.

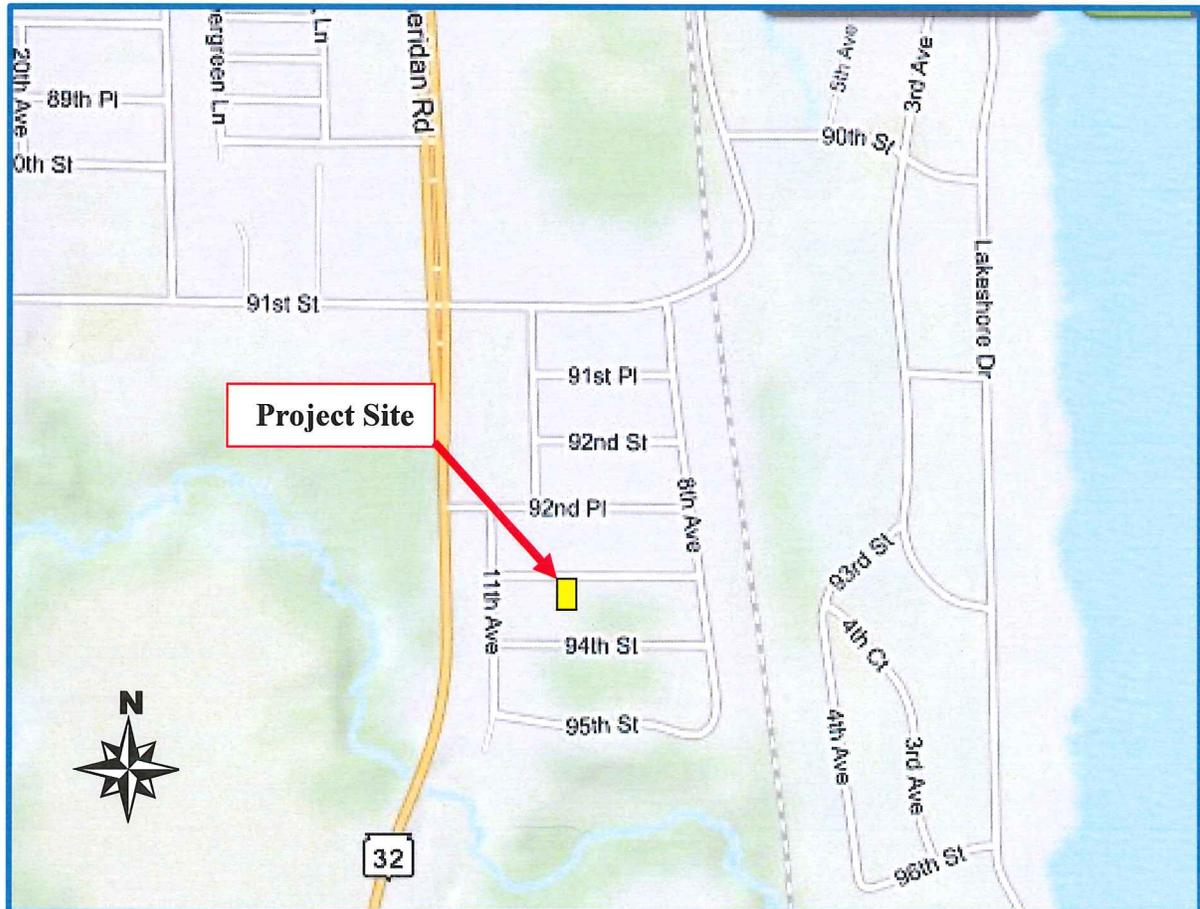
No hydrologic indicators were found during the site investigation. There was no evidence of inundation, drainage patterns or soil saturation found on the site. However, downspouts and/or sump pump pipes were found to be directed onto the lot from surrounding, existing homes to the east, west, and south. Soils within the project area were mapped as AzA—Aztalan loam, 0 to 2 percent slopes, classified as a somewhat poorly drained soil. Field sampled soil profiles revealed high chroma matrix color in the upper part which is indicative of non-hydric soils.

**APPENDIX A**

The following reference materials were reviewed and used to assist in the wetland field reconnaissance.

**1. LOCATION**

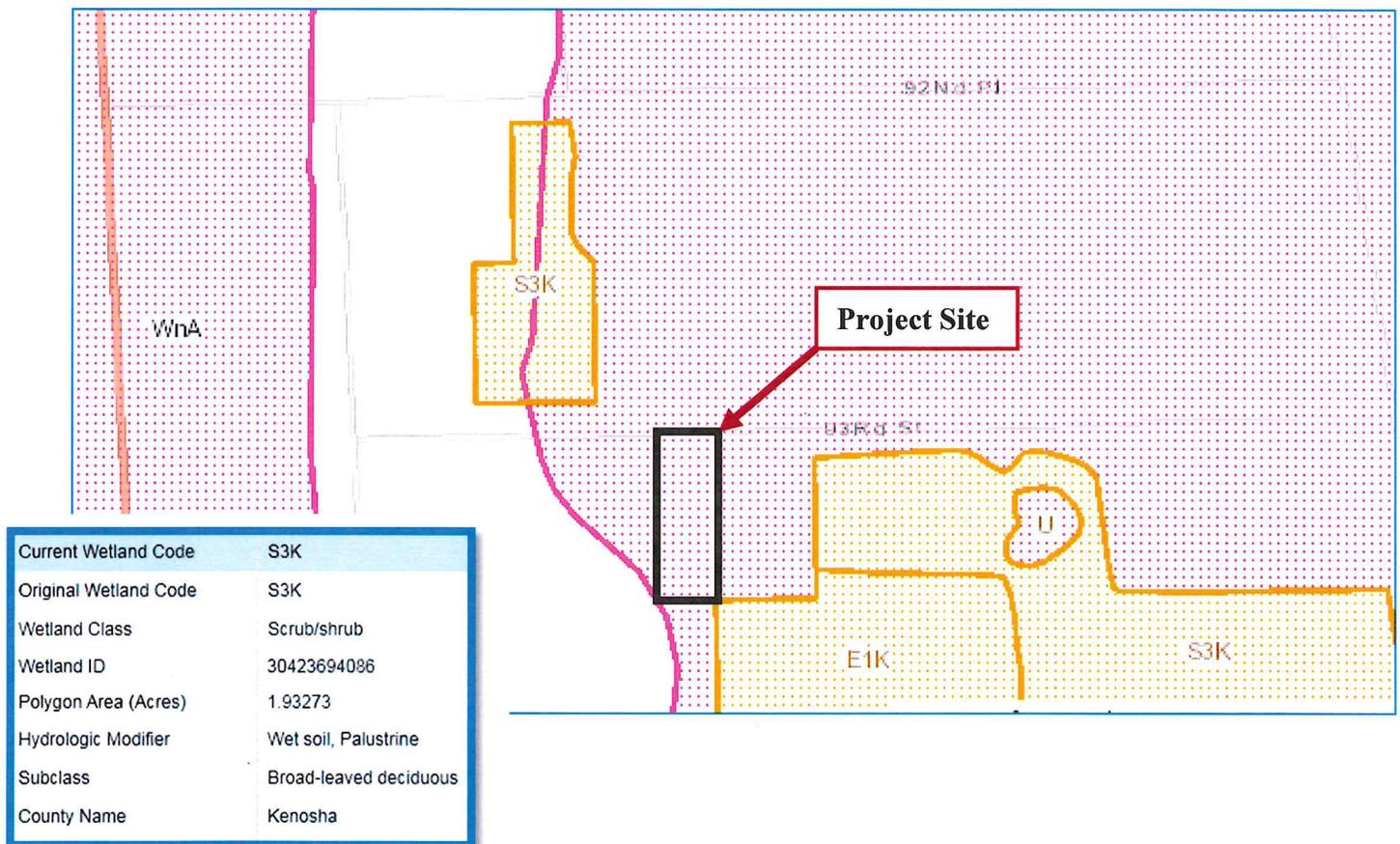
The ±0.19-acre project site is a vacant, residential lot located east of 1067 93<sup>rd</sup> Street in the Village of Pleasant Prairie, Wisconsin. The property is located in a mature residential area in Carol Beach Estates subdivision in the NE ¼ of Section 19, Township 01 North, Range 23 East of the Third Principle Meridian. The central portion of the study area is located approximately at 42.536273° North Latitude and -87.822586° West Longitude.



2. WISCONSIN WETLAND INVENTORY – WI Department of Natural Resources

The Wisconsin Wetland Inventory map (WWI) indicates that a potential “S3K” mapped wetland indicator area is located on the property, outlined in black. The potential wetland is classified as a palustrine, broad-leaf deciduous Scrub/Shrub type wetland, and generally coincides with soils mapped by the USDA Natural Resources Conservation Service in somewhat poorly drained soils.

Note: The WWI serves as a large-scale guide and actual wetland locations and types often vary.

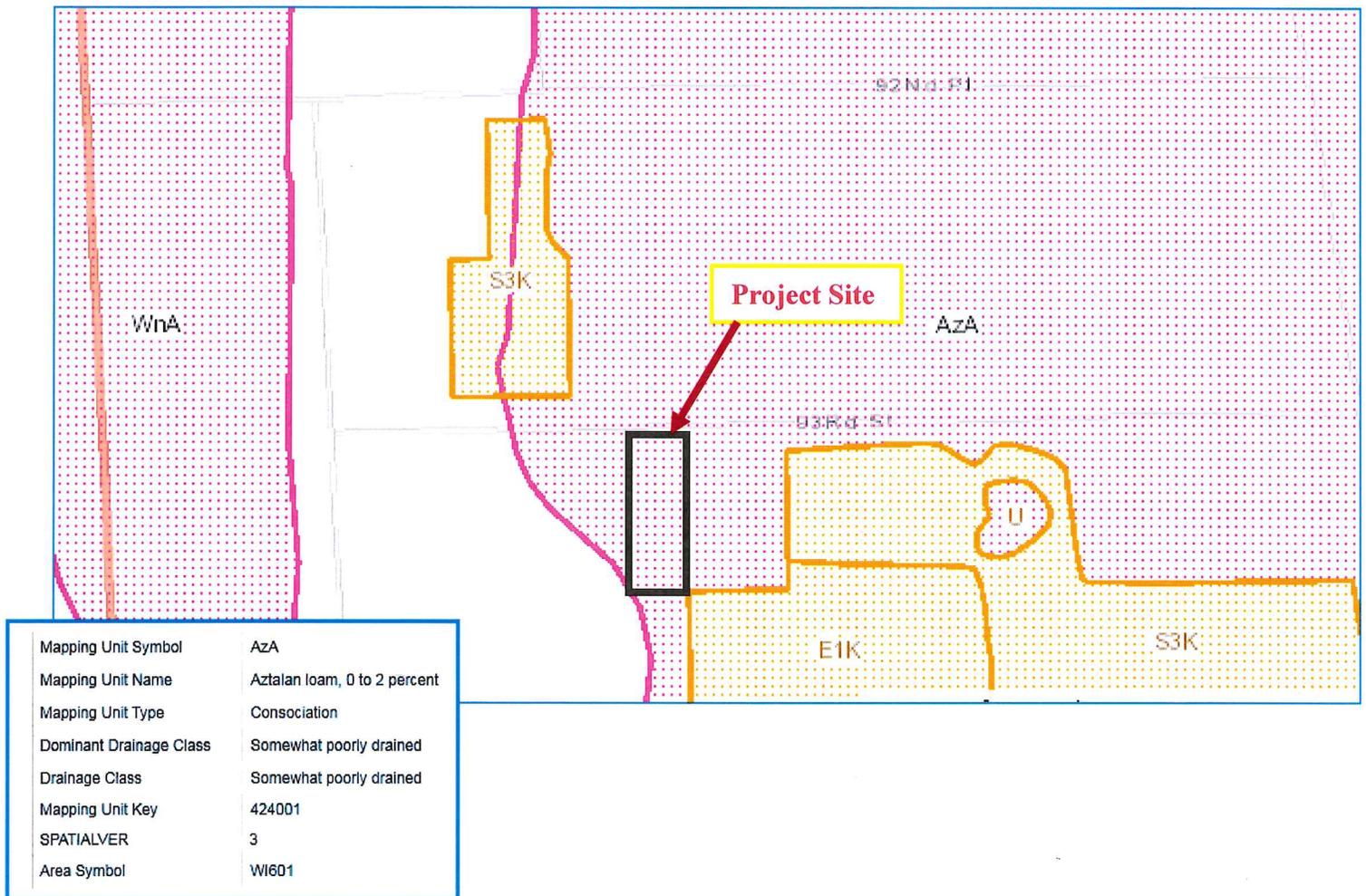


3. SOIL SURVEY

The Soil Survey of Kenosha and Racine Counties, Wisconsin was reviewed to determine the location of hydric soils within the study area. Mapped hydric soil, including AzA—Aztalan loam, 0 to 2 percent slopes, is classified as a somewhat poorly drained soil. Hydric soils can be indicative of wetland conditions. The following soils are mapped within the study area:

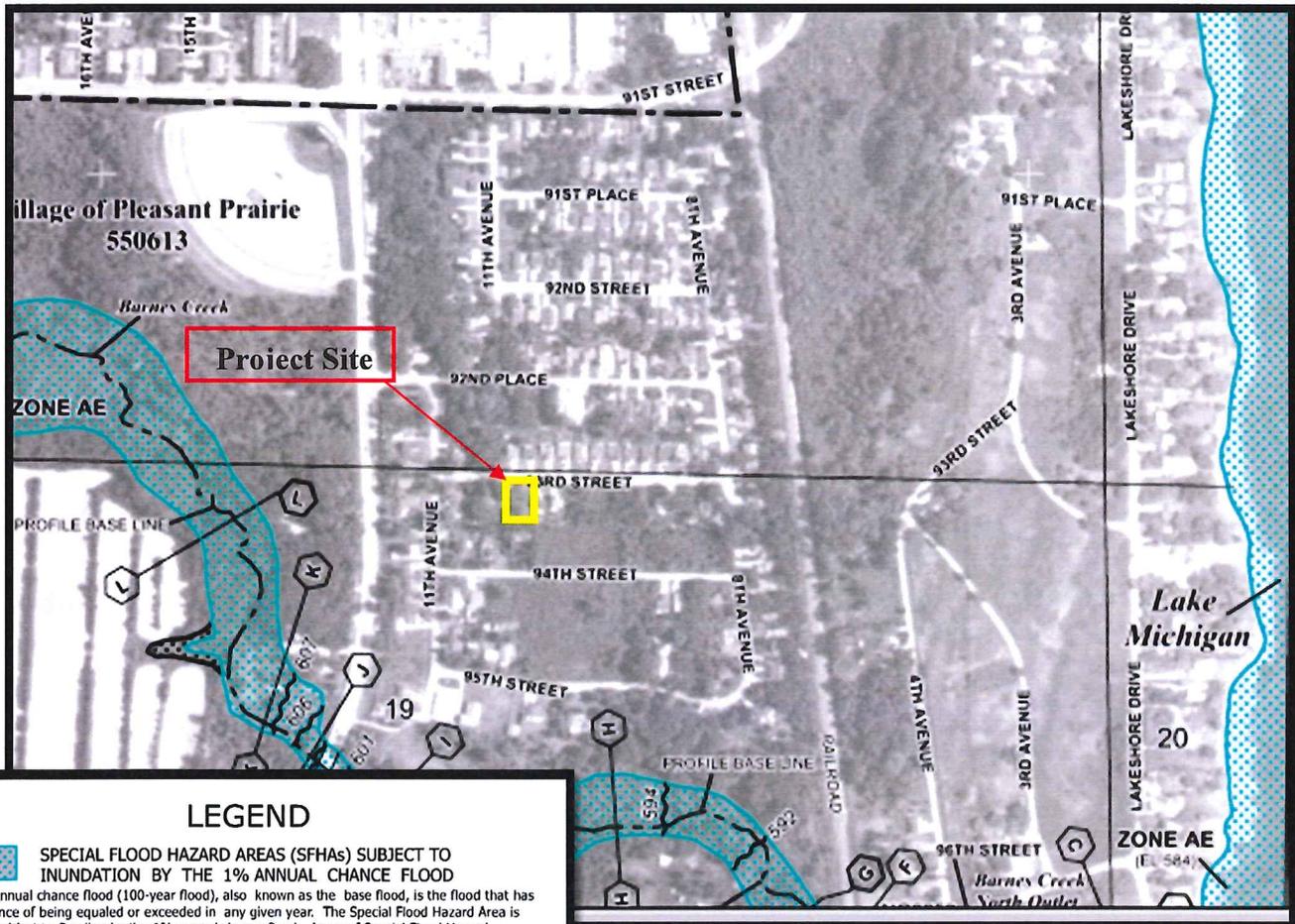
Soils throughout the site were mapped as AzA—Aztalan loam, 0 to 2 percent slopes, classified as a somewhat poorly drained soil by the Natural Resource Conservation Service (NRCS).

Field sampled soil profiles revealed high chroma matrix color in the upper part which is indicative of non-hydric soils.



4. FLOOD INSURANCE RATE MAP

The FEMA Flood Insurance Rate Maps (FIRMs) for Kenosha County, Wisconsin and Incorporated Areas (effective date June 19, 2012) were reviewed to determine the presence of floodplain, which can be indicative of wetland hydrology. The FIRM indicates that there is no portion of the site or adjacent properties in the subdivision located within floodplain - Zone A SFHA.



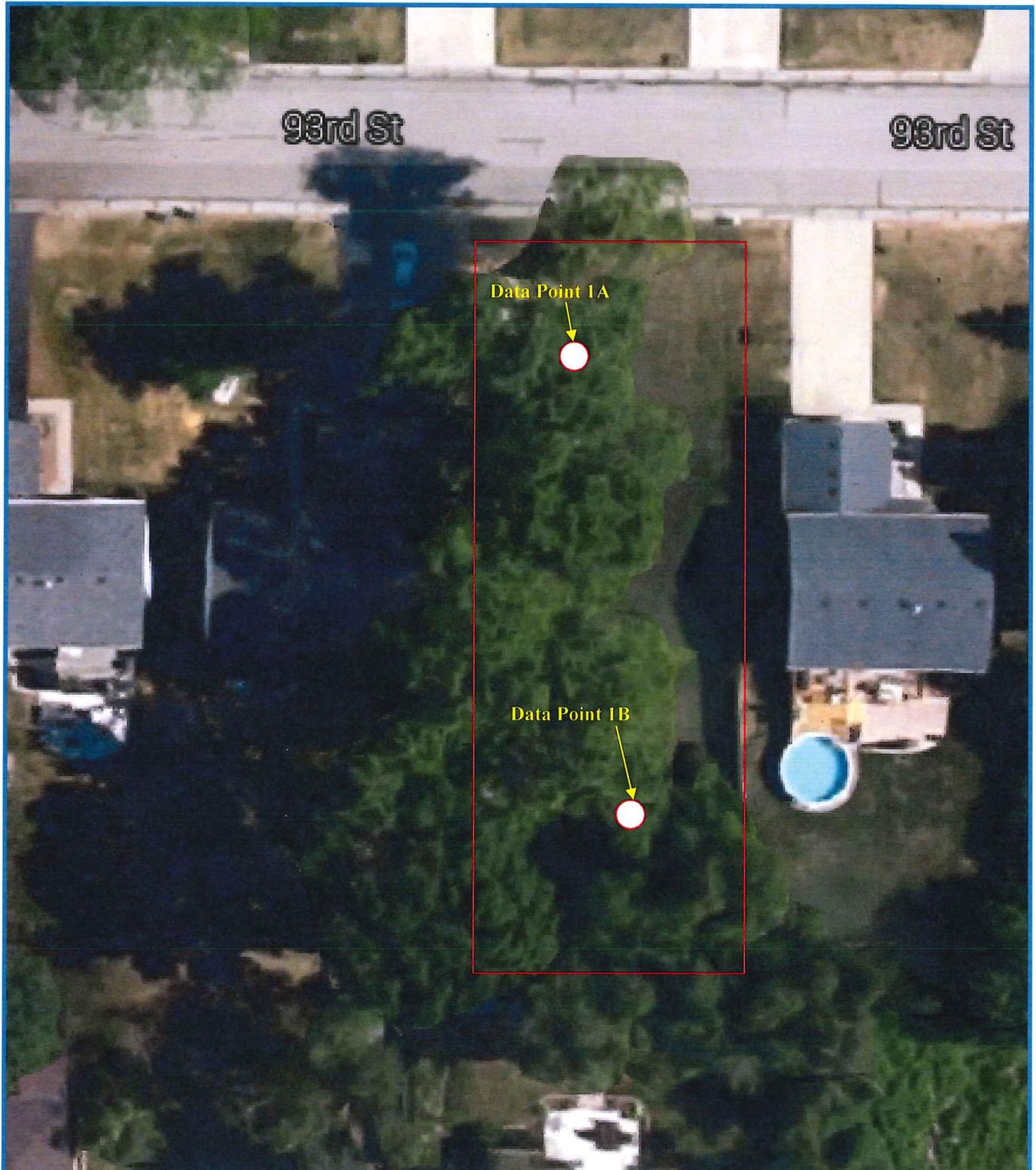
**LEGEND**

SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

<b>ZONE A</b>	No Base Flood Elevations determined.
<b>ZONE AE</b>	Base Flood Elevations determined.
<b>ZONE AH</b>	Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
<b>ZONE AO</b>	Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
<b>ZONE AR</b>	Special Flood Hazard Areas formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
<b>ZONE A99</b>	Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
<b>ZONE V</b>	Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
<b>ZONE VE</b>	Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

*5. AERIAL PHOTOGRAPH  
APPROXIMATE DATA POINT LOCATIONS*



**LITERATURE CITED**

Environmental Laboratory. 1987. Corps of Engineers Wetlands Delineation Manual, Technical Report Y-87-1, U.S. Army Engineer Waterways Experiment Station, Vicksburg, MS.

Gretagmacbeth, 2000. Munsell Soil Color Charts. 617 Little Britain Road, New Windsor, NY.

National Research Council. 1995. Wetlands: Characteristics and Boundaries. Washington, DC: National Academy Press.

Reed, P. 1988. National List of Plant Species that occur in Wetlands: North Central (Region 3). U.S. Fish and Wildlife Service. Biological Report. 88 (26.3).

USACE. 2009. Interim Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast, ed. J.S. Wakeley, R.W. Lichvar, and C.V. Noble. ERDC/EL TR-09-19. Vicksburg, MS: U.S. Army Engineer Research and Development Center.

USDA. Soil Survey of Kenosha County, Wisconsin. United States Department of Agriculture, Soil Conservation Service, In Cooperation with the Research Division of the College of Agricultural and Life Sciences, University of Wisconsin.

USDA. 1999. National Food Security Act Manual. Third Edition. 180-V-NFSAM Amendment 4. USDA NRCS Washington, DC.

USDA Natural Resources Conservation Service. 2006. Field Indicators of Hydric Soils in the United States, Version 6.0. ed. G.W. Hurt and L.M. Vasilas. Fort Worth, TX: USDA NRCS in cooperation with the National Technical Committee for Hydric Soils. (<http://soils.usda.gov/use/hydric/>)

USDA Soil Conservation Service. 1994. Changes in Hydric Soils of the United States. Federal Register 59(133): 35680-35681, July 13, 1994.

**APPENDIX B – SITE PHOTOGRAPHS 10.24.2016**



**View of Lot #3 from 9rd Street – facing south**



**Data Point 1A– UPLAND**



**View of Lot #3 from rear of property – facing north**



**Data Point 1B facing north - UPLAND**

**APPENDIX C  
WETLAND DETERMINATION DATA FORMS**

**WETLAND DETERMINATION DATA FORM – Northcentral and Northeast Region**

Project/Site: 93 <sup>rd</sup> Street - vacant lot		City/County: Pleasant Prairie / Kenosha		Sampling Date: 10/24/15	
Applicant/Owner: Harold Brown		State: WI		Sampling Point: 1A – UPLAND	
Investigator(s): Daniel J. Krill - DKES			Section, Township, Range: NE1/4 Section 19 Twp. 01 R.23E		
Landform (hillslope, terrace, etc.): flat			Local relief (concave, convex, none): flat		
Slope (%): 0-1%		Lat: 42.536373°N		Long: -87.822586°W Datum:	
Soil Map Unit Name: AzA—Aztalan loam, 0 to 2 percent slopes			NWI classification: no wetland present on NWI map		
Are climatic / hydrologic conditions on the site typical for this time of year?				Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Are Vegetation <input type="checkbox"/> ,		Soil <input type="checkbox"/> ,		or Hydrology <input type="checkbox"/> significantly disturbed? No	
				Are "Normal Circumstances" present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Are Vegetation <input type="checkbox"/> ,		Soil <input type="checkbox"/> ,		or Hydrology <input type="checkbox"/> naturally problematic? No	
				(If needed, explain any answers in Remarks.)	

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	<b>Is the Sampled Area within a Wetland?</b>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Hydric Soil Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>			
Wetland Hydrology Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>			
Remarks:					

**VEGETATION – Use scientific names of plants.**

Tree Stratum (Plot size: 30')	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet:		
1.				Number of Dominant Species That Are		
2.				OBL, FACW, or FAC:	1 (A)	
3.				Total Number of Dominant Species		
4.				Across all Strata:	2 (B)	
5.				Percent of Dominant Species That Are OBL, FACW, or FAC:	50 (A/B)	
= Total Cover				<b>Prevalence Index worksheet:</b>		
				Total % Cover of:	Multiply by:	
<b>Sapling/Shrub Stratum (Plot size: 15')</b>				OBL species	x 1 =	
1.				FACW species	x 2 =	
2.				FAC species 40	x 3 =	120
3.				FACU species 60	x 4 =	240
4.				UPL species 5	x 5 =	25
5.				Column Totals: 105 (A)		385 (B)
= Total Cover				Prevalence Index = B/A = 385/105 = 3.67		
				<b>Hydrophytic Vegetation Indicators:</b>		
<b>Herb Stratum (Plot size: 5')</b>				<input type="checkbox"/> Dominance Test is >50%		
1. Glechoma hederacea	40	Y	FACU	<input type="checkbox"/> Prevalence Index is ≤3.0 <sup>1</sup>		
2. Poa pratensis	40	Y	FAC	<input type="checkbox"/> Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet)		
3. Taraxacum officinale	20	N	FACU	<input type="checkbox"/> Problematic Hydrophytic Vegetation <sup>1</sup> Explain)		
4. Daucus carota	5	N	UPL	<sup>1</sup> Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.		
5.						
6.						
7.						
8.						
9.						
10.						
105 = Total Cover						
<b>Woody Vine Stratum (Plot size: 5')</b>						
1.						
2.						
= Total Cover				<b>Hydrophytic Vegetation Present?</b>		
				Yes <input type="checkbox"/>		No <input checked="" type="checkbox"/>
Remarks: (include photo numbers or on a separate sheet)						

**Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-8	10YR 2/1	100					Loam	
8-10	10YR 4/3	100					Loam	
10-18	2.5Y 5/3	95	10YR 5/6 and 5/8	5	C	M	Loamy sand	
18-22	10YR 6/1	95	10YR 5/6 and 5/8	5	C	M	Loamy sand	

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. <sup>2</sup>Location: PL=Pore Lining, M=Matrix.

**Hydric Soil Indicators:**

<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> Coast Prairie Redox (A16)
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> Iron-Manganese Masses (F12)
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Other (Explain in Remarks)
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Mucky Mineral (F1)	
<input type="checkbox"/> Stratified Layers (A5)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	
<input type="checkbox"/> 2 cm Muck (A10)	<input type="checkbox"/> Depleted Matrix (F3)	
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Redox Dark Surface (F6)	
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Depleted Dark Surface (F7)	
<input type="checkbox"/> Sandy Mucky Mineral (S1)	<input type="checkbox"/> Redox Depressions (F8)	
<input type="checkbox"/> 5 cm Mucky Peat or Peat (S3)		

**Indicators for Problematic Hydric Soils<sup>3</sup>:**

<sup>3</sup>Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

**Restrictive Layer (if observed):**

Type: \_\_\_\_\_

Depth (inches): \_\_\_\_\_

**Hydric Soil Present? Yes  No**

Remarks:

**HYDROLOGY**

**Wetland Hydrology Indicators:**

<u>Primary Indicators (minimum of one is required; check all that apply)</u>		<u>Secondary Indicators (minimum of two required)</u>
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Surface Soil Cracks (B6)
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Fauna (B13)	<input type="checkbox"/> Drainage Patterns (B10)
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> True Aquatic Plants (B14)	<input type="checkbox"/> Dry-Season Water Table (C2)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Crayfish Burrows (C8)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Stunted or Stressed Plants (D1)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input type="checkbox"/> FAC-Neutral Test (D5)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Gauge or Well Data (D9)	
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	<input type="checkbox"/> Other (Explain in Remarks)	

**Field Observations:**

Surface Water Present? Yes  No  Depth (inches): \_\_\_\_\_

Water Table Present? Yes  No  Depth (inches): \_\_\_\_\_

Saturation Present? (includes capillary fringe) Yes  No  Depth (inches): \_\_\_\_\_

**Wetland Hydrology Present? Yes  No**

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

**WETLAND DETERMINATION DATA FORM – Northcentral and Northeast Region**

Project/Site: 93 <sup>rd</sup> Street - vacant lot		City/County: Pleasant Prairie / Kenosha		Sampling Date: 10/24/15	
Applicant/Owner: Harold Brown		State: WI		Sampling Point: 1B – UPLAND	
Investigator(s): Daniel J. Krill - DKES			Section, Township, Range: NE ¼ Section 19 Twp. 01 R.23E		
Landform (hillslope, terrace, etc.): flat			Local relief (concave, convex, none): convex		
Slope (%): 1%		Lat: 42.536110°N		Long: -87.822558°W Datum:	
Soil Map Unit Name: AzA—Aztalan loam, 0 to 2 percent slopes			NWI classification: N/A		
Are climatic / hydrologic conditions on the site typical for this time of year?				Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Are Vegetation <input type="checkbox"/> , Soil <input type="checkbox"/> , or Hydrology <input type="checkbox"/> significantly disturbed? No				Are "Normal Circumstances" present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Are Vegetation <input type="checkbox"/> , Soil <input type="checkbox"/> , or Hydrology <input type="checkbox"/> naturally problematic? No				(If needed, explain any answers in Remarks.)	

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	<b>Is the Sampled Area within a Wetland?</b>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Hydric Soil Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>			
Wetland Hydrology Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>			
Remarks:					

**VEGETATION – Use scientific names of plants.**

Tree Stratum (Plot size: 30')		Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet:		
1.					Number of Dominant Species That Are		
2.					OBL, FACW, or FAC:	1 (A)	
3.					Total Number of Dominant Species		
4.					Across all Strata:	2 (B)	
5.					Percent of Dominant Species That Are OBL, FACW, or FAC:	50 (A/B)	
= Total Cover					<b>Prevalence Index worksheet:</b>		
					Total % Cover of:	Multiply by:	
<b>Sapling/Shrub Stratum (Plot size: 15')</b>					OBL species	x 1 =	
1.					FACW species	x 2 =	
2.					FAC species 50	x 3 =	150
3.					FACU species 55	x 4 =	220
4.					UPL species	x 5 =	
5.					Column Totals: 105 (A)		370 (B)
= Total Cover					Prevalence Index = B/A = 370 / 105 = 3.52		
= Total Cover					<b>Hydrophytic Vegetation Indicators:</b>		
<b>Herb Stratum (Plot size: 5')</b>					<input type="checkbox"/> Dominance Test is >50%		
1. Glechoma hederacea		50	Y	FACU	<input type="checkbox"/> Prevalence Index is ≤3.0 <sup>1</sup>		
2. Poa pratensis		50	Y	FAC	<input type="checkbox"/> Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet)		
3. Taraxacum officinale		5	N	FACU	<input type="checkbox"/> Problematic Hydrophytic Vegetation <sup>1</sup> Explain)		
4.					<sup>1</sup> Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.		
5.							
6.							
7.							
8.							
9.							
10.							
105 = Total Cover							
<b>Woody Vine Stratum (Plot size: 5')</b>							
1.							
2.							
= Total Cover					<b>Hydrophytic Vegetation Present?</b>		
					Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
Remarks: (include photo numbers or on a separate sheet)							

**SOIL**

Sampling Point 1B

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)								
Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-8	10YR 2/1						Loam	
8-22	10YR 4/6						Loamy sand	

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains.    <sup>2</sup>Location: PL=Pore Lining, M=Matrix.

<p><b>Hydric Soil Indicators:</b></p> <input type="checkbox"/> Histosol (A1) <input type="checkbox"/> Histic Epipedon (A2) <input type="checkbox"/> Black Histic (A3) <input type="checkbox"/> Hydrogen Sulfide (A4) <input type="checkbox"/> Stratified Layers (A5) <input type="checkbox"/> 2 cm Muck (A10) <input type="checkbox"/> Depleted Below Dark Surface (A11) <input type="checkbox"/> Thick Dark Surface (A12) <input type="checkbox"/> Sandy Mucky Mineral (S1) <input type="checkbox"/> 5 cm Mucky Peat or Peat (S3)	<p><b>Indicators for Problematic Hydric Soils<sup>3</sup>:</b></p> <input type="checkbox"/> Sandy Gleyed Matrix (S4) <input type="checkbox"/> Sandy Redox (S5) <input type="checkbox"/> Stripped Matrix (S6) <input type="checkbox"/> Loamy Mucky Mineral (F1) <input type="checkbox"/> Loamy Gleyed Matrix (F2) <input type="checkbox"/> Depleted Matrix (F3) <input type="checkbox"/> Redox Dark Surface (F6) <input type="checkbox"/> Depleted Dark Surface (F7) <input type="checkbox"/> Redox Depressions (F8) <input type="checkbox"/> Coast Prairie Redox (A16) <input type="checkbox"/> Iron-Manganese Masses (F12) <input type="checkbox"/> Other (Explain in Remarks)
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<sup>3</sup>Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

<p><b>Restrictive Layer (if observed):</b></p> Type: _____ Depth (inches): _____	<p><b>Hydric Soil Present?</b>    Yes <input type="checkbox"/>    No <input checked="" type="checkbox"/></p>
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Remarks:  
Soil sample dry, friable

**HYDROLOGY**

<b>Wetland Hydrology Indicators:</b>		
<p><u>Primary Indicators (minimum of one is required; check all that apply)</u></p> <input type="checkbox"/> Surface Water (A1) <input type="checkbox"/> High Water Table (A2) <input type="checkbox"/> Saturation (A3) <input type="checkbox"/> Water Marks (B1) <input type="checkbox"/> Sediment Deposits (B2) <input type="checkbox"/> Drift Deposits (B3) <input type="checkbox"/> Algal Mat or Crust (B4) <input type="checkbox"/> Iron Deposits (B5) <input type="checkbox"/> Inundation Visible on Aerial Imagery (B7) <input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	<p><u>Secondary Indicators (minimum of two required)</u></p> <input type="checkbox"/> Water-Stained Leaves (B9) <input type="checkbox"/> Aquatic Fauna (B13) <input type="checkbox"/> True Aquatic Plants (B14) <input type="checkbox"/> Hydrogen Sulfide Odor (C1) <input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3) <input type="checkbox"/> Presence of Reduced Iron (C4) <input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6) <input type="checkbox"/> Thin Muck Surface (C7) <input type="checkbox"/> Gauge or Well Data (D9) <input type="checkbox"/> Other (Explain in Remarks)	<p><u>Secondary Indicators (minimum of two required)</u></p> <input type="checkbox"/> Surface Soil Cracks (B6) <input type="checkbox"/> Drainage Patterns (B10) <input type="checkbox"/> Dry-Season Water Table (C2) <input type="checkbox"/> Crayfish Burrows (C8) <input type="checkbox"/> Saturation Visible on Aerial Imagery (C9) <input type="checkbox"/> Stunted or Stressed Plants (D1) <input type="checkbox"/> Geomorphic Position (D2) <input type="checkbox"/> FAC-Neutral Test (D5)

<p><b>Field Observations:</b></p> Surface Water Present?    Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): _____ Water Table Present?    Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): _____ Saturation Present?    Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): _____ (includes capillary fringe)	<p><b>Wetland Hydrology Present?</b>    Yes <input type="checkbox"/>    No <input checked="" type="checkbox"/></p>
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Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:



April 20, 2016

WIC-SE-2016-30-00342

Harold Brown  
7801 88th Ave Unit 273  
Pleasant Prairie, WI 53158

RE: Wetland Delineation Report for an approximately 0.2 acre project area (Carol Beach Estates Subdivision Lot 3 Block 6) located in the SW1/4 of the SE1/4 of Section 18, Township 1 North, Range 23 East, Village of Pleasant Prairie, Kenosha County

Dear Mr. Brown:

We have received and reviewed the wetland delineation report prepared for the above mentioned site by DK Environmental Services, Inc. This letter will serve as confirmation that there is no state regulated wetland located within the project area. This finding is based upon an April 13, 2016 field visit. The finding of a lack of state regulated wetland within the project area is valid for five years unless altered site conditions warrant a new wetland delineation be conducted. Be sure to send a copy of the report, as well as any approved revisions, to the U.S. Army Corps of Engineers.

If you are planning development on the property, you are required to avoid take of endangered and threatened species, or obtain an incidental take authorization, to comply with the state's Endangered Species Law. To insure compliance with the law, you should submit an endangered resources review form (Form 1700-047), available at <http://dnr.wi.gov/topic/ERReview/Review.html>. The Endangered Resources Program will provide a review response letter identifying any endangered and threatened species and any conditions that must be followed to address potential incidental take.

In addition to contacting WDNR, be sure to contact your local zoning office and U.S. Army Corps of Engineers to determine if any local or federal permits may be required for your project.

If you have any questions, please contact me at (608) 261-6430 or email [Neil.Molstad@wisconsin.gov](mailto:Neil.Molstad@wisconsin.gov).

Sincerely,

Neil Molstad  
Wetland Identification Specialist

We are committed to service excellence.

Visit our survey at <http://dnr.wi.gov/customersurvey> to evaluate how I did.

cc: Marie Kopka and Rebecca Graser, U.S. Army Corps of Engineers  
Community Development Department, Village of Pleasant Prairie  
Daniel Krill, DK Environmental Services, Inc.  
Elaine Johnson, DNR Water Management Specialist  
Chris Jors, SEWRPC

Attachments:

Project Area Location Map  
Aerial Photo of Project Area

APPENDIX A

The following reference materials were reviewed and used to assist in the wetland field reconnaissance.

1. LOCATION

The ±0.19-acre project site is a vacant, residential lot located east of 1067 93<sup>rd</sup> Street in the Village of Pleasant Prairie, Wisconsin. The property is located in a mature residential area in Carol Beach Estates subdivision in the NE ¼ of Section 19, Township 01 North, Range 23 East of the Third Principle Meridian. The central portion of the study area is located approximately at 42.536273° North Latitude and -87.822586° West Longitude.



*5. AERIAL PHOTOGRAPH  
APPROXIMATE DATA POINT LOCATIONS*



- C. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS** to consider the request of BJ Korman for EMCO Chemical Distributors, Inc to construct a 62,160 square foot warehouse addition and associated site improvements at their facility located at 8601 95<sup>th</sup> Street LakeView Corporate Park.

**Recommendation:**

Village staff recommends approval of Conditional Use Permit including Site and Operational Plans subject to the comments and conditions of the Village Staff Report of June 13, 2016.

## VILLAGE STAFF REPORT OF JUNE 13, 2016

**CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS** to consider the request of BJ Korman for EMCO Chemical Distributors, Inc to construct a 62,160 square foot warehouse addition and associated site improvements at their facility located at 8601 95<sup>th</sup> Street LakeView Corporate Park.

### **PUBLIC HEARING COMMENTS:**

*As a part of the hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's request as presented and described below:*

### **Findings of Fact**

1. The petitioner is requesting approval of a Conditional Use Permit including Site and Operational Plans to construct a 62,160 square foot warehouse addition and associated site improvements at their facility located at 8601 95<sup>th</sup> Street LakeView Corporate Park. See **Exhibit 1** for the application.
2. The subject property is known as Parcel 14 of CSM #1361 and is located in a part of the Northwest One-Quarter of U.S. Public Land Survey Section 21, Township 1 North, Range 22 East of the Fourth Principal Meridian, lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin and further identified as Tax Parcel Number 92-4-122-212-0354.
3. EMCO purchased the facility and re-opened the Pleasant Prairie facility on July 13, 2011. The owner has continued to grow its operations since moving to Pleasant Prairie. The proposed 62,160 sq. ft. addition is on the north side of the current building. The addition will be strictly for warehousing products. New docks will be added to allow for less traffic on site. Truck traffic and deliveries to the site will not be increased by this addition.

The project will also include a free standing guard shack on the exterior of the fence line. The guard shack is critical for meeting security requirements set forth by the Department of Homeland Security. It also will allow EMCO to inspect and register deliveries prior to entering the perimeter fences.

Along with this project, EMCO will "loop" water for the incoming fire system and install additional fire hydrants. Additionally, a small service road will be added on the North side of the building.

4. Previous approvals included:
  - a. Conditional Use Grant #09-08 was approved by Plan Commission on December 14, 2009 for EMCO to operate the site for their industrial chemical distribution facility. (See **Exhibit 2**)
  - b. Conditional Use Permit #11-02 was approved by Plan Commission on March 14, 2011 for the following improvements: 1) provide the infrastructure to move products from the existing unloading/loading areas to the new Tank farm. This phase included installation of piping, the piping structure, storage tanks, pumps and other miscellaneous equipment; 2) construction of the truck shop to be used for general maintenance and repair of all EMCO owned vehicles; 3) construction of an exterior tanker cleaning area and an exterior unloading/loading area on the south side of the existing facility as well as a water treatment area; 4) construction of a production area used to fill product into its saleable package with walls to separate the different production areas, ventilation systems and fire protection added as needed or required; and

5) addition of exterior trailer parking lot, tanker parking area and diesel fuel station and nitrogen unit. (see **Exhibit 3**)

5. At this time EMCO is proposing to expand its current facility (with a gross floor area of 259,580 sq. ft.) by 62,160 sq. ft. for warehousing products and will not include any manufacturing. The new addition will house the same type of materials as the existing warehouses with similar operations such as storing and loading.
6. EMCO anticipates operating approximately 24 hours a day, Monday through Friday, with a majority of the operations taking place from 6 am to 6 pm. The anticipated maximum number of employees on site at any time of the day is 115 employees. There will be 2 production shifts with approximately 20 employees each and 3 shipping and receiving shifts with approximately 8 employees each. Office personnel will work 8 am to 5:30 pm with approximately 45 employees.  
  
There are over 225 parking spaces currently available at EMCO with 4 handicapped spaces. EMCO does not plan on expanding the parking lot.  
  
The anticipated average of automobile trips to and from the site is 250 (100 employees making 2.5 trips per day). The anticipated average of truck trips to and from the site is 50-60 per day.
7. The current zoning of the property is M-2, Heavy Manufacturing District and the distribution of chemicals as proposed are allowed within the District with approval of a Conditional Use Permit.
8. Notices were sent to adjacent property owners via regular mail on May 19, 2016 and notices were published in the Kenosha News on May 30 and June 6, 2016.
9. The petitioner was e-mailed a copy of this memo on June 10, 2016.
10. According to Article XVIII of the Village Zoning Ordinance, the Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings of fact, the application and related materials and information presented at the public hearing that the project as planned, will not violate the intent and purpose of all Village Ordinance and meets the minimum standards for granting of a Conditional Use Permit. Furthermore, pursuant to Article IX of the Village Zoning Ordinance, the Plan Commission shall not approve any Site and Operational Plan application without finding in the decision that the application, coupled with satisfaction of any conditions of approval, will comply with all applicable Village ordinance requirements and all other applicable Federal, State or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer and water service, storm water management, streets and highways and fire protection.

**Village Staff Conclusions and Recommendation: (to be read out loud)**

***The Village staff has determined that based upon the foregoing information presented in the application, at the public hearing and the memorandum from the Fire & Rescue Department that the project meets the following standards for granting a Conditional Use Permit and Site and Operational Plan approval in that the project:***

- does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services;
- does not impair an adequate supply of light and air to the adjacent properties;
- does not increase danger of fire--in so far as the danger of fire does not exceed the

capabilities of the Village Fire & Rescue Department;

- does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare;
- has no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use;
- the proposed and applied for use on this particular parcel is not inherently inconsistent with either the M-2 – Heavy Manufacturing District in which it is located or the surrounding industrial zoned districts and surrounding neighborhood; and
- the proposed and applied for use will comply with all applicable Village ordinance requirements and all other applicable federal, state or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer and water service, storm water management, streets and highways and fire protection.

**Based on the foregoing information, the Village staff recommends that if the Plan Commission determines that the petitioner has met the specific standards for granting of a Conditional Use Permit and Site and Operational Plan approval as specified above; then approval of the Conditional Use Permit and Site and Operational Plan shall be approved subject to the following conditions:**

1. **Below are changes or corrections that shall be made to the Plans and other documents. After the changes have been made, submit three (3) revised plan sets along with all attachments and exhibits and one (1) pdf of the plan set and all attachments and exhibits for Village's review. And, provide comments in the margin of this written memorandum or a separate memorandum explaining how and where each plan change or comment was addressed or agreed to.**
  - a. On Page 7 of the Operational Plan narrative for the Proposed Project incorrectly states the Gross Floor Area of the proposed addition as "6062,160". Correct to 62,160 square feet and resubmit the written narrative.
  - b. Provide general site information on the title sheet that includes the area (square feet) and % of the total site area proposed as a result of the proposed addition and site improvements: property area, building area, impervious surface area and open space.
  - c. Provide general site information on the title sheet that includes the Zoning of the property (M-2, General Manufacturing District with Conditional Use Permit (CUP's).
  - d. Include the **attached** Government Agency Contacts on the title sheet. For EMCO, the WI DNR air quality contact person information shall also be included.
  - e. Verify that at least 25% of the site is open space (excluding building and paved areas).
  - f. Almost 50 trees are being removed from site, submit a detailed Landscaping Plan which identifies the sizes, locations at planting and mature heights, types of landscaping and how the trees and bushes are being replanted.

- g. Provide a copy of the LakeView Commercial Owners Association's ACC approval letter – the Association specifically will review the details of the building, access and landscaping proposed. (Contact Ed Harrington – CenterPoint Properties).
- h. A dimensioned site plan shall be submitted that shows the existing setback to property lines for all paved surfaces and proposed setbacks and for new paved surfaces and the buildings to ensure that all required setbacks are being met. It appears that the existing paving along the east side of the building does not meet the current required 20 foot setback to property lines. In addition the building addition is required to be setback at least 65 feet from the property line adjacent to 95<sup>th</sup> Street.
- i. Compliance with the **attached** comments dated May 9, 2016 from the Village Engineering Department.
- j. Compliance with the **attached** comments dated May 9, 2016 from the Village Public Works Department.
- k. Provide foundation and slab insulation per 2009 IECC.
- l. Add additional parking spaces including accessible parking if needed per 2009 IBC.
- m. Additional parking lot and building lights shall be "Dark Sky" compliant and recommended LED 5000K color temperature.
- n. Compliance with the **attached** comments dated May 28, 2016 from the Village Building Inspection Department.
- o. Compliance with the **attached** memo dated May 13, 2016 from the Village Fire & Rescue Department. **As stated in the Fire & Rescue Departments memo, the owners shall submit a letter to the Fire & Rescue Department prior to obtaining building permits stating that the project will comply with all requirements of this memo. A copy of this letter shall also be provided to the Community Development Department.**
- p. The building addition shall match the existing building in architectural style, building materials and colors. A materials sample board and paint colors shall be provided.
- q. A new 95th Street driveway entrance shall be for emergency access only. Village Fire & Rescue and Police Departments and other emergency agencies shall be allowed access to the site; therefore, a Knox pad lock with daisy chain is required at the gated entrance. Key pad entry shall be approved by Doug McElmury, Fire & Rescue Chief. Contact the Fire & Rescue Department at 262-694-8027 to obtain the required Knox pad lock and daisy chain information for ordering. Show a detail of the swing gate on the plans. Revised the plans to show the swing gate setback a minimum of two-feet from the property line. Add a note to the plans that indicates the gate will swing onto the property. Add a note to the plans that indicates that the owner is responsible for maintaining (snow plowing and salting/deicing) the access in the winter.
- r. The plans indicate a guard shack with gates. Provide building and gate details (color, materials, height, etc. on the plans).

- s. Provide fence details (color, materials, height, etc.) for the fence enclosing the expanded southwest yard expansion area on the 88th Avenue side of the site.
- t. "No empty drums, pallets, recycling materials or any other materials shall be stored or located outside of an enclosed structure or trailer". Note on the Plans.
- u. No trailers shall be used for the ongoing product/raw material storage. Note on the Plans.
- v. No semi-trucks or trailers shall be parked on the grassy areas of the site.
- w. No roof mounted vents or HVAC units shall be visible to the public's view. All ground mounted HVAC or transformer units shall be screened by rooflines.
- x. All of the exterior/interior man-doors on the building shall be consecutively numbered starting at the front entrance doors of the facility and starting with 1 and moving clockwise around the building. Both inside and outside of the doors shall be numbered with attractive consistently placed numerals that are of the same size and material and placement. A copy of the numbering plan shall be provided to the Village. The numerals should be about 3-5 inches in size. (Per Police Department).

**Other comments**

1. Provide a copy of the WI DNR air quality construction and operational permits required for this expansion – 10-RSG-072.
2. Proper sign permits shall be submitted prior to installation of any new on-site informational, directional, wall or monument signs or if there are modifications to any of the existing signs.
3. **Prior to the issuance of the required permits the following is required:**
  - a. Approval of the Conditional Use Permit including Site and Operational Plans is required. All required plans changes shall be incorporated into a final set of plans for Village staff review and approval.
  - b. Written approval shall be provided from the easement holder(s) for proposed grading, utility, and/or other work within easement limits.
  - c. Written approval shall be provided by the LakeView Commercial Owners Association.
  - d. Provide a copy of the approved WI DNR NOI permit.
  - e. As required in the above noted Fire & Rescue Department's memo, a Fire Compliance letter shall be prepared by the owner and submitted to the Fire & Rescue Department. This letter, on owner's letterhead, shall state that the project will comply with all requirements addressed within the Fire & Rescue Department's Memorandum dated May 13, 2016. A copy of this letter shall also be provided to the Community Development Department.
  - f. An Erosion Control Permit Application and Plans, along with a copy of the Wisconsin Department of Natural Resources N.O.I. Permit. *[Note: The required \$2,000 street sweeping cash deposit shall be deposited with the Village at the time of obtaining the Erosion Control. The street sweeping cash deposit is refundable, less 6% for administrative processing upon issuance of a Certificate of Compliance for the entire project if the amount is not drawn*

*upon by the Village in maintaining the adjacent roadways free from dirt, mud clumps and mud tracking during the construction process. Silt fence shall be installed and inspected prior to any work starting.]*

- g. WI State-approved building plans and approval letter(s) shall be submitted with the required commercial permit application, work in the Village right-of-way permit, plans for review and issuance of required building permits.
- h. Prior to work commencing on the site a preconstruction meeting shall be scheduled (coordinate date and time with Jean Werbie-Harris when the permit applications are submitted). **The pre-construction agenda, listing of emergency contacts, and construction schedule shall be handed out by the Design Engineer of Record to all attendees (owners, engineer, contractors, utilities, and Village staff) at the meeting. The pre-construction meeting shall be held at the Village Hall. The meeting shall be moderated and minutes shall be taken by the Design Engineer of Record and the minutes emailed and distributed within 7 days to all attendees. (A sample agenda will be provided by the Village to Design Engineer to modify for the meeting).**
4. **Following the pre-construction meeting all necessary permits shall be paid for and permits obtained from Village Building Inspection Department.**
5. Prior to work commencing on the site, all required permits shall be issued by the Village, all required erosion control measures shall be in place and inspected and maintained.
6. Fees shall be paid prior to any new or additional connections to the sanitary sewer system.
7. Impact fees shall be paid prior to issuance of the building permit pursuant to Chapter 181 of the Village Code (Based upon \$1.94 per \$1,000 of valuation as determined by the Village Assessing Department).
8. **After the installation of the footings and foundations and prior to the setting of the walls, an as-built survey as stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village Building Inspection Department to verify that the building meets all of the required setbacks.**
9. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be limited to Monday through Friday from 6:00 a.m. to 10:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m.
10. There shall be no construction parking permitted on 88<sup>th</sup> Avenue (CTH H) or 95<sup>th</sup> Street.
11. The Village shall approve of the location of all construction trailers parked on the site during construction activities. No construction trailers shall be parked in Kenosha County or Village rights-of-way. All construction related signage shall be approved and permitted by the Village.
12. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
13. This development shall be in compliance with the Village Land Division and Development Control Ordinance, Village Municipal and Zoning Codes (including Conditional Use Permits), Village Construction Site Maintenance and Erosion Control

Ordinance, Kenosha County Ordinances and the State of Wisconsin Statutes.

14. All Village fees incurred by the Community Development Department, Village Engineering Department and/or expert Assistants required by the Village throughout the development process are being billed directly to EMCO. All outstanding bills/fees shall be paid prior to verbal occupancy and other fees incurred following occupancy shall be paid in a timely manner.
15. **Prior to occupancy of the building addition the following inspections and information are required:**
  - a. Verification that the site and building addition were built in compliance with the approved Site and Operational and State approved Building plans.
  - b. Verification and compliance with all Building Inspection, Fire & Rescue and Community Development Departments approved plans, comments and concerns.
  - c. Record Drawings and As-Built utility data shall be provided to the Village Engineering Department in accordance with Chapter 405 (Section 4.0) of the Municipal Code for review and approval.
  - d. All required landscaping shall be installed. A written letter of verification and certification shall be provided to the Village Community Development Department by the landscape installer that all plantings (including street trees and their related maintenance), site landscaping and signage landscaping has been installed in accordance with the approved landscape plan. However, if weather conditions prevent installation of all or portions of the landscape materials, the owner shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and grants the Village a temporary easement to complete the landscaping if not timely completed and shall deposit with the Village a cash deposit, an irrevocable letter of credit, performance bond or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping; the amount of the financial assurance shall be equal to 110% of the contracted amount (Landscape's written contract estimate of unfinished work) to complete the landscaping improvements in order to reasonably compensate the Village for the cost of completion of any landscaping improvements not completed within the specified time.
  - e. All new and required site signage shall be installed and inspected. A written letter of verification and certification shall be provided to the Village Community Development Department by the signage installer that all building and site signage has been installed in accordance with the approved signage plan.
  - f. One (1) paper copy and one (1) pdf of an as-built plan stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village Community Development Department to verify that the building addition, above ground structures and all impervious surfaces meet the minimum setbacks and that all pavement markings were marked per the approved site plans and the grading of the site was completed pursuant to the approved plans.
16. If building permits are not issued within said 180 days of written approval of the Site and Operational Plan said approval shall be void.
17. The following conditions will be included in the conditional use permit:

- a. Subject to compliance with the Site and Operational Plans as conditionally approved by the Plan Commission on June 13, 2016.
- b. "No empty drums, pallets, recycling materials or any other materials shall be stored or located outside of an enclosed structure or trailer".
- c. No trailers shall be used for the ongoing product/raw material storage.
- d. No semi-trucks or trailers shall be parked on the grassy areas of the site.
- e. All previous approvals and conditional use permits approved on this property prior to December 1, 2009 shall be null and void. If the property owner would like the Village to prepare documents to release these recorded documents, a list of all recorded conditional use permit numbers and the recording information shall be submitted to the Village for the proper release to be prepared. The petitioner would be responsible for any cost associated with preparing and recording the release document(s).
- f. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
- g. All plans shall conform to applicable Village ordinance requirements, and to all other applicable local, state and federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.
- h. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 12.12 of the Village Zoning Ordinance.
- i. All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well-cared-for and attractive condition.
- j. No changes to the site or buildings shall be made without the Village's approval. In addition, any addition, alteration, extension, expansion, repair or other proposed change in the approved operation shall be subject to the Village's Conditional Use procedures as if such use were being established anew.
- k. Upon approval of the Conditional Use Permit and prior to issuance of building permits, the property owner shall sign the Conditional Use Grant Document and said document shall be recorded at the Kenosha County Register of Deeds office prior to issuance of any permits. Prior to the execution of the Conditional Use Grant Document proof of ownership shall be provided to the Village).
- l. The Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.

# Governing Agency Contacts

## PLEASANT PRAIRIE VILLAGE HALL

9915 39TH STREET  
PLEASANT PRAIRIE, WI 53158  
OFFICE: (262) 694-1400

### - COMMUNITY DEVELOPMENT DEPARTMENT

JEAN WERBIE-HARRIS, DIRECTOR  
- PLANNER, ZONING  
ADMINISTRATOR  
OFFICE: (262) 925-6718  
EMAIL: [jwerbie-harris@plprairiewi.com](mailto:jwerbie-harris@plprairiewi.com)

PEGGY HERRICK  
- ASSISTANT PLANNER & ZONING  
ADMINISTRATOR  
OFFICE: (262) 925-6716  
EMAIL: [pherrick@plprairiewi.com](mailto:pherrick@plprairiewi.com)

KRISTINA TRANEL  
- DEPUTY PLANNER & ZONING  
ADMINISTRATOR  
OFFICE: (262) 925-6711  
EMAIL: [ktanel@plprairiewi.com](mailto:ktanel@plprairiewi.com)

### - ENGINEERING DEPARTMENT

MATT FINEOUR, P.E.  
- VILLAGE ENGINEER  
OFFICE: (262) 925-6778  
EMAIL: [mfineour@plprairiewi.com](mailto:mfineour@plprairiewi.com)

KURT DAVIDSEN, P.E.  
- ASSISTANT VILLAGE ENGINEER  
OFFICE: (262) 925-6728  
EMAIL: [kdavidsen@plprairiewi.com](mailto:kdavidsen@plprairiewi.com)

### - PUBLIC WORKS DEPARTMENT

JOHN STEINBRINK, JR.,  
- SUPERINTENDENT  
ROGER PRANGE MUNICIPAL  
BUILDING  
8600 GREEN BAY ROAD  
OFFICE: (262) 925-6768  
EMAIL: [jsteinbrink@plprairiewi.com](mailto:jsteinbrink@plprairiewi.com)

JESSE HOULE, P.E.  
- CONSTRUCTION MANAGER  
OFFICE (262) 948-8945  
EMAIL: [jhoule@plprairiewi.com](mailto:jhoule@plprairiewi.com)

STEVE WLAHOVICH  
- ENGINEERING TECHNICIAN  
OFFICE: (262) 925-6767  
EMAIL: [swlahovich@plprairiewi.com](mailto:swlahovich@plprairiewi.com)

### BUILDING INSPECTION DEPARTMENT

SANDRO PEREZ  
-BUILDING INSPECTION  
SUPERINTENDENT  
OFFICE: (262) 694-9304  
DIRECT: (262) 925-6722  
EMAIL: [sperez@plprairiewi.com](mailto:sperez@plprairiewi.com)

DONALD KOEHNE  
-BUILDING INSPECTOR  
OFFICE: (262) 694-9304  
EMAIL: [dkoehne@plprairiewi.com](mailto:dkoehne@plprairiewi.com)

MICHAEL KAPRELIAN  
- BUILDING INSPECTOR  
OFFICE: (262) 694-9304  
EMAIL: [mkaprelian@plprairiewi.com](mailto:mkaprelian@plprairiewi.com)

### FIRE & RESCUE DEPARTMENT

DOUG McELMURY,  
- CHIEF OF FIRE & RESCUE  
8044 88TH AVENUE  
OFFICE: (262) 694-8027  
EMAIL: [dmcelmury@plprairiewi.com](mailto:dmcelmury@plprairiewi.com)

CRAIG ROEPKE  
- DEPUTY CHIEF  
OFFICE: (262) 694-8027  
EMAIL: [croepke@plprairiewi.com](mailto:croepke@plprairiewi.com)

THOMAS CLARK  
- LIEUTENANT  
OFFICE: (262) 694-8027  
EMAIL: [tclark@plprairiewi.com](mailto:tclark@plprairiewi.com)

1/20/16

**WI DEPARTMENT OF NATURAL  
RESOURCES**

ELAINE JOHNSON  
- WATER RESOURCE SPECIALIST  
OFFICE: 262-884-2136  
EMAIL: [elaine.johnson@wisconsin.gov](mailto:elaine.johnson@wisconsin.gov)

PETER WOOD  
- WATER RESOURCES ENGINEER  
OFFICE: 262-884-2360  
EMAIL: [peter.wood@wisconsin.gov](mailto:peter.wood@wisconsin.gov)

## Public Utility Contacts

**AMERICAN TRANSMISSION COMPANY**

BRIAN MCGEE  
OFFICE: 262-506-68955  
EMAIL: [bmcgee@atcllc.com](mailto:bmcgee@atcllc.com)  
EMERGENCY NUMBER: (800) 972-5341

**WISCONSIN D.O.T.**

KEVIN KOEHNKE, PERMITS  
COORDINATOR  
SOUTHEAST REGION  
OFFICE: (262) 548-5891  
EMAIL: [kevin.koehnke@dot.wi.gov](mailto:kevin.koehnke@dot.wi.gov)

**AT&T**

MIKE TOYEK  
OFFICE: 262-636-0549  
EMAIL: [mt1734@att.com](mailto:mt1734@att.com)

**TDS TELECOM**

SOUTHEAST WISCONSIN  
OFFICE: 877-483-7142

**TIME WARNER CABLE**

STEVE CRAMER  
- UTILITY COORDINATOR  
OFFICE: 414-277-4045  
EMAIL: [steve.cramer@twcable.com](mailto:steve.cramer@twcable.com)  
EMERGENCY NUMBER: (800) 627-2288

**WE-ENERGIES**

LINDA SCHREIER  
KENOSHA SOUTH  
OFFICE: 262-552-3228  
EMAIL:  
[linda.schreier@we-energies.com](mailto:linda.schreier@we-energies.com)

NATURAL GAS EMERGENCY:  
(800) 261-5325  
ELECTRICAL EMERGENCY:  
(800) 662-4797



## MEMORANDUM

Office of the Village Engineer  
**Matthew J. Fineour, P.E.**

TO: Peggy Herrick, Assistant Planner / Assistant Zoning Administrator

FROM: Matthew Fineour, P.E., Village Engineer

SUBJ: EMCO Chemical – DEV1604-011  
Warehouse Addition & South Yard Expansion

DATE: May 9, 2016

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Peggy,

The Engineering Department has reviewed the submitted plans for the above referenced project. Specifically, the following was reviewed.

- Construction Plans for EMCO Chemical Distributors Warehouse Addition and South Yard Expansion, dated April 20<sup>th</sup>, 2016.

Based on our review, we have the following comments listed below.

1. Provide additional information for the existing wet detention basin and associated existing site storm sewers and make any plan revisions as needed.
  - a. Provide information regarding existing storm sewer outfalls into the pond and pond outlet location and outlet storm sewer. Attached are existing plans on file showing some storm sewer locations, however, it is unknown if these are correct.
  - b. Provide the existing normal water elevation of the retention pond and calculated 100-year high water elevation.
2. Verify that the drainage entering the trench drains ultimately is routed to the existing retention basins located on the south side of the property.
3. Update the references of Chapter 405 to the newly Village adopted Chapter 405.
  - Chapter 405 of the Village of Pleasant Prairie Municipal Code "Design Standards and Construction Specifications", 2016 Edition.

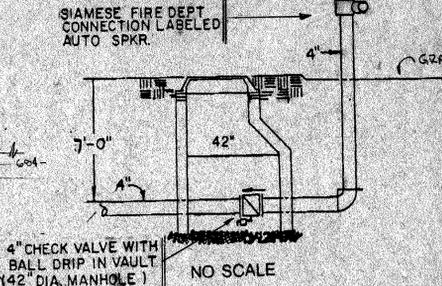
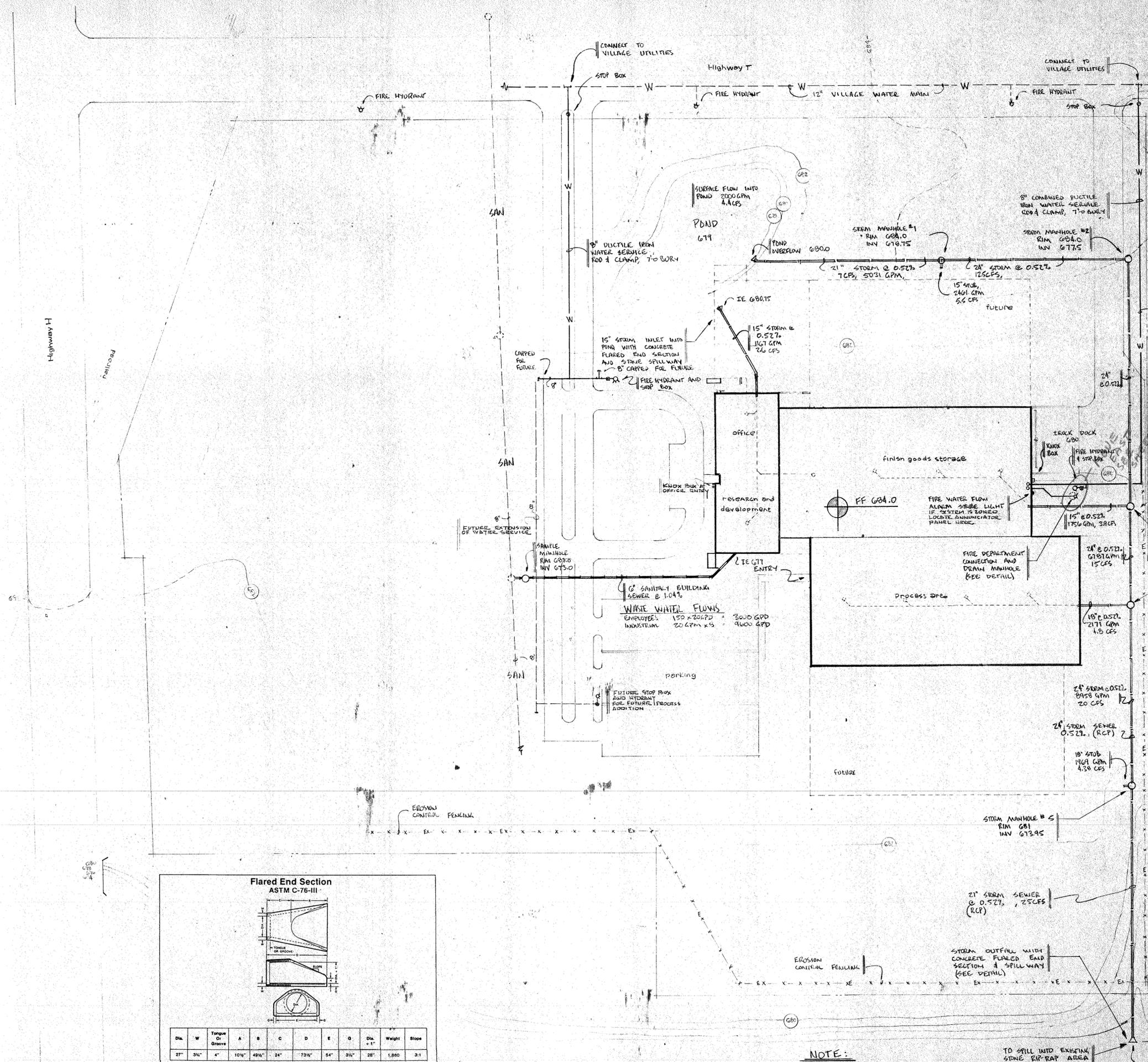
4. South Yard Expansion: Provide the upstream and downstream invert elevations of the existing 24-inch culvert in which the expansion area drainage is directed to.
5. A landscaping plan shall be submitted for the project.
6. A separate fire protection plan was submitted. This plan shall be reviewed by the Fire Department, however, the design engineer shall check with the Fire Department regarding the following comments and make revisions as directed by the Fire Department.
  - a. The FDC detail is outdated. The updated Village pumper pad FDC detail shall be included, unless otherwise directed by the Fire Department.
  - b. The Village standard fire hydrant detail shall be included in the plan, unless otherwise directed by the Fire Department.

### **Other Comments**

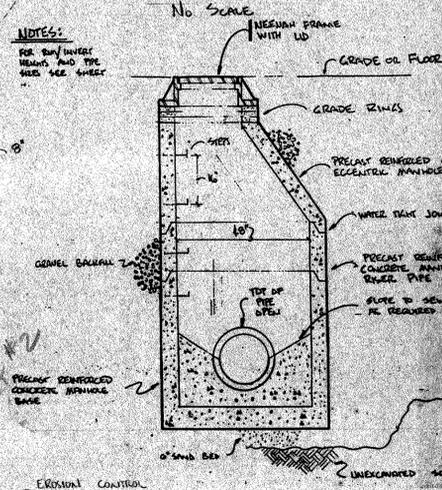
7. Record drawings and electronic as-built data meeting the requirements of Chapter 405 (Section 4.0) of the municipal code shall be provided upon completion of the project.

The engineering plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date.

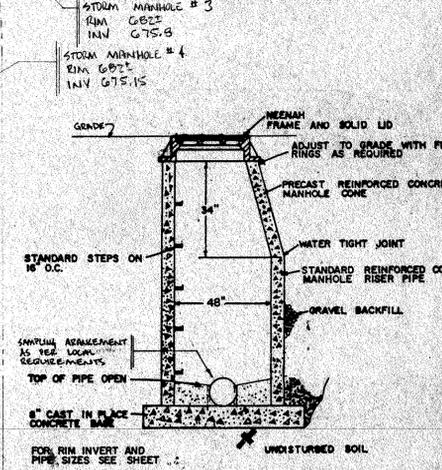
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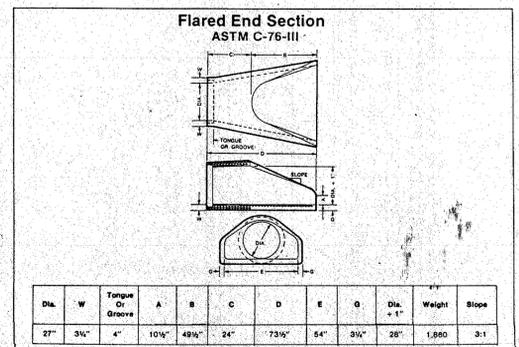
**FIRE DEPARTMENT CONNECTION W/ MANHOLE DETAIL**  
No SCALE



**STORM MANHOLE DETAIL**  
No SCALE



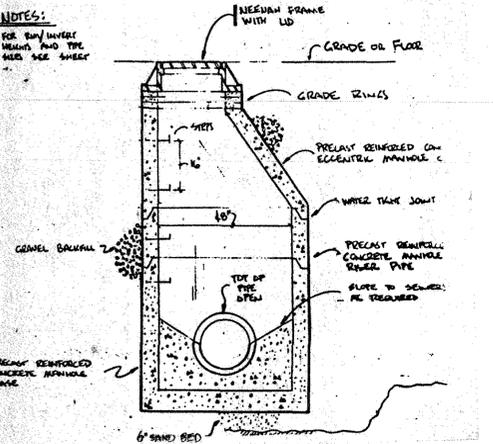
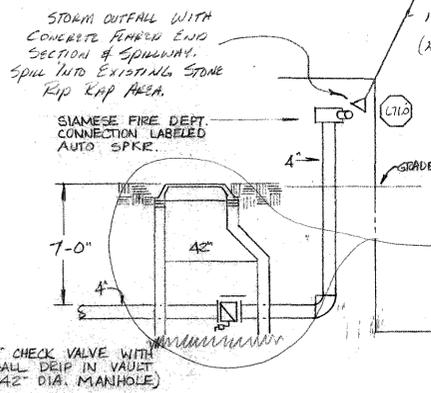
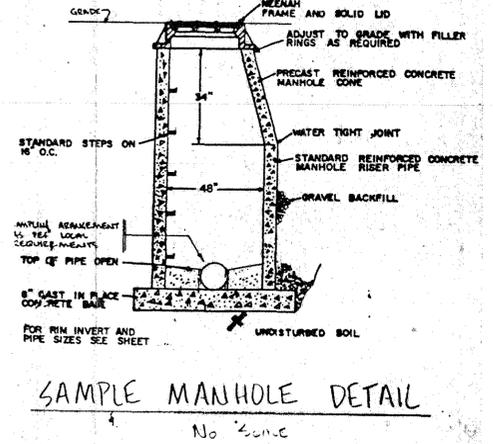
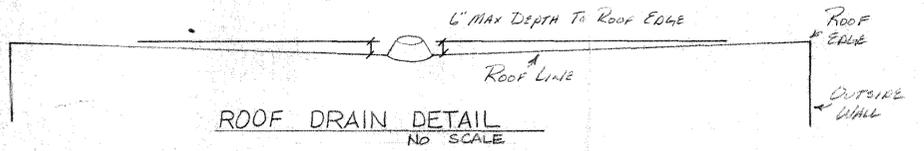
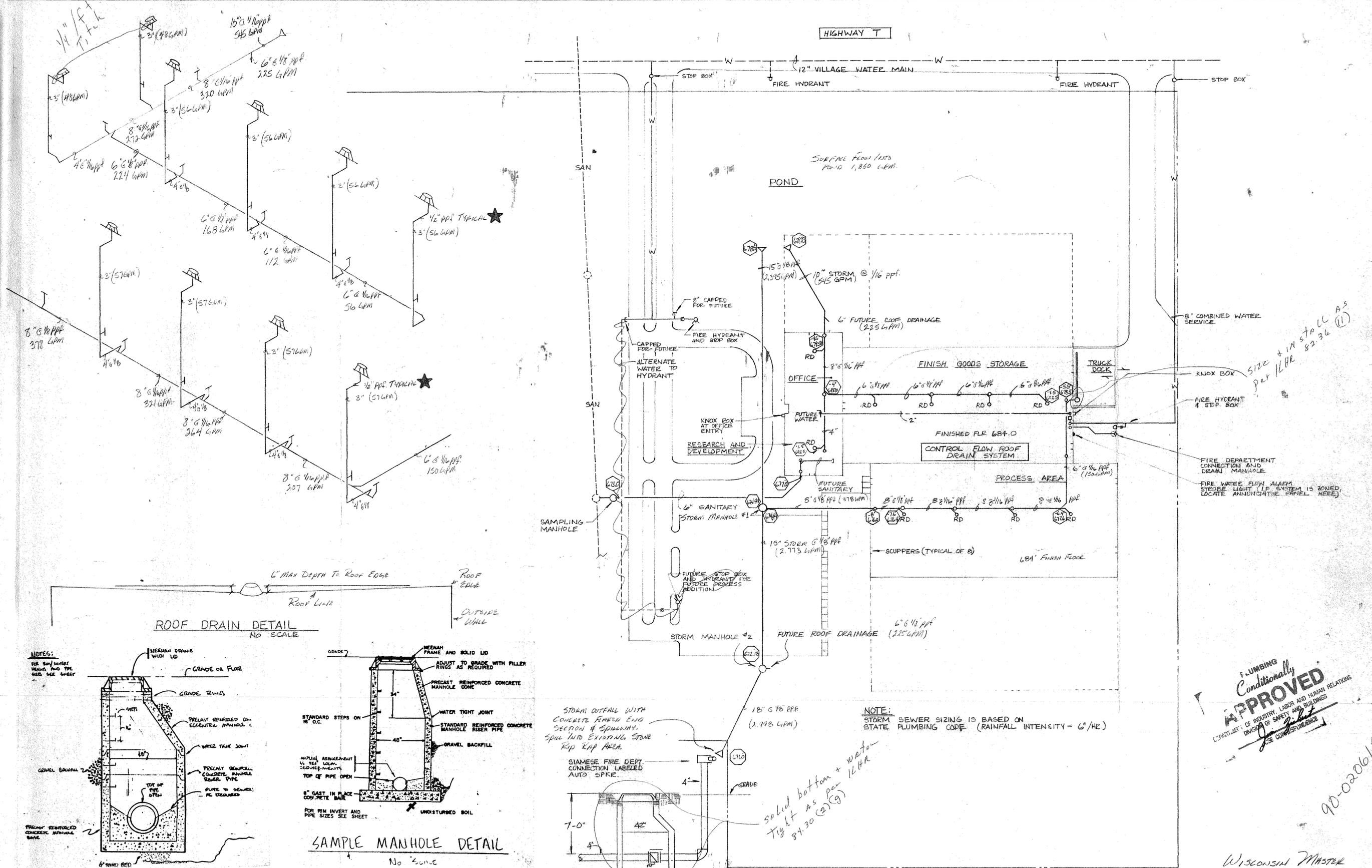
**SAMPLE MANHOLE DETAIL**  
No SCALE



**NOTE:**  
STORM SEWER SIZING IS BASED ON STATE PLUMBING CODE.  
RAINFALL INTENSITY = 4"/HR

**Site Plan** 1" = 60'  
REVISIONS 7-23-90  
8-14-90  
8-22-90  
8-28-90

312 INDIANA STREET  
 RACINE, WI 53405  
 414-554-7132  
 FAX 414-633-4010  
**Jarosz**  
 PLUMBING & HEATING COMPANY, INC.  
 ENGINEERING/CONSTRUCTION SERVICES



**STORM MANHOLE DETAIL**  
 No SCALE

**SAMPLE MANHOLE DETAIL**  
 No SCALE

**FIRE DEPARTMENT CONNECTION W/ MANHOLE DETAIL**  
 No SCALE

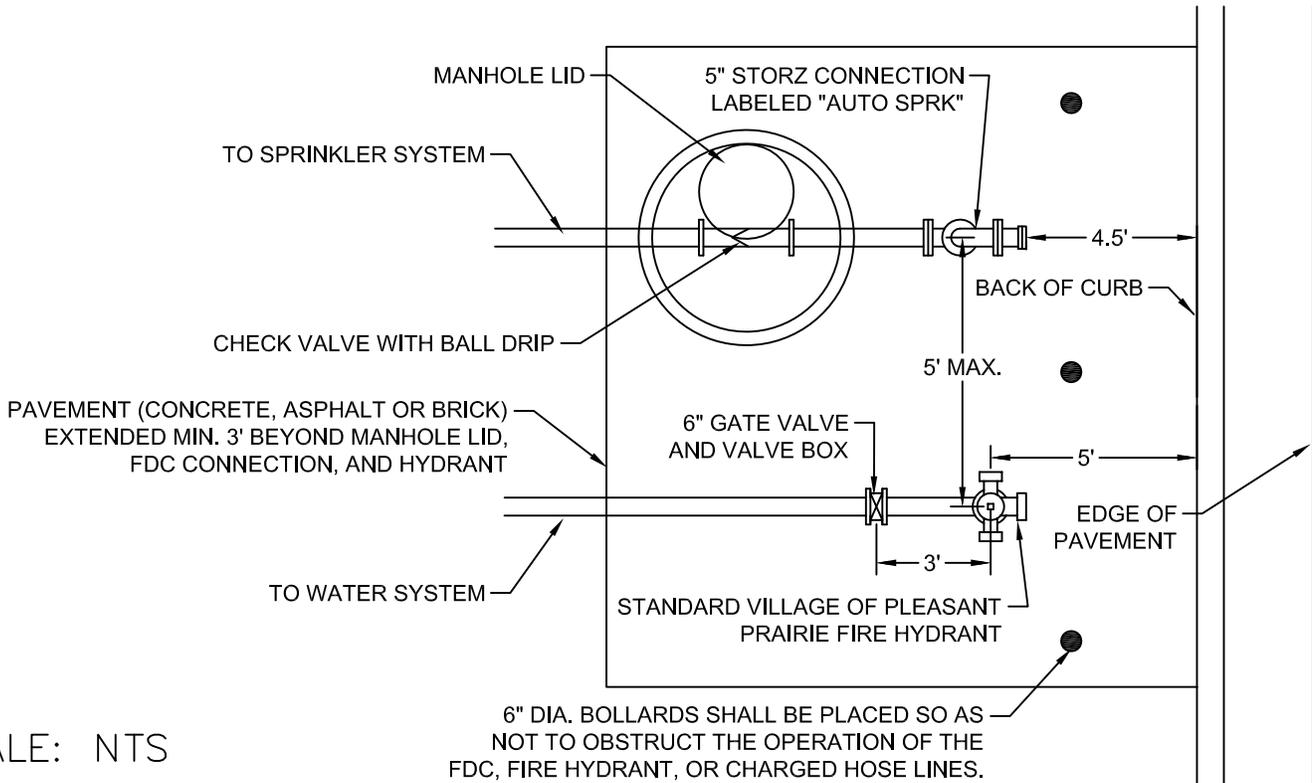
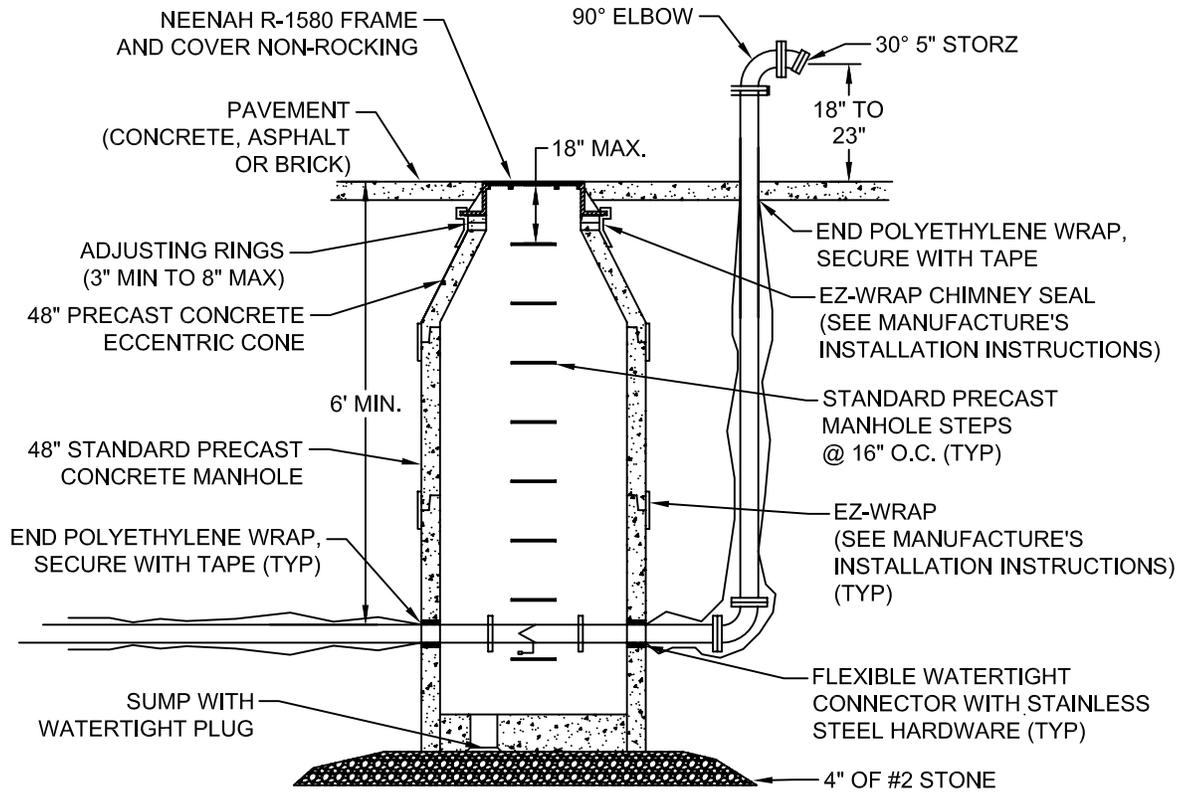
**Conditionally APPROVED**  
 FLUMBING  
 DIVISION OF SAFETY AND BUILDINGS  
 WISCONSIN DEPARTMENT OF SAFETY AND BUILDINGS  
 DATE: 9/2/02  
 BY: J. Jarosz

Wisconsin MASTER  
 PLUMBER  
 #6598  
*Thomas J. Jarosz*  
 Thomas J. Jarosz

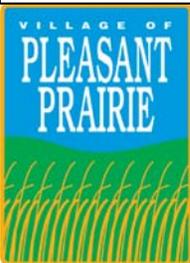
PROJECT No.	55518
DRAWING DATE	9/2/02
NO. REVISION	1
DATE	9/2/02
BY	J. Jarosz
CHECKED	J. Jarosz

**NOTE:**

- SYSTEM SIZING SHALL BE COMPLETED BY A FIRE SUPPRESSION ENGINEER AND APPROVED OF BY THE VILLAGE OF PLEASANT PRAIRIE FIRE DEPARTMENT.
- SYSTEM INSTALLATION MUST BE CONSTRUCTED UNDER THE ONSITE SUPERVISION OF A LICENSED SPRINKLER FITTER.



SCALE: NTS



**PUMPER PAD FDC DETAIL**

DETAIL: FD - 1

CREATED: 4-16-13

REVISED: 3-2-16

APPROVED BY: D. McELMURY







Office of the Director of Public Works  
**John Steinbrink Jr., P.E.**

TO: Peggy Herrick, Assistant Planner / Assistant Zoning Administrator  
FROM: John Steinbrink, Jr., P.E., Director of Public Works  
CC: Matthew Fineour, P.E., Village Engineer  
Jean Werbie-Harris, Community Development Director  
SUBJ: DEV1604-011 EMCO Addition Plan Review  
DATE: May 9, 2016

The Department of Public Works has reviewed the submitted information for the above referenced project. Based on our review, we have the following comments listed below:

PAGE#	COMMENT
	Any new water services will require a new meter connection. All new water meters will need Commercial meter request form completed.
	Will the sewer tie into the existing sewer or is a new sewer lateral proposed?
	The industrial waste survey shows there will be hazardous waste generated at this facility. It also says the connections to sewer are "to be determined". Please show proposed utility plan before approval.



## Village Staff Memorandum

To: Jean Werbie-Harris Community Development Director

From: Sandro Perez, Building Inspection Superintendent

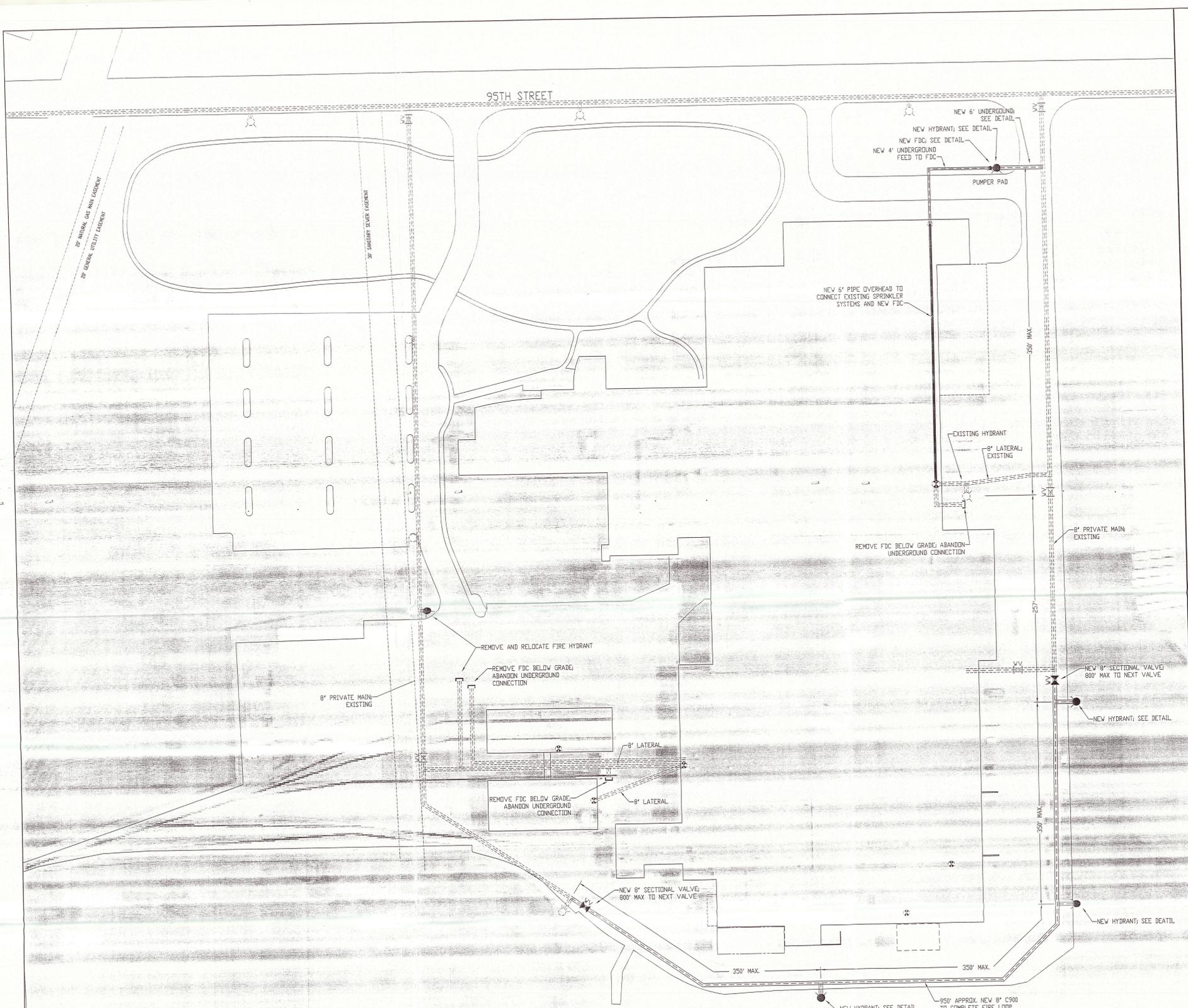
Subject: EMCO Addition

Date: May 28, 2016

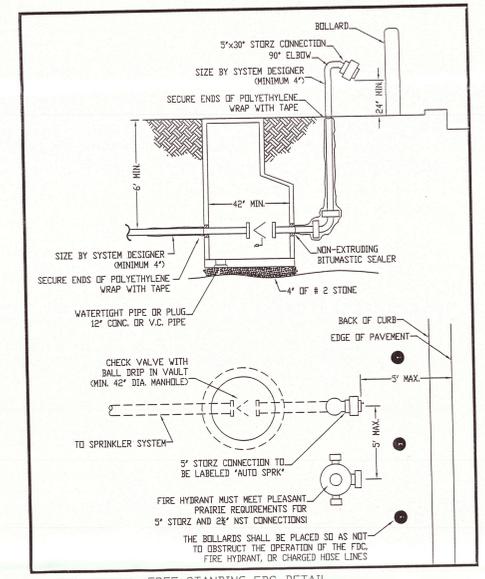
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1. Building Inspection Department information:  
Hours: Mon-Fri, 8am-5pm.  
Phone# 262-694-9304  
Email: [buildinginspection@plprairiewi.com](mailto:buildinginspection@plprairiewi.com)
2. Permit applications can be found online at [pleasantprairieonline.com](http://pleasantprairieonline.com).
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tuesday and Thursday mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance (including low voltage contractors). We have 10 business days to review and issue permits please plan accordingly. If there are any questions on which contractors need a permit please contact Building Inspection Department.
5. Electrical plans are no longer reviewed by the State of WI, however the Building Inspection Department will require a complete set of electrical plans prior to issuance of electrical permit. Please submit emergency egress lighting plan with photometrics and energy compliance worksheets form SBD 10512 to Building Inspection Department prior to issuance of Electrical Permit.
6. Combination water mains will need Fire Department plan approval prior to issuance of Exterior Plumbing Permit. Contact Chief Dough McElmury at 262-694-8027 for submittal requirements. All of the underground inspections will be performed by the Building Inspection Department. All system function inspections will be performed by the Fire Department.
7. Fire alarm systems require plan review and approval prior to the Building Inspection department issuing a Low Voltage Permit. Inspections will be required by both the Fire Department and Building Inspection Department.

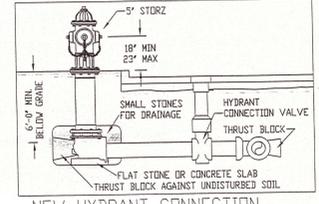
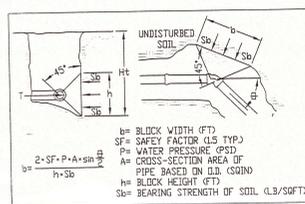
8. Erosion Control Standards must be adhered to at all times during construction. The Building Inspection Department will not perform any inspection if the erosion control measures are non-compliant.
9. Any tradesmen requiring state license will be "carded" on the jobsite for compliance.
10. We inspect to the 2009 IBC, IEBC, IMC, IECC, IFGC, 2003 ANSI A117.1, 2011 NEC and WI. Plumbing Code SPS 381-386.
11. Jobsite shall be kept clean and safe, inspectors will not perform inspection if there is a safety hazard in the area of their inspection.
12. A \$50 re-inspection will be charged if contractors are not ready for your inspection.
13. All exterior lighting is recommended to be LED 5000K color temperature and "Dark Sky" compliant.



**SCOPE**  
 UNDERGROUND  
 CONNECT BEAD-ENDS OF PRIVATE UNDERGROUND TO CREATE A LOOP. ADD HYDRANTS AND SECTIONAL CONTROL VALVES AS REQUIRED BY VILLAGE ORDINANCE. UPDATE EXISTING HYDRANTS WITH STORZ OUTLET PER VILLAGE ORDINANCE.  
 REMOVE FIRE DEPARTMENT CONNECTION  
 REMOVE AND REPLACE TWO REMOVE FIRE DEPARTMENT CONNECTIONS AND REPLACE WITH A SINGLE CONNECTION AT A SECURE PUMPER PAD NEAR FACILITY ENTRANCE.  
 UNDERGROUND NOTES  
 THRUST BLOCKS  
 THRUST BLOCKS SHALL BE DESIGNED AND LOCATED AS REQUIRED BY THE VILLAGE OF PLEASANT PRAIRIE, NFPA 13, NFPA 24, AND SOIL CONDITIONS AT THE SITE.  
 HYDRANT HOSE CONNECTIONS  
 EXISTING HYDRANT CONNECTIONS TO BE UPDATED TO 5" STORZ AS REQUIRED BY THE VILLAGE OF PLEASANT PRAIRIE. NEW HYDRANTS TO MEET REQUIREMENTS OF THE VILLAGE OF PLEASANT PRAIRIE.



**MATERIALS**  
 ALL PIPE ON PRIVATE WATERMAIN IS AAWA C900-07 PVC. MINIMUM DEPTH OF BURY IS 6'-0" BELOW GRADE.  
 MAIN TAPS ARE 662 STAINLESS STEEL TAPPING SLEEVES.  
 CHECK VALVES ARE KEN-FLEX RESILIENT HINGE FIGURE 506.  
 FIRE HYDRANTS ARE MUELLER SUPER CENTURION 4463.  
 ALL SECTIONAL VALVES EXCEPT ON HYDRANTS TO BE SUPERVISED BY FIRE ALARM SYSTEM.  
 ALL COMPONENTS MUST BE UL LISTED.



ALL WORK IS BY OTHERS UNLESS NOTED OTHERWISE.  
 STORZ CONNECTION REQUIRED ON NEW HYDRANTS

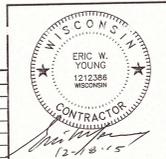
**SITE PLAN**  
 MINIMUM DEPTH OF BURY = 6'-0"  
 ALL WORK IS BY OTHERS UNLESS NOTED OTHERWISE

PLEASANT PRAIRIE  
 CONDITIONALLY  
 FEB 03 2015  
 APPROVED  
 FIRE & RESILIENT  
 [Signature]

Fire Safety Consultants, Inc.  
 2420 Alt Lane, B100  
 Elgin, IL 60124 847.697.1300  
 Plan Review # 1-22-15-15-4  
 Date 1-27-15  
 Reviewed by: Fred C. Hogger  
 NICET Cert #129842  
 We Recommend the submittal be:  
 Approved  Not Approved  
 See Letter and/or Drawing for comments

**APPROVAL DRAWING**

REV. NO.	DATE	REVISION DESCRIPTION
1	10-23-2015	APPROVAL DRAWING
2	12-07-2015	REVISED PER VILLAGE REQUIREMENTS



HYDRAULIC DESIGN INFORMATION	
AREA	SPRINK. PRESS. DEMAND REQ'D (REQ'D)

WATER SUPPLY INFORMATION	
STATUS	DATE
RESTRICTIONS	LOCATION
FLOW	INFORMATION PROVIDED BY:

**DECKER FIRE & SAFETY**  
 4928 GREEN BAY RD.  
 KENOSHA, WI 53144  
 TEL: 262-654-3589 FAX: 262-654-2730  
 ILLINOIS  
 TEL: 847-423-9980 FAX: 847-423-9982  
 WISCONSIN CONTRACTOR REGISTRATION #1212386  
 ILLINOIS CONTRACTOR LICENSE #FSC0194

PROJECT INFORMATION	
PROJECT NO.	58368
REVIEW AGENCY:	VILLAGE
SCALE:	AS SHOWN
DRAWN BY:	EWY
PROJECT MGR:	CURT DECKER
DATE:	10-20-2015
REVISION NO.	2
SHEET NO.:	FP- 1 OF 1



**VILLAGE OF PLEASANT PRAIRIE  
SITE AND OPERATIONAL PLAN  
AND CONDITIONAL USE PERMIT ZONING APPLICATION**

**USE THIS FORM FOR:**  
 Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.  
 To construct a new or addition to principal or accessory structure.  
 Use requires a Conditional Use Permit.

FOR OFFICE USE ONLY	
Application Filed on	20
Preliminary Determination of Completeness on:	20
Revised Plans Submitted:	20
<input type="checkbox"/> Public Hearing Required: Hearing Date:	20
Published on: and	20 Notices sent on: 20
Approved by <input type="checkbox"/> Plan Commission on	20
<input type="checkbox"/> Zoning Administrator on	20
Denied by <input type="checkbox"/> Plan Commission on	20
<input type="checkbox"/> Zoning Administrator on	20

**SECTION 1: GENERAL INFORMATION**

NAME OF BUSINESS: EMCO CHEMICAL DISTRIBUTORS, INC.

SITE ADDRESS: 8601 95<sup>th</sup> STREET, PLEASANT PRAIRIE

BRIEF PROJECT DESCRIPTION: Build A 62,160 SF ADDITION

PROPOSED NUMBER OF FULL TIME EMPLOYEES: 80-100

PROPOSED NUMBER OF PART-TIME EMPLOYEES: 0

SITE SIZE: \_\_\_\_\_ sq. ft. \_\_\_\_\_ acres

PROPOSED BUILDING SIZE: 62,160 sq.ft. HEIGHT: 24 ft.

PROPOSED ADDITION SIZE: \_\_\_\_\_ sq.ft. HEIGHT: \_\_\_\_\_ ft.

LEGAL DESCRIPTION: PARCEL 14 OF CSM # 1361 (DOCUMENT # 944571, VOL # 944577 1378, PAGES 893-896 RECORDED ON JUN 13, 1990) NORTHWEST 1/4 OF SECTION 21 TOWNSHIP 1 NORTH RANGE 22 EAST OF THE FOURTH PRINCIPAL VILLAGE OF P.P.

TAX PARCEL NUMBER(S): 92-4-122-212-0354

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: \_\_\_\_\_

1. Is a zoning map amendment proposed with this project?  Yes  No
  - If yes, proposed Zoning Classification(s): \_\_\_\_\_
2. Is a zoning text amendment proposed with this project?  Yes  No
  - If yes, provide a copy of the proposed text amendment with this application

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) \_\_\_\_\_ sq ft
- Factory Group F-2 (Low-hazard) \_\_\_\_\_ sq ft
- Storage Group S-1 (Moderate-hazard) \_\_\_\_\_ sq ft
- Storage Group S-2 (Low-hazard) \_\_\_\_\_ sq ft
- Business Group B \_\_\_\_\_ sq ft
- High-Hazard Group H\* 62,160 sq ft
- Other \_\_\_\_\_ sq ft
- Other \_\_\_\_\_ sq ft

*\*If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

**PUBLIC SERVICES:**

1. Is the property serviced by Public Sanitary Sewer?  YES  NO
  - If no, the closest public sewer is located at \_\_\_\_\_
2. Is the property serviced by Public Water?  YES  NO
  - If no, the closest public water is located at \_\_\_\_\_
3. Maximum number of gallons/minute of water expected to be used per day is: \_\_\_\_\_

**THIS APPLICATION IS FOR A: (check one)**

- Preliminary Site and Operational Plan: An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan
- Amendment to an existing Site and Operational Plan
  - Date of initial site and operational plan approval: MARCH 24, 2011
  - Date of each approved amendment: \_\_\_\_\_

**SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE**

- Are there any existing buildings on the site?  YES  NO
- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
  - If no, what is the current use of the property? \_\_\_\_\_

### SECTION 3: PHOTOGRAPHS

**Standard-sized photographs** (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

### SECTION 4: CONDITIONAL USE

1. Does the proposed project require a Conditional Use Permit?  YES  NO
  - If no then skip to Section 5.
  - If yes, then continue with this Section.
2. Are you amending an existing Conditional Use Permit?  YES  NO
  - If yes, provide a copy of the Conditional Use Grant Document you are proposing to amend.
  - If no, continue with this Section.
3. If you answered YES to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

### SECTION 5: NON-CONFORMING USE

1. Is any use on the site a nonconforming use?  YES  NO
  - If no, then skip to Section 7.
  - If yes, then continue with this section.
2. If you answered YES to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

## SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

## SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "*Plan Components and Related Standards*" in Section 420-57 of the Village Zoning Ordinance.**

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

**SECTION 8: SIGNATURES**

I,(We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

**PROPERTY OWNER:**

Name: EDWARD POLEN  
 (Please Print)  
 Signature: *[Signature]*  
 Address: 8601 95<sup>th</sup> Street  
PLEASANT PRAIRIE WI 53158  
 (City) (State) (Zip)  
 Phone: 262-427-0400  
 Fax: \_\_\_\_\_  
 E-mail: \_\_\_\_\_  
 Date 4-21-16

**APPLICANT:**

Name: B. J KORMAN  
 (Please Print)  
 Signature: *[Signature]*  
 Address: 8601 95<sup>th</sup> Street  
PLEASANT PRAIRIE WI 53158  
 (City) (State) (Zip)  
 Phone: 847-421-9256  
 Fax: \_\_\_\_\_  
 E-mail: BJKORMAN@EMCOCH6M.COM  
 Date: 4-21-16

Is the applicant the owner of the property?  YES  NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

**DEVELOPER (if Applicable)**

Name: \_\_\_\_\_  
 (Please Print)  
 Signature: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 \_\_\_\_\_  
 (City) (State) (Zip)  
 Phone: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 E-mail: \_\_\_\_\_  
 Date \_\_\_\_\_

**USER OR OCCUPANT OF SITE:**

Name: \_\_\_\_\_  
 (Please Print)  
 Signature: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 \_\_\_\_\_  
 (City) (State) (Zip)  
 Phone: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 E-mail: \_\_\_\_\_  
 Date \_\_\_\_\_

**EMCO Chemical Distributors, Inc.**

**Business Narrative – April 21, 2016**

**PROPOSED ADDITION – 8601 95<sup>th</sup> Street**

**General Business Overview**

EMCO Chemical Distributors was founded in 1971 by Edward Polen, our president, as a Chicago area and Wisconsin chemical distributor. Today, as the company has grown, we now service customers in the greater Midwest including Wisconsin, Minnesota, Michigan, Ohio, Indiana, Kentucky, Missouri, Iowa and Illinois. We have sales representatives domiciled in the majority of these states, as well as Tennessee. Currently, we operate with 6 divisions supported by three manufacturing facilities, two distribution facilities, a waste consolidation facility located in Kenosha as well as utilizing both EMCO owned and third party warehouses. EMCO currently employs over 425 permanent and temporary personnel to operate these facilities.

Our company is structured so that we are not only a valuable supplier to our customers, but also an important citizen in the communities in which we operate. As such, we have department heads who oversee our EHS, Regulatory, Engineering and Human Resources groups. Our staff works with federal, state and local authorities to insure that we are in full compliance with all regulations, as well as continually evaluating the operations of our business for potential improvements.

To describe our business, we use the analogy that a chemical distributor is basically a grocery store for the industrial chemical market place. Our commitment is to stock or make to order the items our customers require and then to deliver just-in-time, the next day.

The operations of our industrial distribution division consist of receiving chemicals in bulk (typically via railcar or tanker truck), unloading chemicals into dedicated storage tanks, repackaging these chemicals into smaller containers, storing and finally distributing to our customers. Part of the distribution process also includes blending the above chemicals to meet a customer's requirements and then packaging these blends into desired containers. These blends include both solvent-based and water-based formulas.

EMCO also buys a multitude of items in pre-packaged drums, bags, pails and other various containers. These items are unloaded and stored at the facility in appropriate storage areas and conditions until required for shipment to a customer. A copy of the layout and design of the facility is included with this overview.

## **The Proposed Project**

EMCO opened the Pleasant Prairie facility on July 13, 2011 and fortunately has continued to grow. EMCO is proposing to expand its warehouse with a 62,160 sq. ft. addition on the north side of the current building. The addition will be strictly for warehousing products and will not include any manufacturing. New docks will be added to allow for less traffic on site. The new addition will house the same types of materials as the existing warehouses with similar operations such as storing and loading. Truck traffic and deliveries to the site will not be increased by this addition

The High Hazard products that will be stored in the proposed addition will be the same products we currently warehouse in the existing building. The SDS literature has previously been submitted to the Pleasant Prairie Fire Department.

The project also will include a free standing guard shack on the exterior of the fence line. This guard shack is critical in meeting security requirements set forth by the Department of Homeland Security. It also will allow EMCO to inspect and register deliveries prior to entering the perimeter fences.

Along with this project, EMCO will “loop” water for the incoming fire system and install additional fire hydrants as discussed at a meeting with the Pleasant Prairie Fire Department. In addition, a small service road will be added on the North side of the building.

**Attachment 1 details the existing building and the proposed guard shack**

**Attachment #2 Details the existing building and proposed addition.**

*(a) Gross floor area of the existing building(s) and/or proposed addition*

**259,580 SF – Existing**

**6062,160 SF Proposed**

*(b) Anticipated hours of operation, hours open to the public, and hours of deliveries or shipments.*

**EMCO anticipates operating approximately 24 hours a day Monday through Friday, with a majority of the operations taking place from 6 am to 6 pm.**

**This addition will not impact this area.**

*(c) Anticipated startup and total number of full- and part-time employee*

**This addition will not impact this area.**

*(d) Anticipated number of shifts and the anticipated number of employees per shift.*

**2 production shifts with approximately 20 employees each and 3 shipping and receiving shifts with approximately 8 employees each. Office personnel will work 8 am to 5:30 pm with approximately 45 employees. – This addition will not impact the current shifts**

*(e) Anticipated maximum number of employees on site at any time of the day.*

**115 employees**

*Number of anticipated students, participants or persons to be gathered in places of assembly, if applicable.*

**Not Applicable**

*(f) Number of parking spaces required per this chapter and the method used to calculate such number.*

**225 + parking spots are currently available and EMCO currently does not plan on any parking lot expansion.**

**This addition will not impact this area.**

*(g) Number of existing and proposed on-site parking spaces to be provided (conventional spaces and handicapped spaces to be stated separately).*

**225 + parking spots are currently available – With 4 handicapped spots**

**This addition will not impact this area.**

*(h) Anticipated daily average and maximum potential number of automobile trips to and from the site (excluding trucks).*

**Anticipated average is 250 (100 employees making 2.5 trips per day) – This addition will not impact this area.**

(i) *Anticipated daily average and maximum potential number of truck trips to and from the site.*

**Anticipated average is 50-60 per day - This addition will not impact this area.**

(j) *Types of goods and materials to be made, used or stored on site.*

**Liquid and dry chemicals This addition will not impact this area.**

(k) *Types of equipment or machinery to be used on site.*

**Pumps, tanks, filling machines, forklifts, rail yard engines, snow removal equipment, landscaping equipment, various lab testing equipment and general maintenance equipment – The addition will not impact this group**

(l) *Types of solid or liquid waste materials which will require disposal.*

**Various hazardous and non-hazardous liquid waste**

**This addition will not impact this area.**

(m) *Method of handling, storing and disposing of solid or liquid waste materials.*

**Waste is collected, logged and stored in satellite and regular waste accumulation areas per regulations. Waste is then disposed of through authorized vendors through our Waste Services Division in Kenosha. This addition will not impact this area.**

(n) *Methods of providing site and building security other than the Village Police Department.*

**We will maintain a locked facility with perimeter fencing. Access to the facility is gated and controlled. We will utilize security personnel as needed. Security includes video surveillance of facility.**

(o) *Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well cared for and attractive condition.*

***We have a Maintenance and Engineering department assigned to maintain the building, parking and landscaping This addition will not impact this area.***

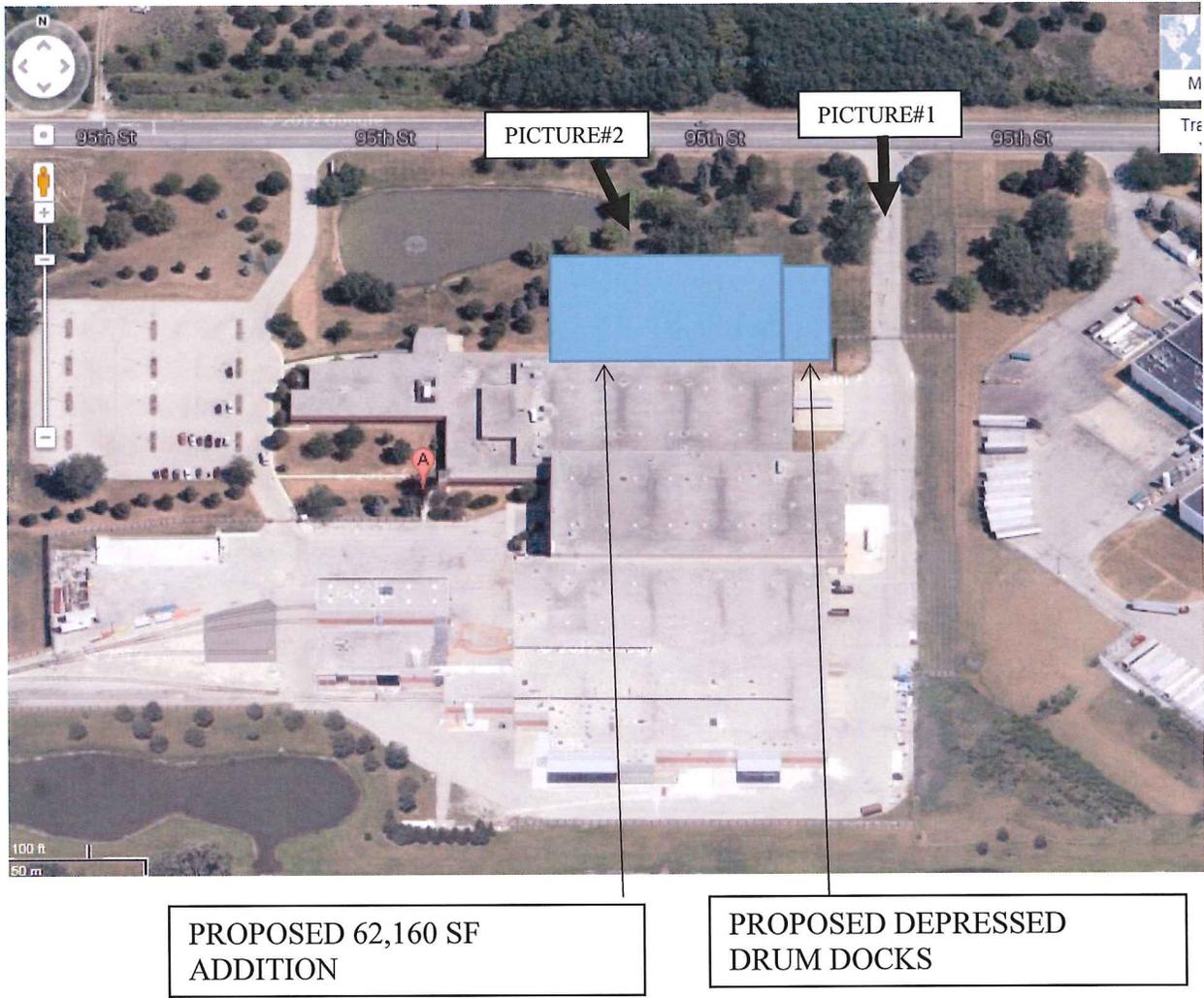
(p) *Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts.*

**None anticipated**

(q) *A list of all local, county, state and federal permits or approvals required for the project or activity giving rise to the need for site and operational plan approval and copies of such permits and approvals that have been obtained.*

**We believe the following are required. If others permits/approvals are required, they would be obtained.**

**Building Permits, Occupancy Permits, & Fire Department Approval/Occupancy.**

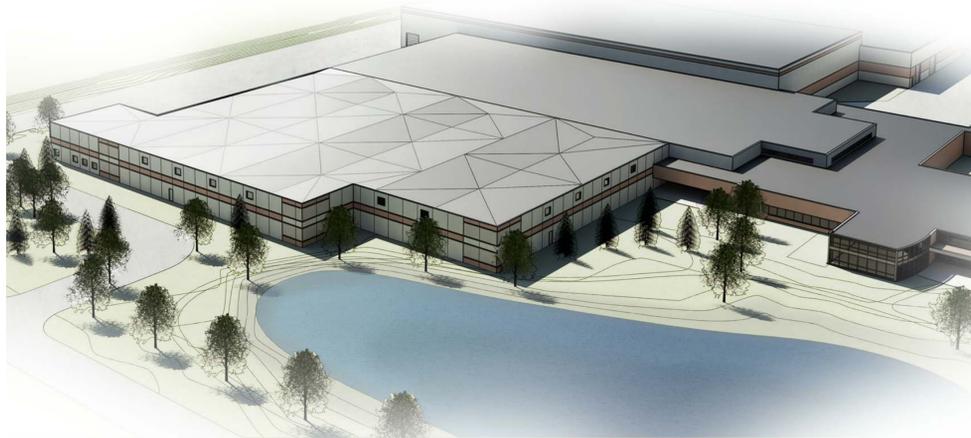




PICTURE#1 - Looking South from 95<sup>th</sup> street at existing & proposed truck entrance.



PICTURE#2 - Looking South East from 95<sup>th</sup> street.



### CODE ANALYSIS

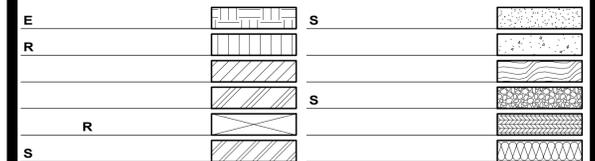
SE T	RE R S
307.5	OCCUPANCY CLASS = H-3 - HIGH HAZARD GROUP
502.1	NUMBER OF STORIES = 1
503.1	TABULAR ALLOWABLE AREA (H-3) = 60,000 S.F.
505.2	MEZZANINE MEETS AREA LIMITATION
506.1	MODIFIED ALLOWABLE AREA = 79,444 S.F.
506.2	FRONTAGE AREA INCREASE = 32%
	ACTUAL AREA = 62,160 S.F. < 79,444 S.F.
508.3	NON-SEPARATED MIXED OCCUPANCIES WITHIN BUILDING
602.1	CONSTRUCTION CLASS = TYPE IB NOTE: TYPE IB CONSTRUCTION PER TABLE 601 INCLUDES 1 HOUR PRIMARY FRAME (ROOF SUPPORT ONLY), 2 HOUR BEARING WALLS, AND 1 HOUR ROOF CONSTRUCTION AND SECONDARY MEMBERS. A PETITION FOR VARIANCE IS BEING SOUGHT TO REDUCE CONSTRUCTION TO TYPE IIB IN EXCHANGE FOR ENHANCED FIRE PROTECTION SYSTEMS AS CONDITIONALLY SUPPORTED BY THE PLEASANT PRAIRIE FIRE AND RESCUE DEPARTMENT.
602.1	FIRE SEPARATION DISTANCE = >30' -- EXTERIOR WALLS = 0 HOUR
705.8	FIRE SEPARATION DISTANCE = >30' -- OPENINGS UNPROTECTED
706.1	FIRE WALL SEPARATES EXISTING BUILDING FROM ADDITION RATING PER TABLE 706.4 = 3 HOURS
706.8	OPENINGS DO NOT EXCEED 156 S.F. OR 25% OF THE LENGTH
715.4	3 HOUR DOORS AT THREE-HOUR FIRE WALL
721.3	EXISTING PANELS @ FIRE WALL = EQUIVALENT THICKNESS = 7.375" WHICH EXCEEDS WORST CASE IN TABLE 721.3.2 OF 6.2"

SE T	RE R S
903.2.5	GROUP H OCCUPANCY REQUIRES AN AUTOMATIC SPRINKLER SYSTEM.
906.3	FIRE EXTINGUISHER DISTRIBUTION - EVERY 11,250 S.F. 75 FOOT TRAVEL DISTANCE
1004.1	OCCUPANT LOAD PER TABLE 1004.1.1 - SEE PLANS WAREHOUSE = 500 S.F. / OCCUPANT (GROSS) OFFICE = 100 S.F. / OCCUPANT (GROSS) ACCESSORY STORAGE = 300 S.F. / OCCUPANT (GROSS)
1005.1	EGRESS WIDTH (REQUIRED / PROVIDED) = WAREHOUSE = 23' / 180" OFFICE = 5' / 36" MEZZANINE STAIRS = 3' / 36" BUILDING DOORS = 30' / 180"
1008.1.2	DOORS SWING IN DIRECTION OF EGRESS @ ROOM 101 & 102
1008.1.10	PANIC HARDWARE IS REQUIRED AT WAREHOUSE EGRESS DOORS
1014.3	COMMON PATH OF TRAVEL = 25'
1015.1	TWO EXITS ARE PROVIDED AS REQUIRED.
1015.2.1	EXITS ARE SEPARATED BY A DISTANCE > 1/2 DIAGONAL DIMENSION.
1016.1	EXIT TRAVEL DISTANCE LIMIT - SEE PLAN 150' @ OCCUPANCY GROUP H-3 300' @ OCCUPANCY GROUP B
2902.1	PLUMBING FIXTURE COUNTS: WATER CLOSETS (M) - REQUIRED = 1 PROVIDED = 1 WATER CLOSETS (F) - REQUIRED = 1 PROVIDED = 1 LAVATORIES - REQUIRED = 2 PROVIDED = 2 DRINKING FOUNTAIN - REQUIRED = 1 PROVIDED = 2 SERVICE SINK - REQUIRED = 1 PROVIDED = 1

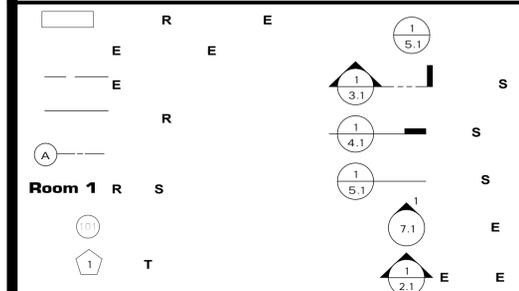
### GENERAL NOTES

5 S  
9 E S S  
T T E  
T T  
S

### MATERIAL INDICATIONS



### DRAWING LEGEND



### CONSULTANTS

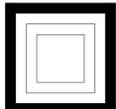
ARCHITECT	(262) 857-8101 Engineer of Record - John F. Schmidbauer, PE	10505 Corporate Drive, Suite 100 Pleasant Prairie, Wisconsin 53158
CIVIL	(262) 634-5588 Engineer of Record - Mark D. Eberle, PE	1458 Horizon Boulevard, Suite 200 Racine, Wisconsin 53406
PLUMBING	(262) 818-4409 Designer of Record - Robert F. Novak, CPD	1343 South 27th Street Caledonia, Wisconsin 53108
HVAC	(262) 784-3323 Engineer of Record - David B. Kornacki, PE	5420 S. Westridge Drive New Berlin, Wisconsin 53151

### SHEET INDEX

1.0	Title Sheet	4.4	Wall Sections
CIVIL		5.1	Building Details
1	ALTA Land Title Survey	6.1	Schedules and Details
C-1	Civil Title Sheet	7.1	Interior Elevations & Details
C-2	Existing Conditions (N)	9.1	Foundation Plan
C-3	Dimensioned Site Plan (N)	9.2	Mezzanine Framing Plan
C-4	Site Demolition Plan (N)	9.3	Roof Framing Plan
C-5	Site Grading & Erosion Control Plan (N)	PLUMBING	
C-6	Pavement Grading Plan (N)	P1	Partial Floor Plans - Addition
C-7	Site Storm Sewer Plan (N)	P2	Overall Floor Plan - Addition
C-8	Existing Conditions (S)	P3	Partial Floor Plan - Existing
C-9	Dimensioned Site Plan (S)	HVAC	
C-10	Site Demolition Plan (S)	M.1	HVAC Floor Plan
C-11	Site Grading & Erosion Control Plan (S)	M.2	HVAC Office Plan
C-12	Pavement Grading Plan (S)	M.3	HVAC Roof Plan
C-13	Typical Sections & Details	M.4	HVAC Schedules
C-14	Typical Sections & Details	ELECTRICAL	
C-15	Typical Sections & Details	E1.1	Electrical Site Plan
ARCHITECTURAL		E1.2	Photometric Site Plan
2.1	Floor Plan	E2.1	Warehouse Lighting Plan
2.2	Enlarged Floor Plans	E2.1A	Warehouse Photometric (Fluorescent)
2.3	Roof Plan	E2.1B	Warehouse Photometric (LED)
2.4	Exterior Elevations	E2.2	Warehouse TM Photometric
2.5	Storage Plan	E2.3	Warehouse Power Plan
2.6	Tanker Parking Plan	E2.4	Mezzanine Lighting & Power
3.1	Building Sections	E3.1	Schedules and Details
4.1	Wall Sections	E3.2	Schedules and ComCheck
4.2	Wall Sections		
4.3	Wall Sections		

# Warehouse Addition EMCO Chemical

8601 95th Street,  
Pleasant Prairie, WI 53158



**KUENY ARCHITECTS, LLC**

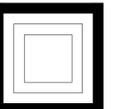
10505 CORPORATE DRIVE - SUITE 100 PLEASANT PRAIRIE, WI 53158

PHONE (262) 857-8101 FAX (262) 857 8103

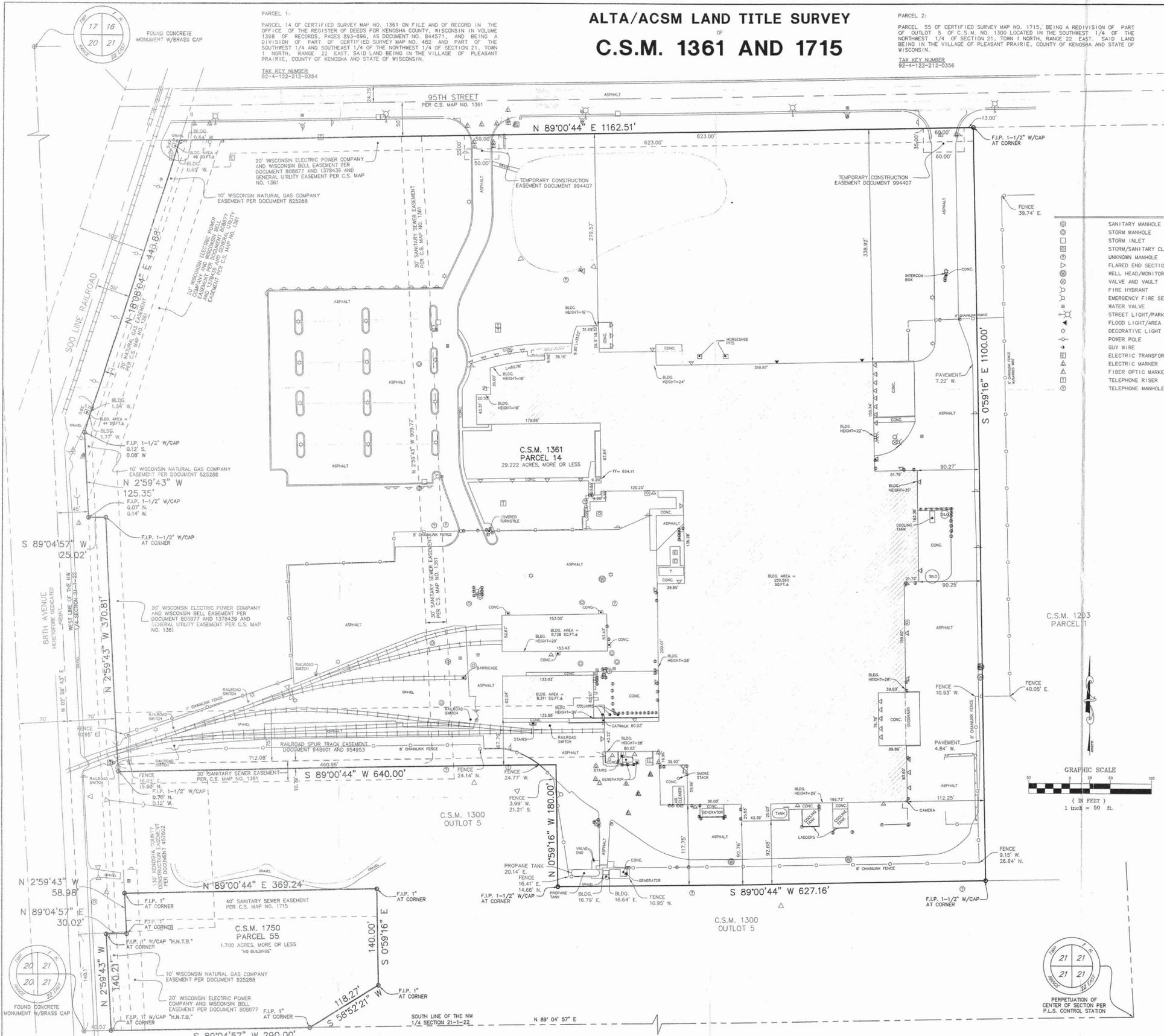
EMCO Chemical  
Warehouse Addition

April 20, 2016

1.0



# ALTA/ACSM LAND TITLE SURVEY OF C.S.M. 1361 AND 1715



**LEGEND**  
NO SCALE

△	TELEPHONE MARKER
□	CABLE TV RISER/BOX
○	GAS MAIN MARKER
+	STREET SIGN
⊙	FLAG POLE
●	BOLLARD
⊙	POST
○	IRON PIPE
○	FOUND IRON PIPE
○	F.I.P.
○	CENTER LINE
---	BOUNDARY LINE
---	EXISTING EASEMENT LINE
---	SECTION LINE
---	EXISTING RIGHT-OF-WAY LINE
---	EXISTING LOT LINE
---	STORM
---	WATER LINE
---	CHAIN LINK FENCE
---	GUARD RAIL
---	RAILROAD TRACKS

- NOTES:**
- THE BEARINGS SHOWN ON THIS PLAT ARE BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.
  - COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCES AT ONCE.
  - NO STATEMENT IS MADE CONCERNING SUBSURFACE CONDITIONS, THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
  - THE UNDERGROUND, SURFACE AND OVERHEAD UTILITIES HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND, SURFACE AND OVERHEAD UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO CLAIM TO SPECIFIC KNOWLEDGE REGARDING THE USAGE OR TYPE OF OVERHEAD WIRING SHOWN HEREON.
  - ALL UNDERGROUND UTILITIES SHOULD BE MARKED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION BY CALLING THE DIGGER HOTLINE AT 811 OR (800) 242-8511.
  - ENVIRONMENTAL AND SUBSURFACE CONDITIONS WERE NOT EXAMINED AS PART OF THIS SURVEY.
  - FOR SETBACK LINES, EASEMENTS AND BUILDING RESTRICTIONS NOT SHOWN HEREON, REFER TO YOUR ABSTRACT, DEED AND GUARANTEE POLICY AND LOCAL ORDINANCES.
  - THE LAND DESCRIBED IN THE LEGAL DESCRIPTION IS IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN) ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 550613 0010 B WITH AN EFFECTIVE DATE OF DECEMBER 5, 1996.
  - COMMITMENT FOR TITLE INSURANCE BY CHICAGO TITLE INSURANCE COMPANY NBU NUMBER 20901374 WITH AN EFFECTIVE DATE OF SEPTEMBER 9, 2009 WAS USED IN THE PREPARATION OF THIS SURVEY.
  - THE PLATTED LAND (PARCEL 1) MAY BE SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN PROTECTIVE COVENANTS RECORDED AS DOCUMENT NO. 851281 (SCHEDULE B - SECTION 2, EXCEPTION "11" OF THE TITLE COMMITMENT REFERENCED IN NOTE 9).
  - THE PLATTED LAND (PARCEL 2) MAY BE SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN DECLARATION OF DEVELOPMENT STANDARDS AND PROTECTIVE COVENANTS RECORDED AS DOCUMENT NO. 845662 (SCHEDULE B - SECTION 2, EXCEPTION "25" OF THE TITLE COMMITMENT REFERENCED IN NOTE 9) AND THE MODIFICATION THEREOF RECORDED AS DOCUMENT 864218 (SCHEDULE B - SECTION 2, EXCEPTION "30" OF THE TITLE COMMITMENT REFERENCED IN NOTE 9).
  - WITH REGARD TO SCHEDULE B - SECTION 2, EXCEPTION "27" OF THE TITLE COMMITMENT REFERENCED IN NOTE 9, THE WISCONSIN NATURAL GAS COMPANY EASEMENT RECORDED AS DOCUMENT NO. 822298 IS INDICATED AS A 10 FOOT EASEMENT EAST OF AND ADJACENT TO A CONSISTENT WIDTH C.T.H. H. C.T.H. IS NOT CURRENTLY A CONSISTENT WIDTH. THE SURVEYOR BELIEVES THIS EASEMENT IS SHOWN AS INTENDED.
  - SCHEDULE B - SECTION 2, EXCEPTIONS "15 THROUGH 24, 31 AND 32" OF THE TITLE COMMITMENT REFERENCED IN NOTE 9 ARE VARIOUS CONDITIONAL USE PERMITS AND ARE NOT SURVEY MATTERS.
  - ALL EASEMENTS DESCRIBED IN SCHEDULE B - SECTION 2 OF THE TITLE COMMITMENT REFERENCED IN NOTE 9 ARE SHOWN HEREON AND DESCRIBED BY DOCUMENT NUMBER.
  - DUE TO PAINT STRIPING BEING WORN OFF, AN ACCURATE PARKING STALL COUNT CANNOT BE DETERMINED.
  - SURVEY IS BASED ON FIELD OBSERVATIONS MADE ON 03/18/09 AND 09/23/09.
  - SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL EMBOSSED SEAL OF SURVEYOR OF RECORD.
  - ALL AREAS ARE MORE OR LESS.

**SURVEYOR'S CERTIFICATE**

STATE OF ILLINOIS) SS  
COUNTY OF DU PAGE) SS

TO:  
HEXION SPECIALTY CHEMICALS, INC.,  
EMCO CHEMICAL DISTRIBUTORS, INC.,  
CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 1, 2, 3, 5, 7A, 7B1, 7B2, 8, 9, 10 AND 11A OF TABLE A THEREOF PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION AS LAND SURVEYOR REGISTERED IN THE STATE OF ILLINOIS, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

GIVEN UNDER MY HAND AND SEAL AT ITASCA, ILLINOIS, THIS 28TH DAY OF SEPTEMBER, A.D., 2009.

*Timothy W. Ledner*  
TIMOTHY W. LEDNER  
REGISTERED LAND SURVEYOR NO. 52625  
COWHEY GUDMUNDSON LEDER, LTD. PROFESSIONAL DESIGN FIRM NUMBER: 184-001076. ALL REGISTERED WISCONSIN LAND SURVEYOR LICENSES EXPIRE JANUARY 31, 2010.

PREPARED FOR:  
HEXION SPECIALTY CHEMICALS, INC.  
1800 MEADOWCROFT TOWER  
LOUISVILLE, KY 40202

TOTAL AREA OF TRACT SURVEYED 1,346,997 SQ. FT. OR 30.922 ACRES, MORE OR LESS

**COWHEY GUDMUNDSON LEDER, LTD.**  
CONSULTING ENGINEERS • LAND SURVEYORS • NATURAL RESOURCES

300 PARK BOULEVARD  
ITASCA, ILLINOIS 60143  
(630) 250-9595

212 WEST KINZIE  
CHICAGO, ILLINOIS 60654  
(312) 755-9595

REVISIONS	

**C.S.M. 1361 AND 1715**  
PLEASANT PRAIRIE, WISCONSIN

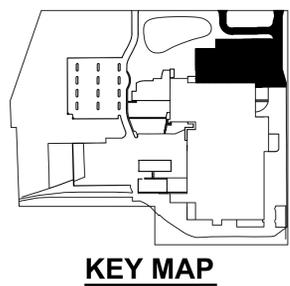
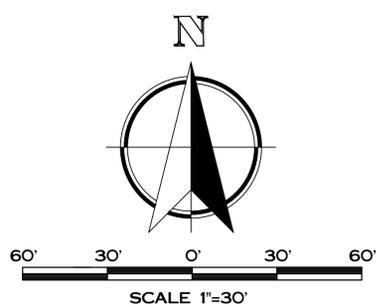
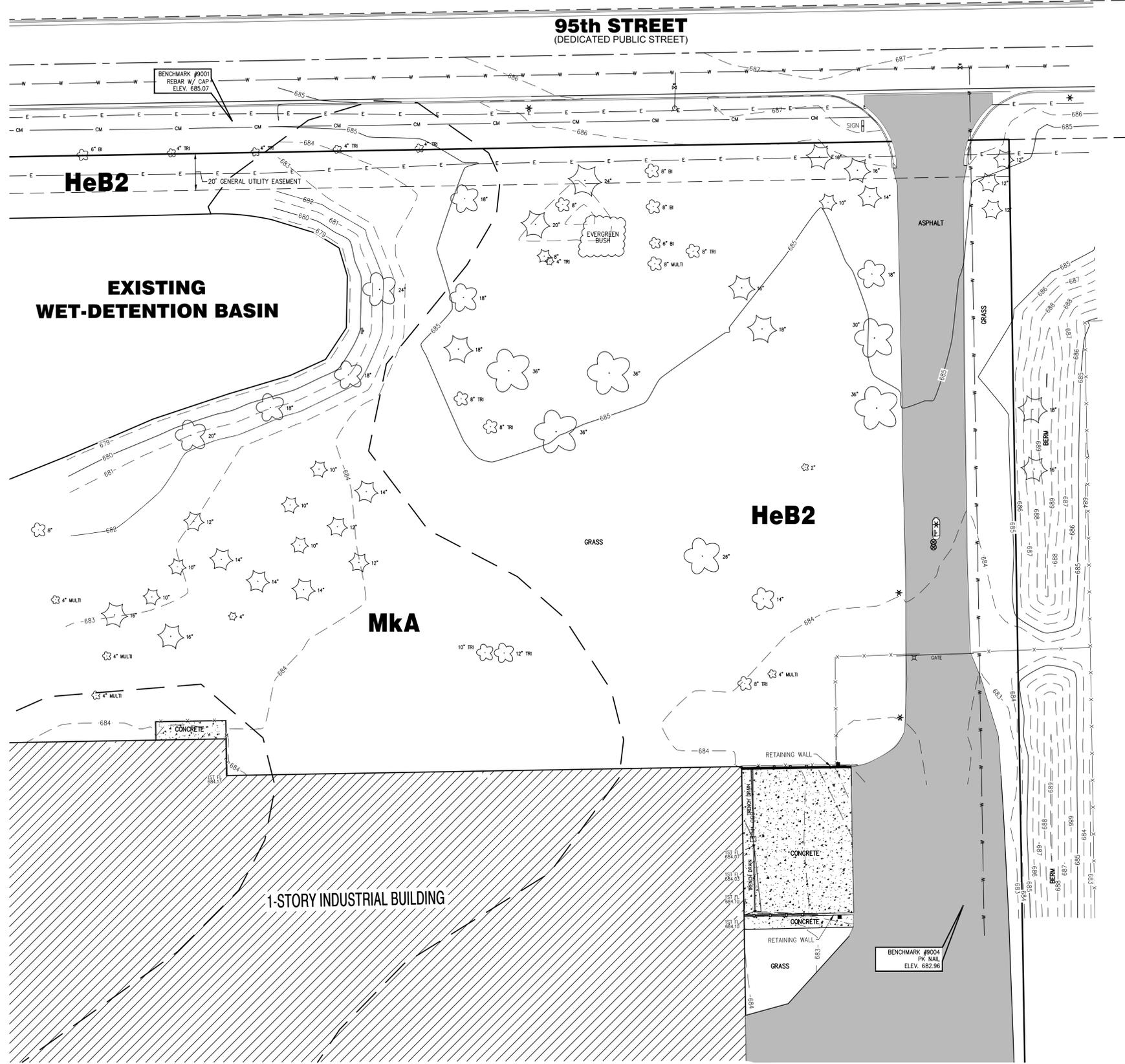
<b>ALTA/ACSM LAND TITLE SURVEY</b>	
PROJECT NO. 4044.00	SHEET 1
DATE 09/23/09	1
SCALE 1"=50'	1
DESIGNED BY	1
DRAWN BY MJG	1
CHECKED BY RJS	1

ALTA/ACSM LAND TITLE SURVEY OF C.S.M. 1361 AND 1715

DO NOT SCALE



Friday, April 22, 2016 10:06:12 AM



**BENCH MARKS**

- 9001 REBAR WITH CAP SET 8' S OF BACK OF CURB AND 162' W OF EXISTING ELECTRICAL POLE  
ELEVATION: 685.07
- 9004 PK NAIL SET 24.4' WEST OF EDGE OF PAVEMENT AND 136.6' S OF EXISTING FENCE.  
ELEVATION: 682.96

**UTILITY NOTE**

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ALL ELEVATIONS REFER TO NATIONAL GEODETIC DATUM OF 1929.

- LEGEND:**
- CATCH BASIN
  - HYDRANT
  - ⊗ WATER VALVE
  - ⊕ ELECTRIC PEDESTAL
  - E— ELECTRIC LINE
  - ELECTRIC OUTLET
  - HAND RAIL
  - ⊙ GUARD POST
  - DECIDUOUS TREE
  - ⊗ CONIFEROUS TREE
  - G— GAS MAIN
  - CM— COMMUNICATION LINE
  - ⊐ SIGN
  - ⊕ LIGHT POLE
  - X— FENCE
  - MKA SOIL CLASSIFICATION



**Nielsen Madsen & Barber S.C.**  
Civil Engineers and Land Surveyors  
1458 Horizon Blvd., Suite 200, Racine, WI. 53406  
Tele: (262)634-5588 Fax: (262)634-5024  
Website www.nmbssc.net

**EMCO CHEMICAL DISTRIBUTORS**  
**EXISTING CONDITIONS TOPOGRAPHIC SURVEY WAREHOUSE ADDITION**  
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

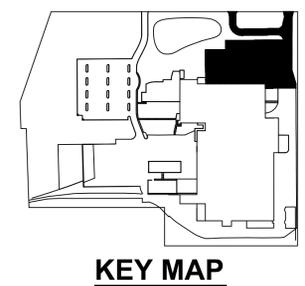
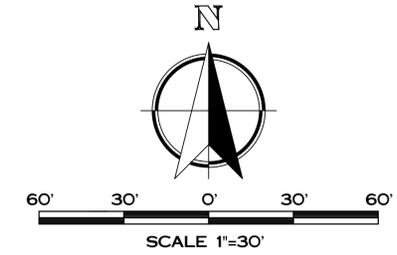
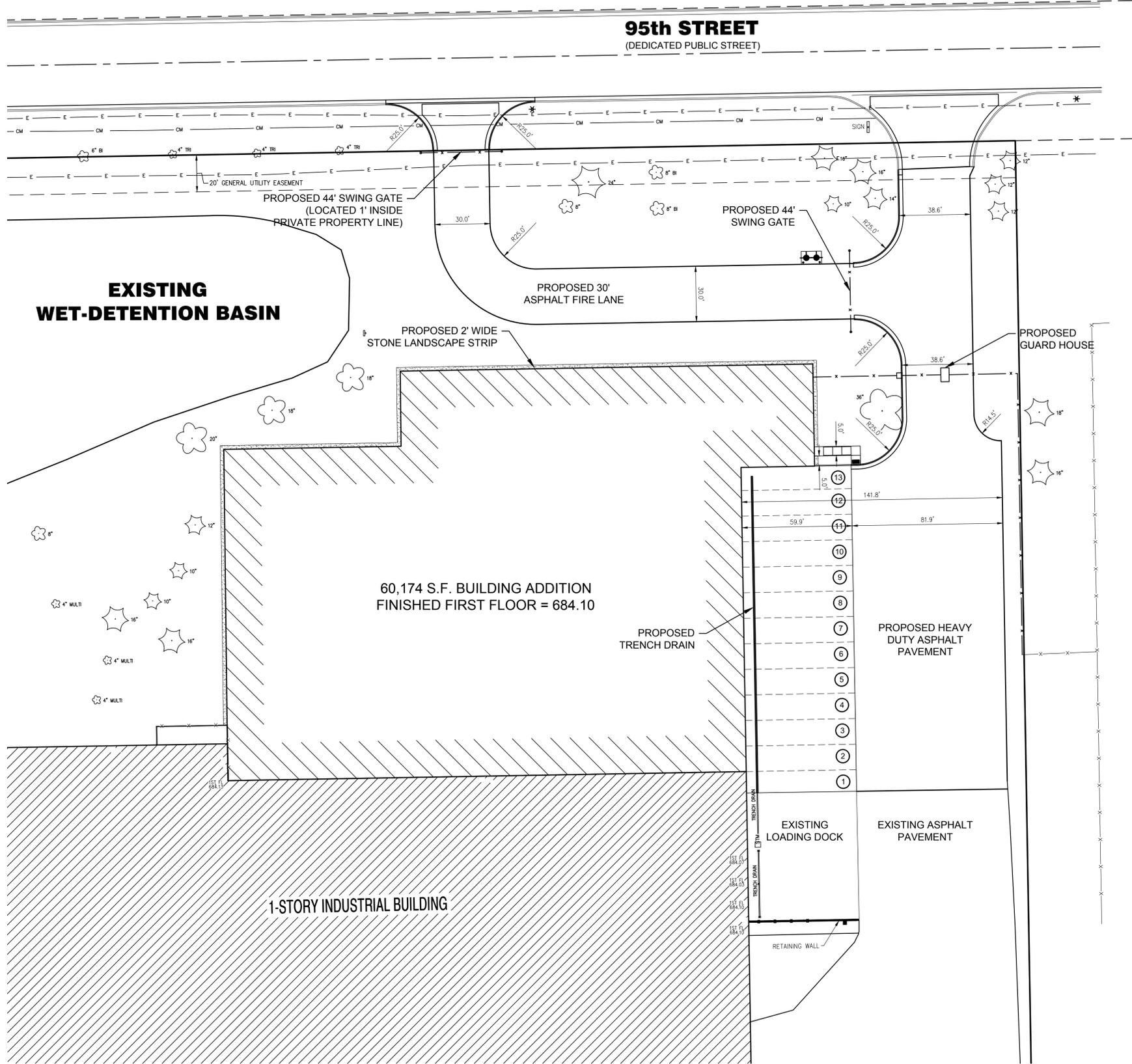
NO.	REVISION	BY	DATE

PROJ. MGR: MDE  
DRAFTED: NDB  
DATE: 3-25-2016  
CHECKED: MDE  
DATE: 3-25-2016

2016.0008.01  
SHEET  
**C-2**

**ISSUE FOR PERMITS - 4-20-16**

Friday, April 22, 2016 10:06:17 AM



**WAREHOUSE ADDITION DATA**

<b>TAX PARCEL NUMBER:</b>	92-4-122-212-0354
<b>ZONING CLASSIFICATION:</b>	M-2
<b>EXISTING LAND USE:</b>	MANUFACTURING
<b>BUILDING USE:</b>	MANUFACTURING FACILITY
<b>BUILDING ADDRESS:</b>	8601 95TH STREET
<b>PROPOSED IMPERVIOUS SURFACE (WITHIN LIMITS OF DISTURBANCE)</b>	
<b>PROPOSED BUILDING/ENCLOSURE</b>	60,174 S.F.
<b>PROPOSED CONCRETE</b>	10,376 S.F.
<b>PROPOSED ASPHALT</b>	30,371 S.F.
<b>TOTAL ADDED IMPERVIOUS SURFACE AREA</b>	88,260 S.F. = 2.03 AC
<b>TOTAL PARCEL AREA</b>	1,272,915 S.F. = 29.22 AC
<b>TOTAL DISTURBED AREA</b>	128,864 S.F. = 2.96 AC
<b>LANDOWNER:</b>	EMCO CHEMICAL DISTRIBUTORS, LLC 8601 95TH STREET PLEASANT PRAIRIE, WI 53158 262-427-0400
<b>SURVEYOR/CIVIL ENGINEER:</b>	NIELSEN, MADSEN & BARBER, S.C. 1458 HORIZON BOULEVARD, SUITE 200 RACINE, WI 53406 262-634-5588

**UTILITY NOTE**

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ALL ELEVATIONS REFER TO NATIONAL GEODETIC DATUM OF 1929.

**LEGEND:**

□ CATCH BASIN	○ DECIDUOUS TREE
○ HYDRANT	○ CONIFEROUS TREE
⊕ WATER VALVE	— G GAS MAIN
⊕ ELECTRIC PEDESTAL	— CM COMMUNICATION LINE
— E ELECTRIC LINE	⊕ SIGN
■ ELECTRIC OUTLET	⊕ LIGHT POLE
— □ HAND RAIL	— X FENCE
⊙ GUARD POST	⊕ SOIL CLASSIFICATION
	① LOADING DOCK SPOT



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Website www.nmbcsc.net

**EMCO CHEMICAL DISTRIBUTORS**  
**DIMENSIONED SITE PLAN**  
**WAREHOUSE ADDITION**  
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

NO.	REVISION	BY	DATE

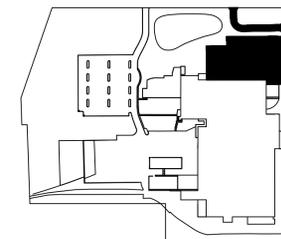
PROJ. MGR: \_\_\_\_\_ MDE  
DRAFTED: \_\_\_\_\_ NDB  
DATE: 3-25-2016  
CHECKED: \_\_\_\_\_ MDE  
DATE: 3-25-2016

2016.0008.01  
SHEET  
**C-3**

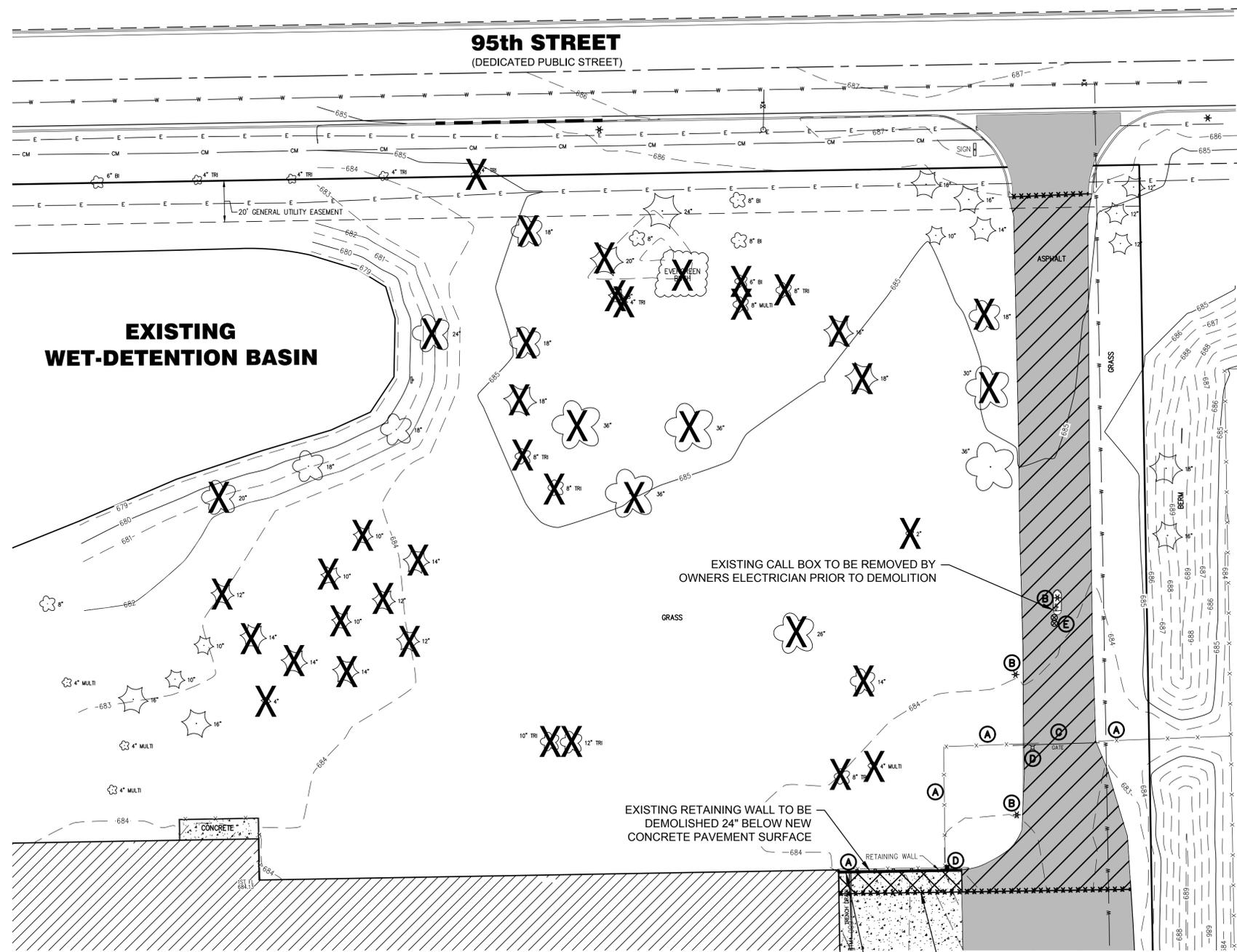
**ISSUE FOR PERMITS - 4-20-16**



60' 30' 0' 30' 60'  
SCALE 1"=30'



KEY MAP



**DEMOLITION NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL AT A LOCATION APPROVED (BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PAVEMENTS, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERGUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLY COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION, SITE CLEARING, AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE LAND SURVEYOR AND ENGINEER OF RECORD ASSUME NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO MODIFICATION OF THE BUILDINGS.
6. ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CALL DIGGERS HOTLINE AT 1-800-242-8511 A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION ACTIVITIES TO LOCATE AND MARK ALL UNDERGROUND UTILITIES.
9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE AND MARK ALL UNDERGROUND PRIVATE UTILITIES.
10. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH SIGNS, FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. TEMPORARY CLOSURE OF ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION.
11. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING THE COURSE OF WORK.
12. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
13. EXISTING ITEMS TO REMAIN INCLUDING, BUT NOT LIMITED TO, FENCES, SIGNS, UTILITIES, BUILDINGS, TREES, PAVEMENTS AND LIGHT POLES SHALL BE CAREFULLY PROTECTED DURING THE DEMOLITION PROCESS. ANY DAMAGE SUSTAINED TO ITEMS TO REMAIN IN PLACE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE DISTRICT.
14. PROPERTY CORNERS AND BENCHMARKS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE DISTRICT.
15. CONTRACTOR SHALL LIMIT PAVEMENT REMOVALS TO ONLY THOSE AREAS WHERE IT IS NECESSARY AS SHOWN ON THESE CONSTRUCTION PLANS. CONCRETE SIDEWALK AND GUTTER IS TO BE REMOVED TO NEAREST JOINT IN ORDER TO ACCOMMODATE PROPOSED IMPROVEMENTS. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENTS AND OR OTHER IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPAIR OF DAMAGED PAVEMENT AND OTHER ITEMS AT NO ADDITIONAL COST TO THE DISTRICT.
  - A. INTEGRAL CONCRETE / CURB ON 39TH AVENUE WHICH REQUIRES MODIFICATION TO ACCOMMODATE DEMOLITION OR CONSTRUCTION OF NEW DRIVEWAY APPLICATIONS SHALL BE SAW CUT 30" WEST OF THE BACK OF CURB FOR THE ENTIRE LENGTH OF THE DRIVE.
16. IF PREVIOUSLY UNIDENTIFIED HAZARDOUS, CONTAMINATED MATERIALS, OR OTHER ENVIRONMENTAL RELATED CONDITIONS ARE DISCOVERED, STOP WORK IMMEDIATELY AND NOTIFY THE PROJECT CONSTRUCTION MANAGER FOR ACTION TO BE TAKEN. DO NOT RESUME WORK UNTIL SPECIFICALLY AUTHORIZED BY THE CONSTRUCTION MANAGER.
17. EXISTING ASPHALT PAVEMENT AND BASE SHOWN TO BE "PULVERIZED AND SALVAGED FOR RE-USE" SHALL MEET THE GRADATION REQUIREMENTS OF SECTION 325.3 OF THE STATE SPECIFICATIONS.
  - A. MATERIAL SHALL BE CONTINUOUSLY PULVERIZED UNTIL 97% OR MORE WILL PASS THE 2" SIEVE.
  - B. THE PULVERIZING OPERATION SHALL INCORPORATE AS MUCH OF THE UNDERLYING AGGREGATE BASE AS POSSIBLE WITHOUT INCORPORATING ANY OF THE SUB-GRADE.
  - C. PULVERIZED ASPHALT PAVEMENT CAN BE USED AS AGGREGATE BASE COURSE BENEATH NEW CONCRETE PAVEMENT AND AN BE MOVED FROM ONE SITE TO ANOTHER IF ECONOMICALLY FEASIBLE TO DO SO.
  - D. AT THE COMPLETION OF THE PROJECT, ALL EXCESS PULVERIZED MATERIAL SHALL BE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE PROJECT SITE(S).
18. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

**SITE DEMOLITION LEGEND**

- PULVERIZE ASPHALT & BASE (REUSED AS BASE)
- REMOVE CONCRETE PAVEMENT
- SAW CUT PAVEMENT (FULL DEPTH)
- CURB & GUTTER REMOVAL
- TREE REMOVAL
- FENCE TO BE REMOVED
- SITE LIGHTING TO BE DEMOLISHED (BY OWNERS ELECTRICIAN)
- GATE TO BE REMOVED
- ELECTRICAL TO BE REMOVED (BY OWNERS ELECTRICIAN)
- BOLLARD TO BE REMOVED

ALL ELEVATIONS REFER TO NATIONAL GEODETIC DATUM OF 1929.

- LEGEND:
- CATCH BASIN
  - HYDRANT
  - WATER VALVE
  - ELECTRIC PEDESTAL
  - ELECTRIC LINE
  - HAND RAIL
  - GUARD POST
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - GAS MAIN
  - COMMUNICATION LINE
  - SIGN
  - LIGHT POLE
  - FENCE

**DIGGERS HOTLINE**  
Call 811 or (800) 242-8511  
www.DiggersHotline.com

**UTILITY NOTE**

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NO.	REVISION	BY	DATE

PROJ. MGR: MDE  
DRAFTED: NDB  
DATE: 3-25-2016  
CHECKED: MDE  
DATE: 3-25-2016

2016.0008.01  
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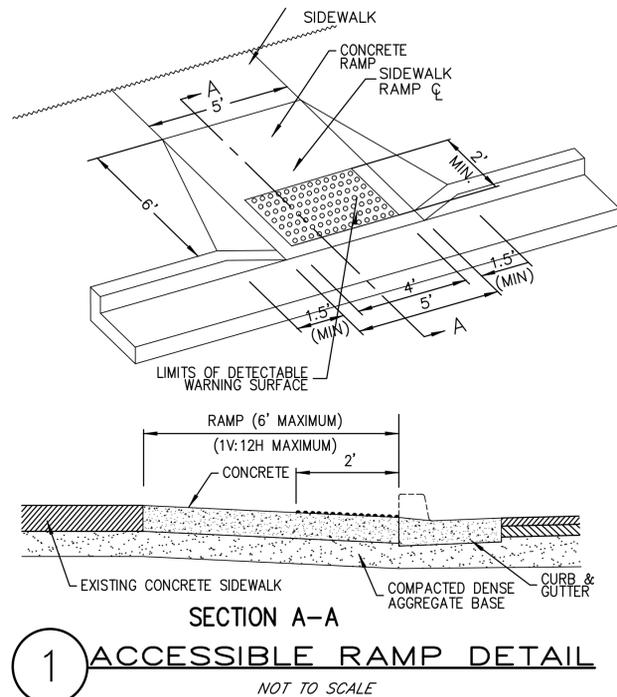






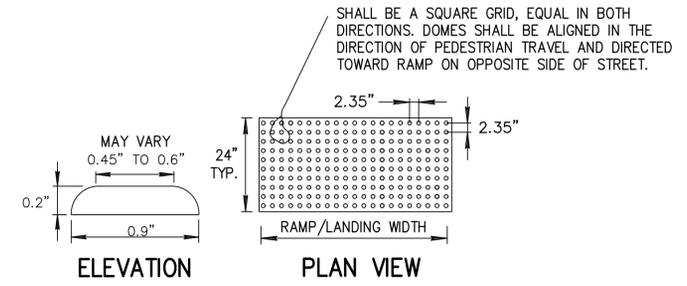






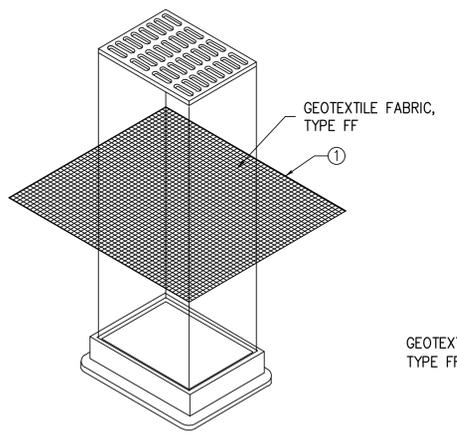
**1 ACCESSIBLE RAMP DETAIL**  
NOT TO SCALE

- NOTES**
- THIS WORK WILL CONSIST OF FURNISHING ALL MATERIAL, EQUIPMENT AND LABOR NECESSARY FOR THE PLACEMENT OF DETECTABLE WARNING DEVICES, COMPLETE AND READY FOR SERVICE AT ALL NEW SIDEWALK CURB RAMPS.
  - THE DEVICES SHALL COMPLY WITH THE DETECTABLE WARNINGS ON WALKING SURFACES SECTION OF THE AMERICANS WITH DISABILITIES ACT (TITLE 49 CFR TRANSPORTATION, PART 37.9 STANDARDS FOR ACCESSIBLE TRANSPORTATION FACILITIES, APPENDIX A, SECTION 4.29.2 DETECTABLE WARNINGS ON WALKING SURFACES.)
  - DETECTABLE WARNING SURFACES SHALL EXTEND 24 INCHES (610 MM) MINIMUM IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB RAMP FLUSH SURFACE (GENERALLY 48 INCHES WIDE).
    - THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB OR EDGE OF PAVEMENT IS 6 INCHES (150 MM) MINIMUM AND 8 INCHES (205 MM) MAXIMUM FROM THE BACK OF THE CURB OR EDGE OF PAVEMENT.
    - DOMES SHALL BE ALIGNED ON A SQUARED GRID, ALIGNED IN ROWS PARALLEL AND PERPENDICULAR TO THE PREDOMINANT DIRECTION OF TRAVEL. DOMES MUST NOT BE SKEWED DIAGONALLY TO THE DIRECT OF TRAVEL.
  - AVAILABLE MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, MANUFACTURERS OFFERING PROJECTS THAT MAY BE INCORPORATED IN THE WORK INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
    - 'CAST IN PLACE REPLACEABLE TACTILE PAVERS' MANUFACTURED BY ADA SOLUTIONS, OR PRE-APPROVED EQUAL.
      - THE COLOR OF THE "ON-SITE" PRIVATELY OWNED DETECTABLE WARNING FIELDS SHALL BE FEDERAL YELLOW (VERIFY WITH OWNER PRIOR TO INSTALLATION).
  - THE SPECIFICATIONS OF THE CONCRETE SEALANT AND RELATED MATERIALS SHALL BE IN STRICT ACCORDANCE WITH THE GUIDELINES SET BY THEIR RESPECTIVE MANUFACTURERS.



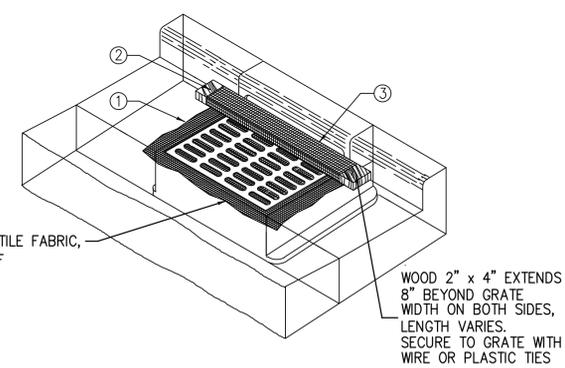
**2 DETECTABLE WARNING SURFACE**  
(TO BE INSTALLED ON ALL PUBLIC RAMPS)  
NOT TO SCALE

- INSTALLATION NOTES**
- TYPE B & C  
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

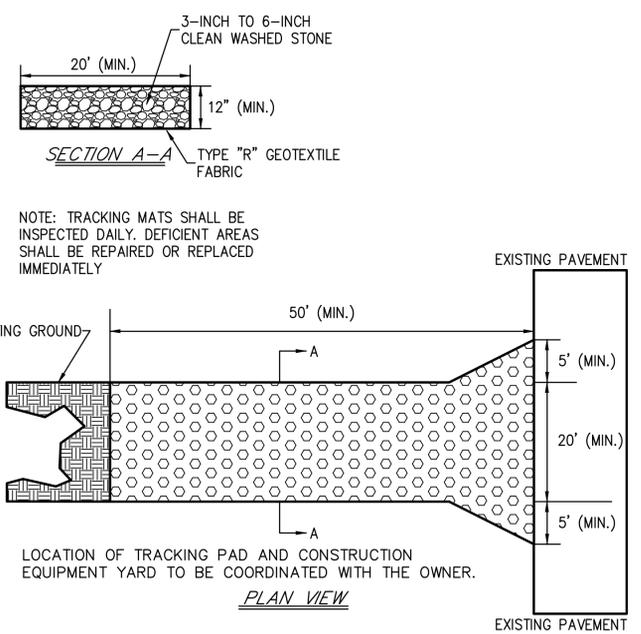


**3 TYPICAL STORMWATER INLET PROTECTION DETAIL**  
NOT TO SCALE

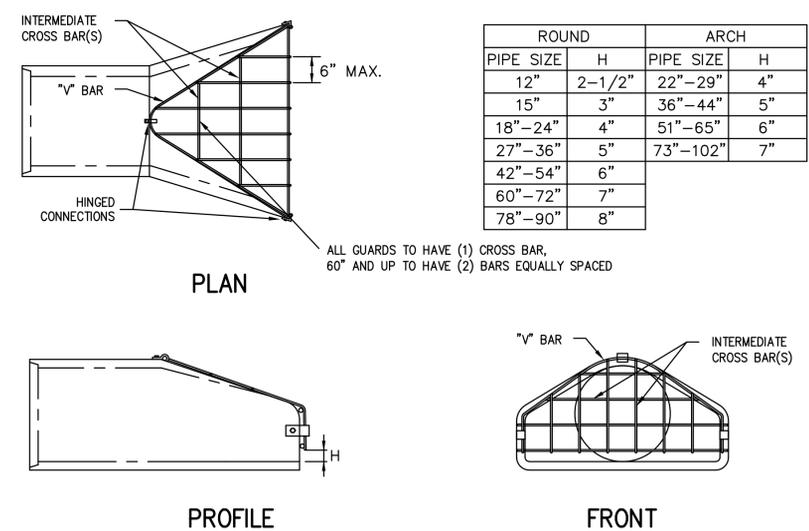
- GENERAL NOTES**
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WI DOT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
  - FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES.
  - THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.



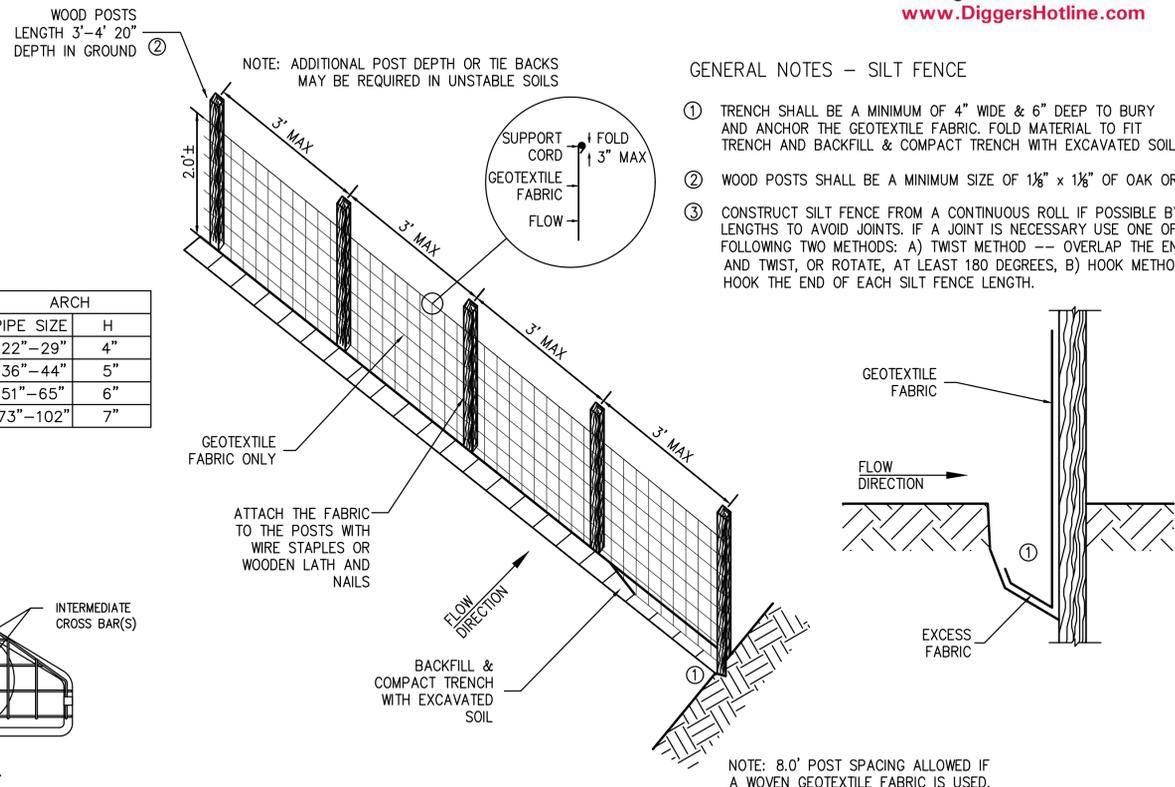
**INLET PROTECTION, TYPE C (WITH CURB BOX)**  
(CAN BE INSTALLED IN ANY INLET WITH A CURB BOX)



**4 TRACKING PAD DETAIL**  
NOT TO SCALE

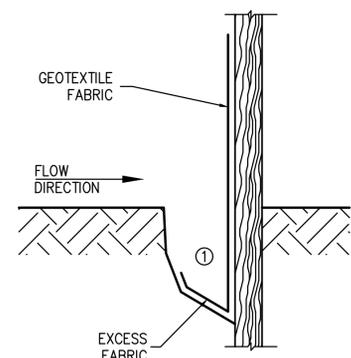


**5 TRASH GUARD FOR FLARED ENDS**  
NOT TO SCALE



**6 TYPICAL SILT FENCE DETAIL**  
NOT TO SCALE

- GENERAL NOTES - SILT FENCE**
- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
  - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" x 1 1/2" OF OAK OR HICKORY.
  - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) TWIST METHOD --- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK METHOD --- HOOK THE END OF EACH SILT FENCE LENGTH.



**DIGGERS HOTLINE**  
Call 811 or (800) 242-8511  
[www.DiggersHotline.com](http://www.DiggersHotline.com)

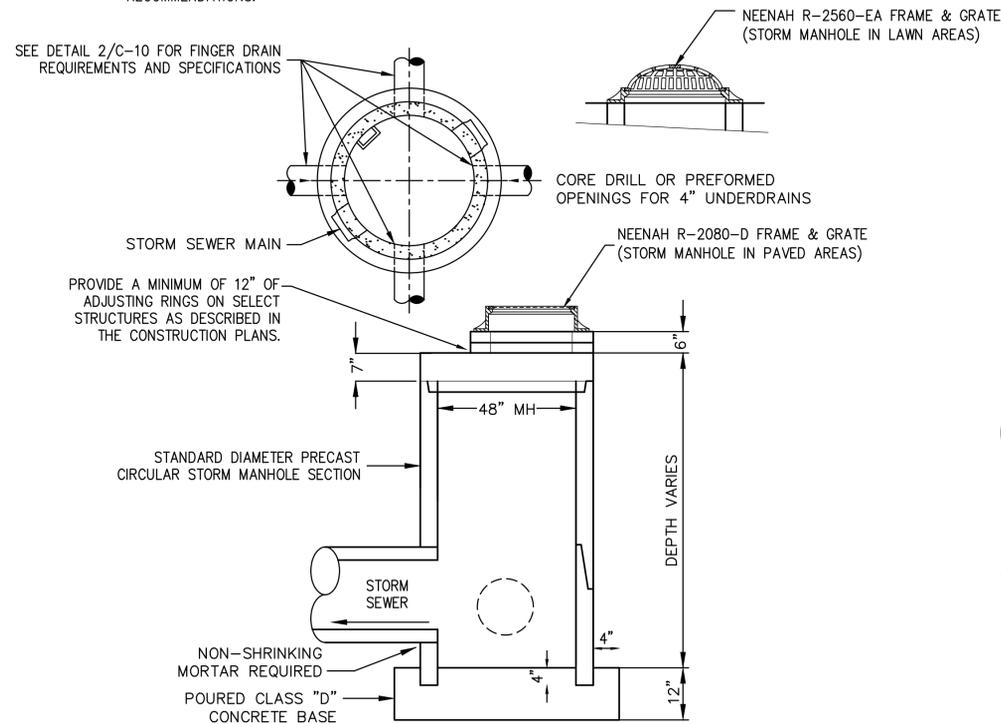
**mb**  
**Nielsen Madsen & Barber S.C.**  
Civil Engineers and Land Surveyors  
1458 Horizon Blvd. Suite 200, Racine, WI. 53406  
Tel: (262)634-5588 Fax: (262)634-5024  
Website [www.nmbcsc.net](http://www.nmbcsc.net)

**EMCO CHEMICAL DISTRIBUTORS**  
**TYPICAL SECTIONS & CONSTRUCTION DETAILS**  
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

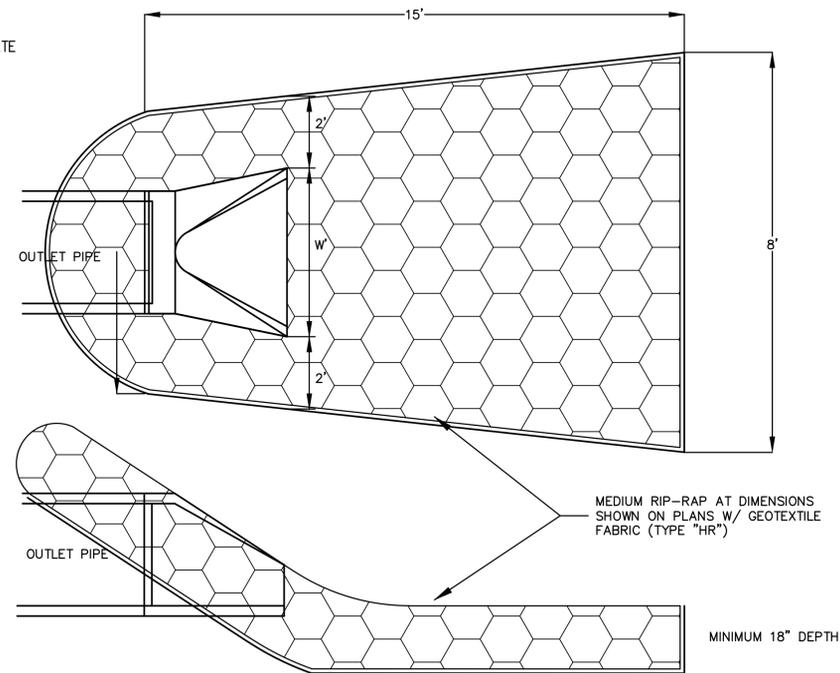
NO. \_\_\_\_\_  
REVISION \_\_\_\_\_  
DATE \_\_\_\_\_  
PROJ. MGR: \_\_\_\_\_ MDE  
DRAFTED: \_\_\_\_\_ NDB  
DATE: 3-25-2016  
CHECKED: \_\_\_\_\_ MDE  
DATE: 3-25-2016  
2016.0008.01  
SHEET  
**C-13**



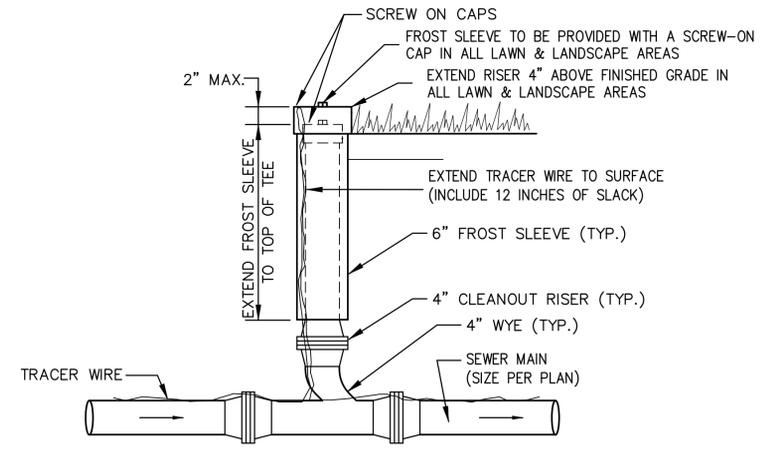
NOTE:  
CONCRETE ADJUSTMENT RINGS SHALL BE WRAPPED WITH EZ-WRAP (OR EQUIVALENT MATERIAL) FROM A POINT 6-INCHES BELOW THE BOTTOM RING UP TO AND OVER THE CASTING FLANGE PER MANUFACTURERS RECOMMENDATIONS.



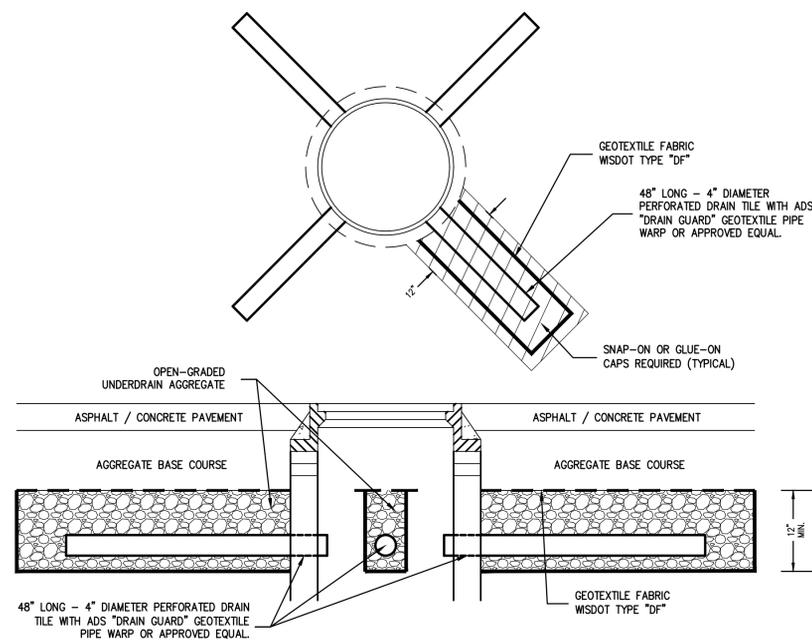
1 48" DIAMETER STORM MANHOLE DETAIL  
NOT TO SCALE



3 RIP RAP DETAIL  
NOT TO SCALE

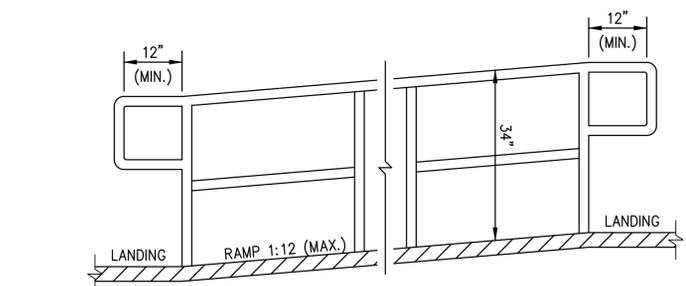
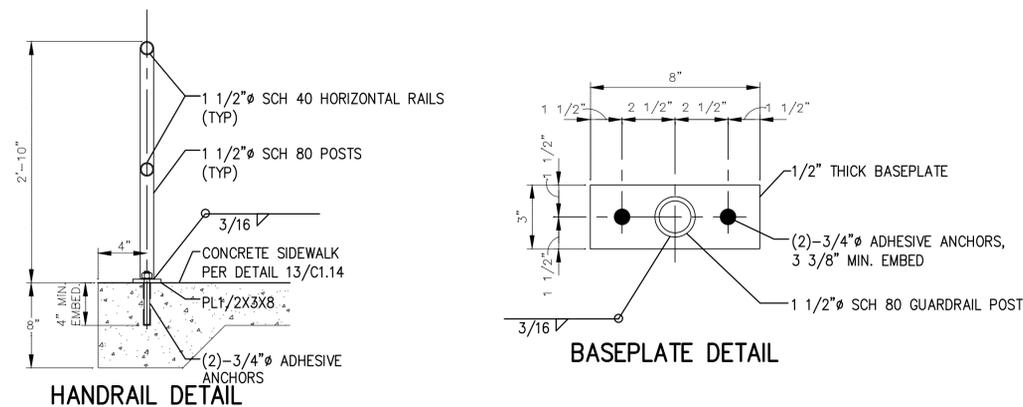


4 SEWER CLEANOUT RISER DETAIL  
NOT TO SCALE

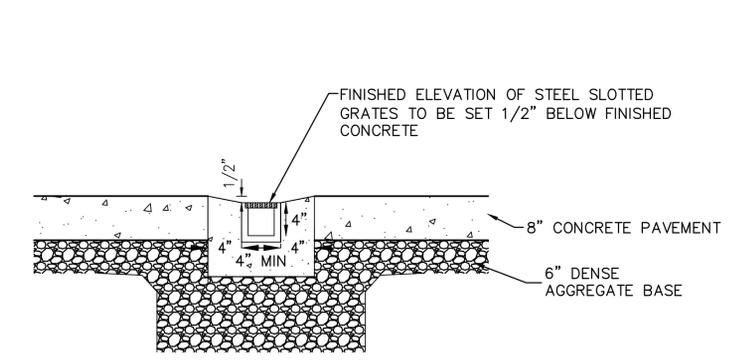
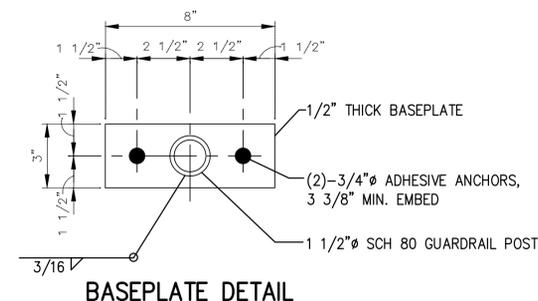


NOTE:  
1. FINGER DRAINS SHALL BE INSTALLED IN ALL MANHOLES & CATCH BASINS LOCATED WITHIN ASPHALT & CONCRETE PAVEMENTS.  
2. FINGER DRAIN CONNECTIONS SHALL BE CORED ONSITE OR PRECAST.  
3. FINGER DRAIN VERTICAL LOCATION MAY VARY DEPENDING ON STORM SEWER PIPE LOCATION.  
4. ALTERNATIVE DESIGN MAY BE SUBSTITUTED IF SHOP DRAWINGS ARE SUBMITTED AND APPROVED BY THE ENGINEER.

2 STORM SEWER STRUCTURE FINGER DRAIN DETAIL  
NOT TO SCALE



6 ACCESSIBLE HANDRAIL DETAIL  
NOT TO SCALE



5 TRENCH DRAIN DETAIL  
NOT TO SCALE



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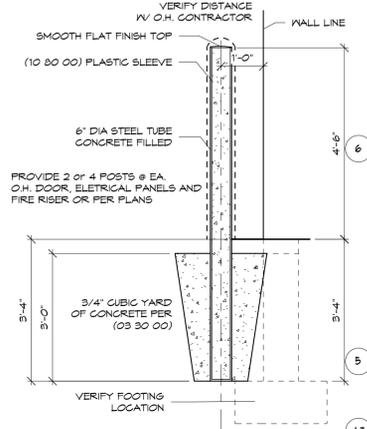
EMCO CHEMICAL DISTRIBUTORS  
TYPICAL SECTIONS  
&  
CONSTRUCTION DETAILS  
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

NO.	REVISION	BY	DATE

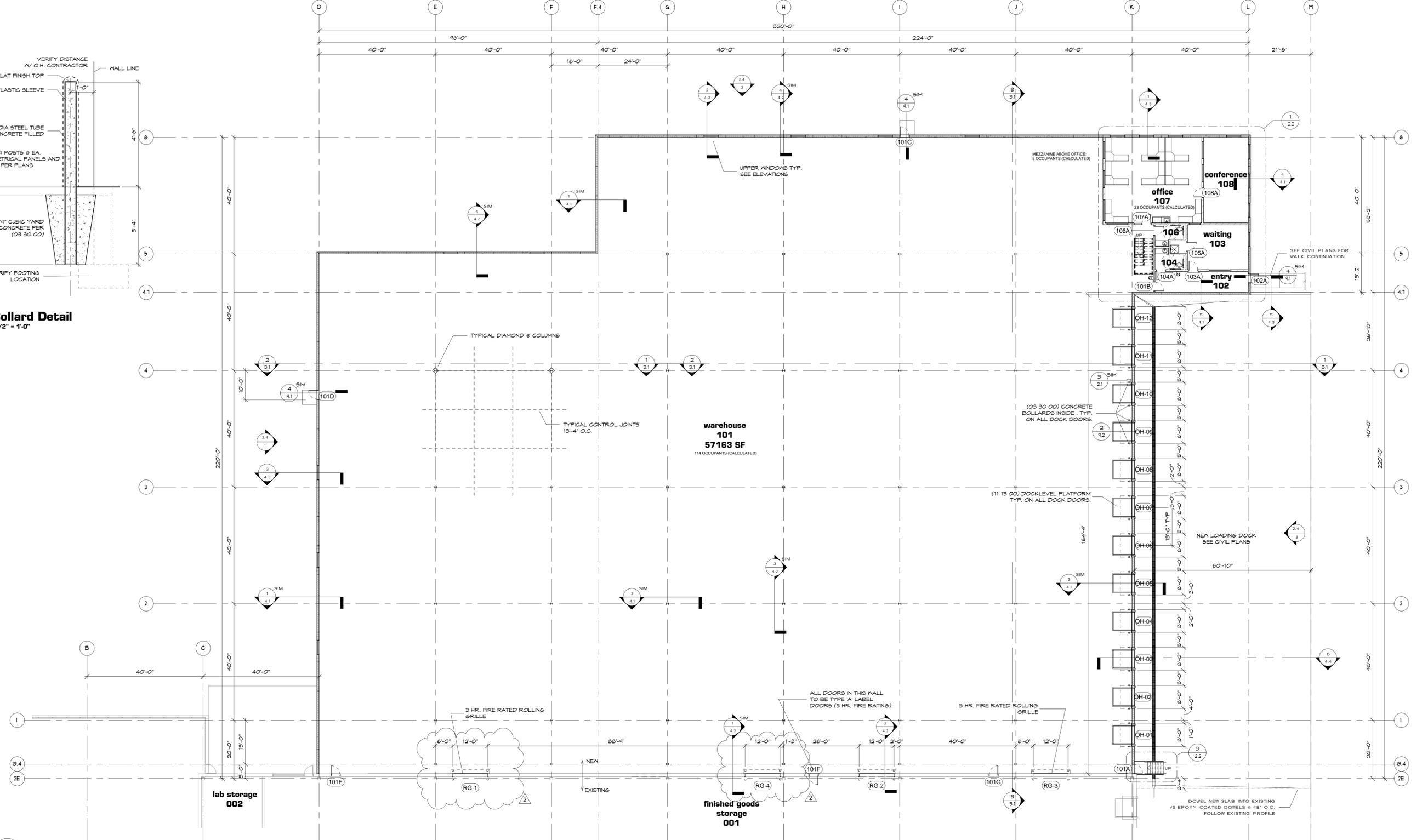
PROJ. MGR: MDE  
DRAFTED: NDB  
DATE: 3-25-2016  
CHECKED: MDE  
DATE: 3-25-2016

2016.0008.01  
SHEET  
C-15

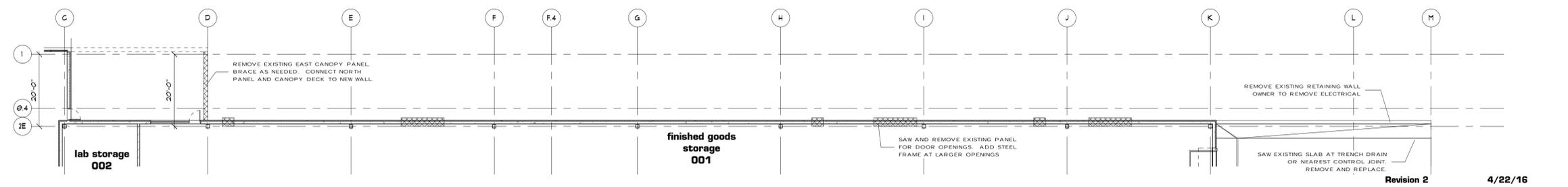
ISSUE FOR PERMITS - 4-20-16



**3 Bollard Detail**  
1/2" = 1'-0"

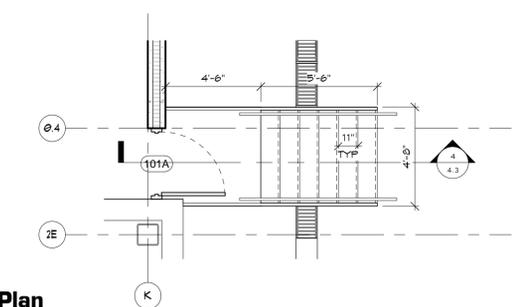
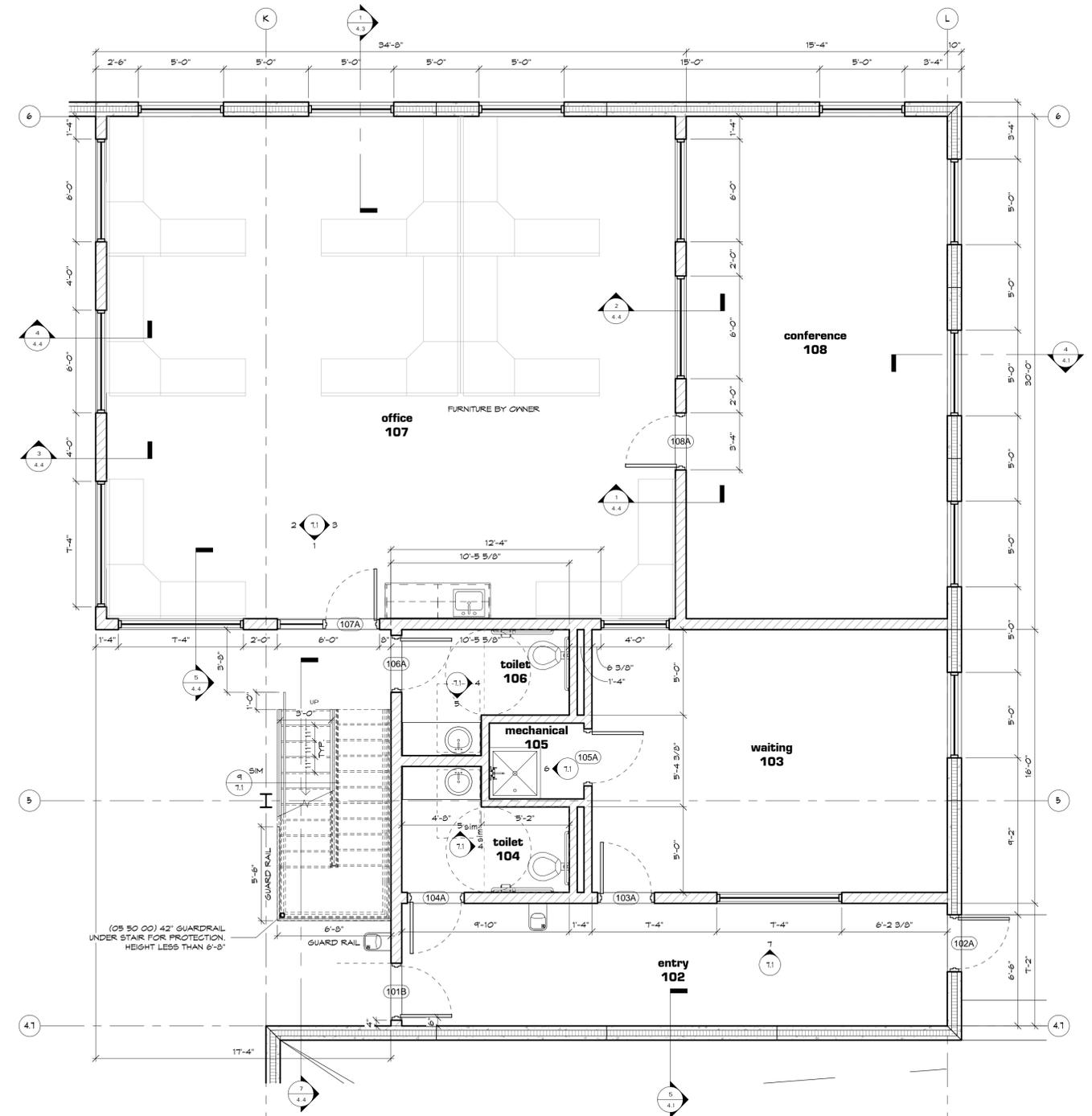
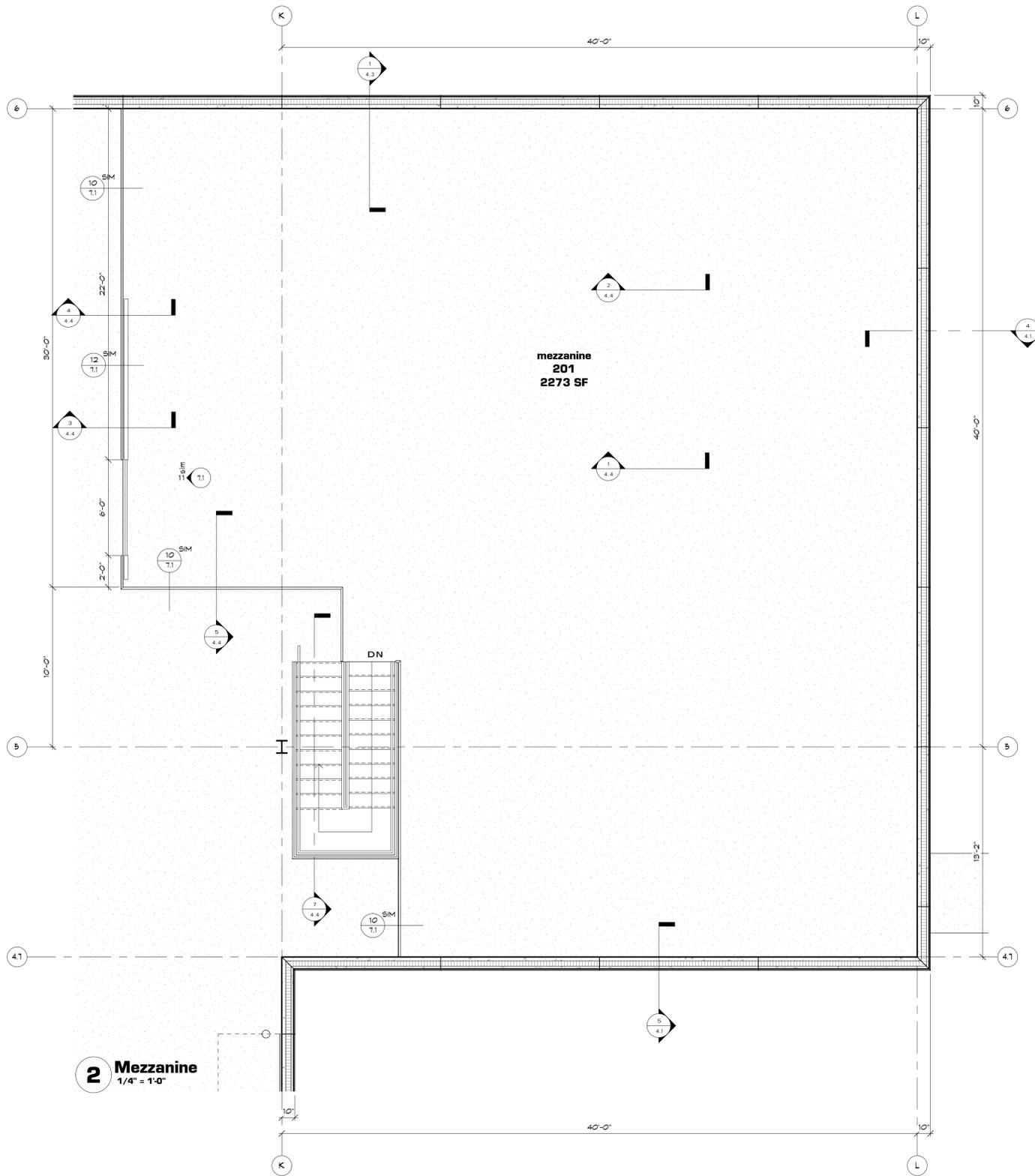


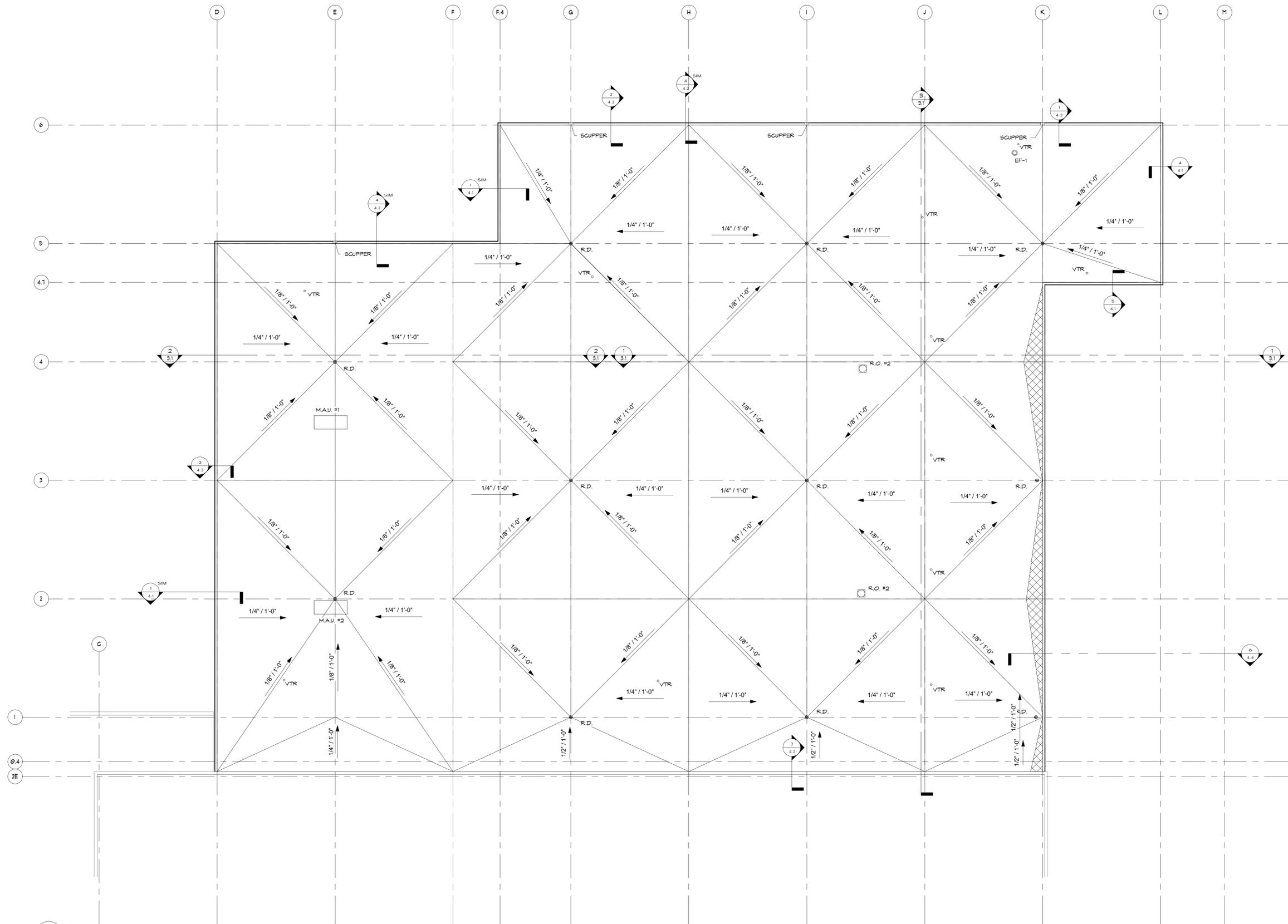
**2 Floor Plan - Addition**  
1/16" = 1'-0"



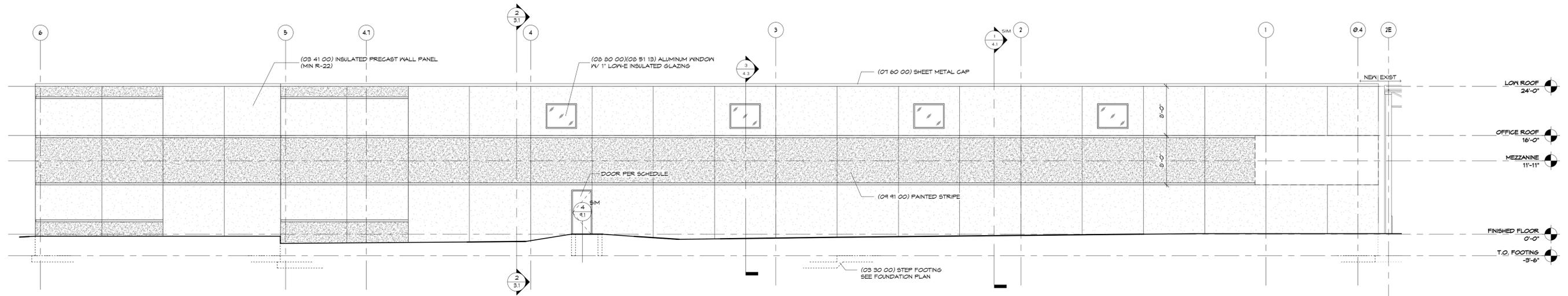
**1 Existing North Wall**  
1/16" = 1'-0"

Revision 2 4/22/16

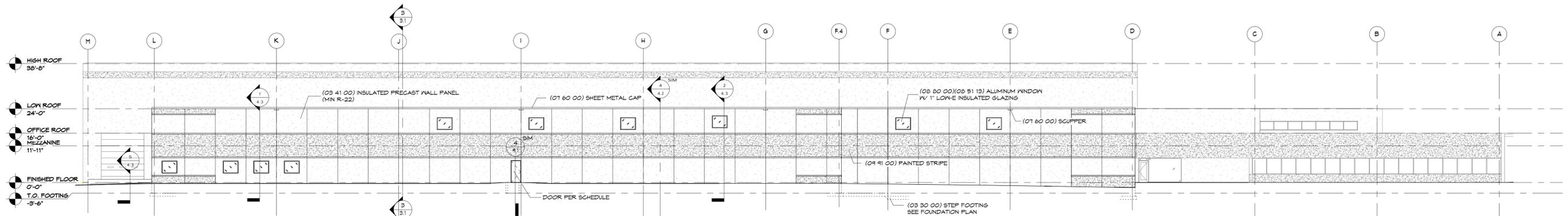




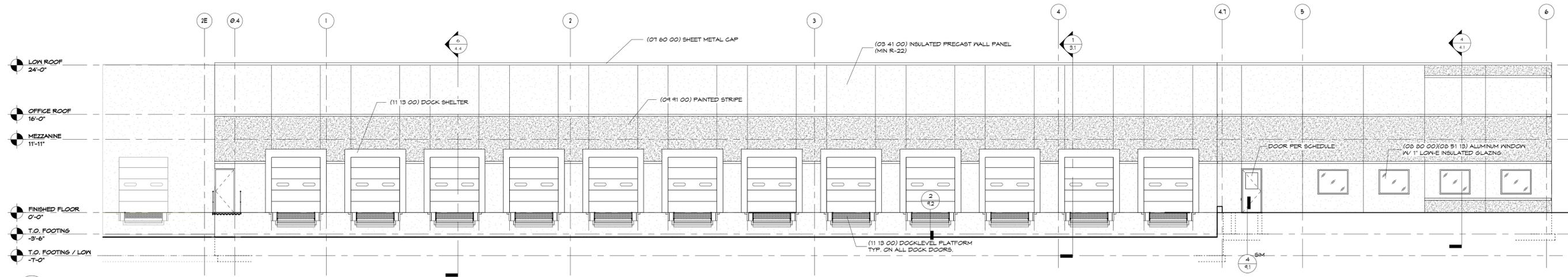
**1** Roof Plan  
1/16" = 1'-0"



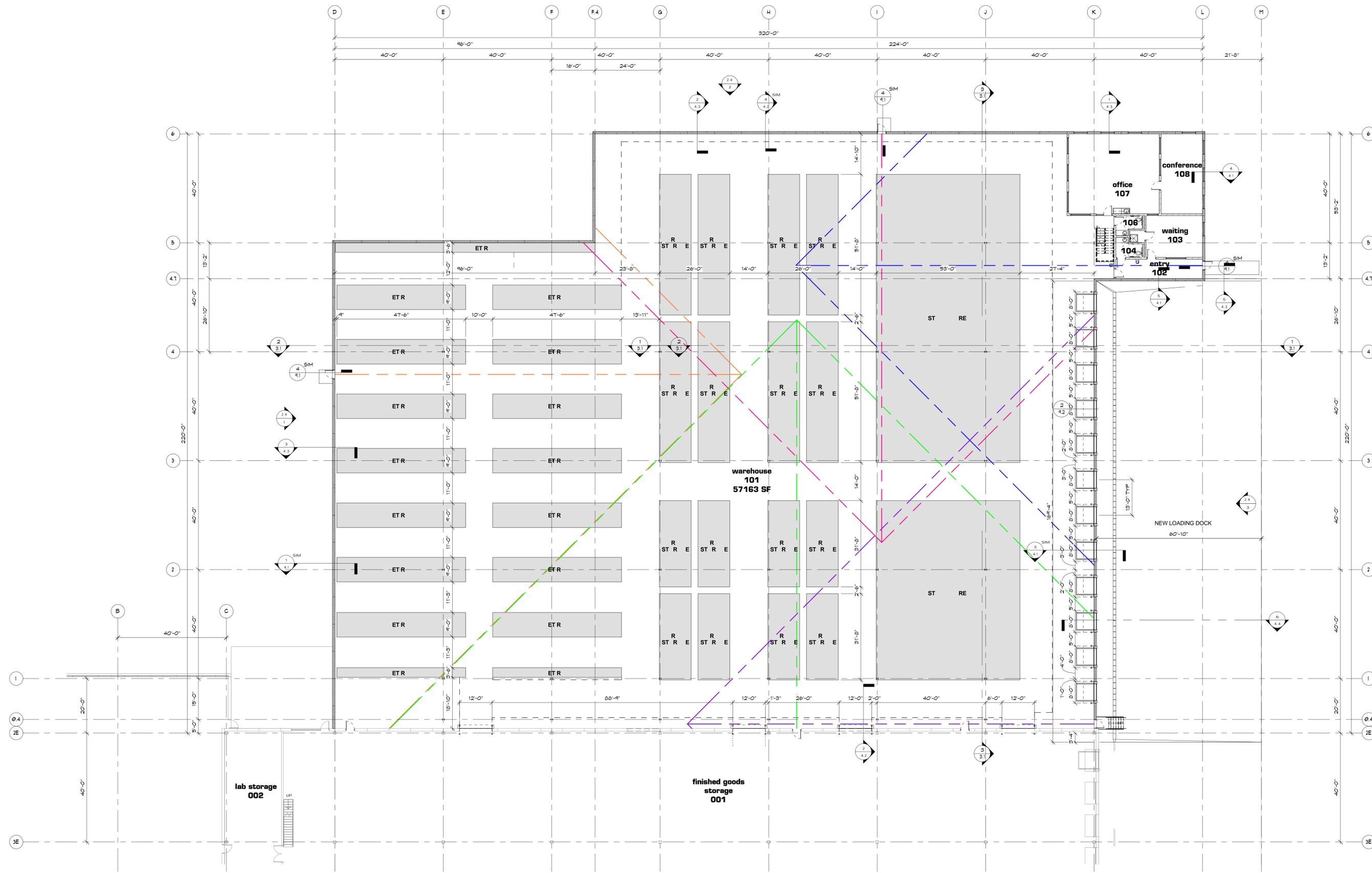
**1 West Elevation**  
1/8" = 1'-0"



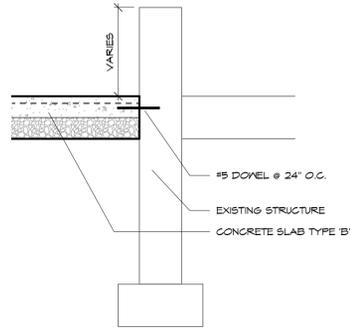
**2 North Elevation**  
1/16" = 1'-0"



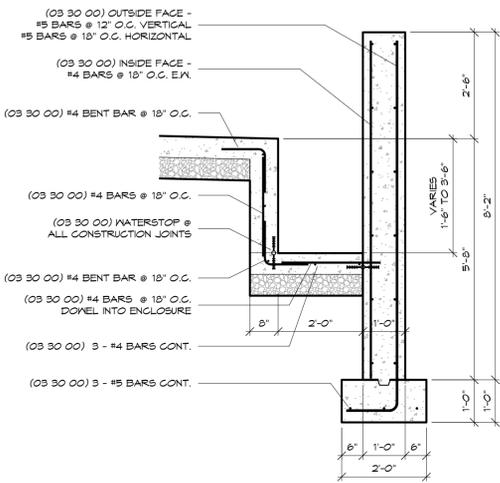
**3 East Elevation**  
1/8" = 1'-0"



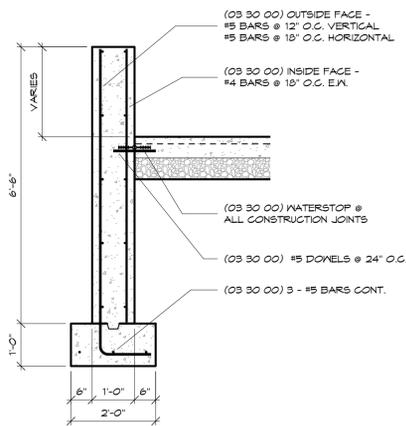
**1** Floor Plan - Storage Plan  
 1/16" = 1'-0"



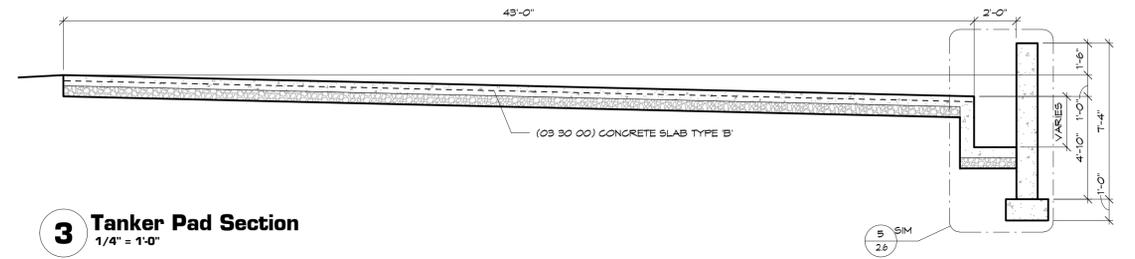
**6 Wall Section**  
1/2" = 1'-0"



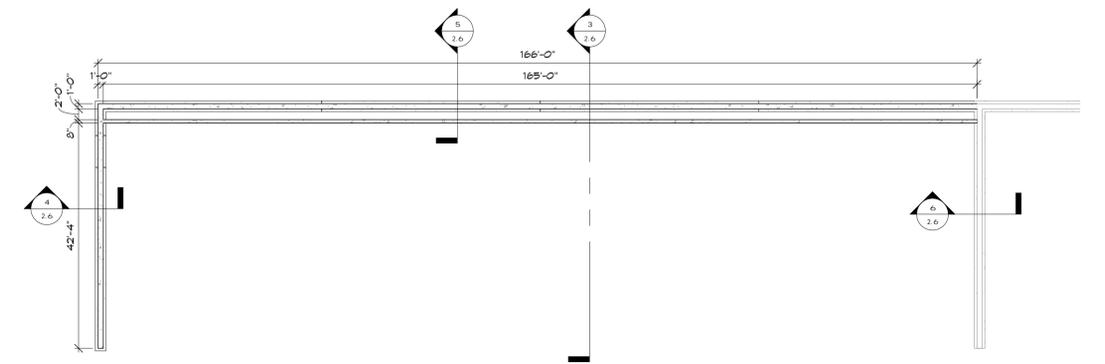
**5 Wall Section**  
1/2" = 1'-0"



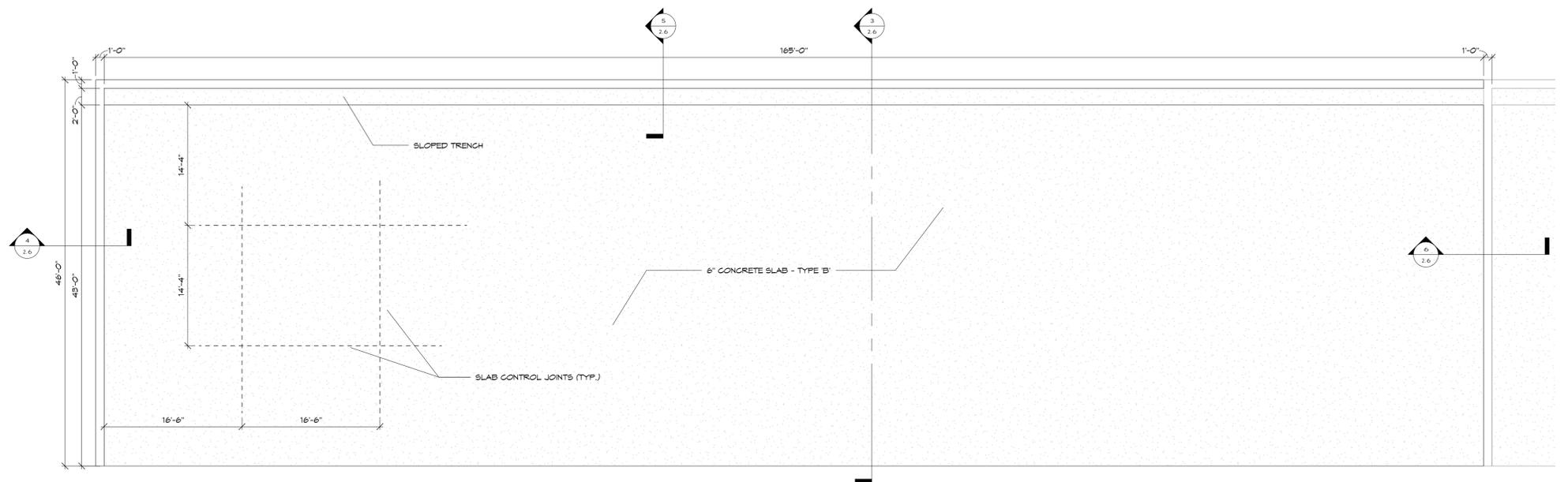
**4 Wall Section**  
1/2" = 1'-0"



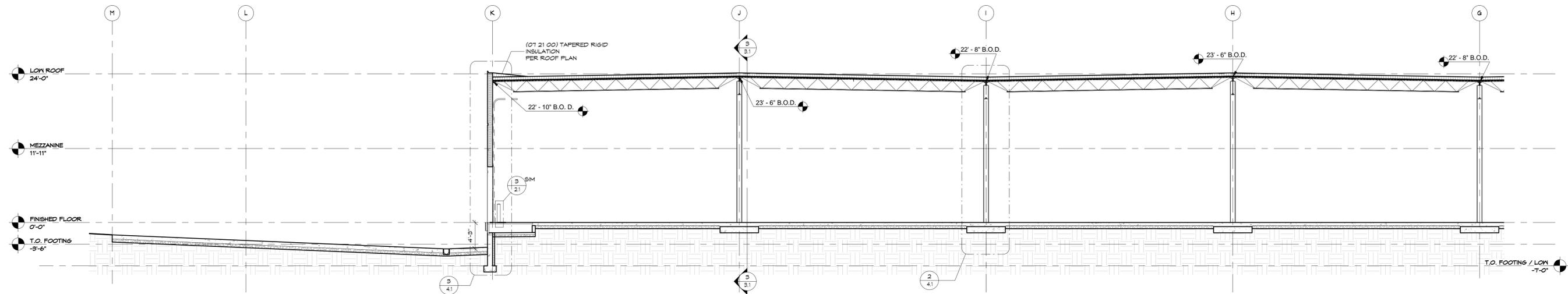
**3 Tanker Pad Section**  
1/4" = 1'-0"



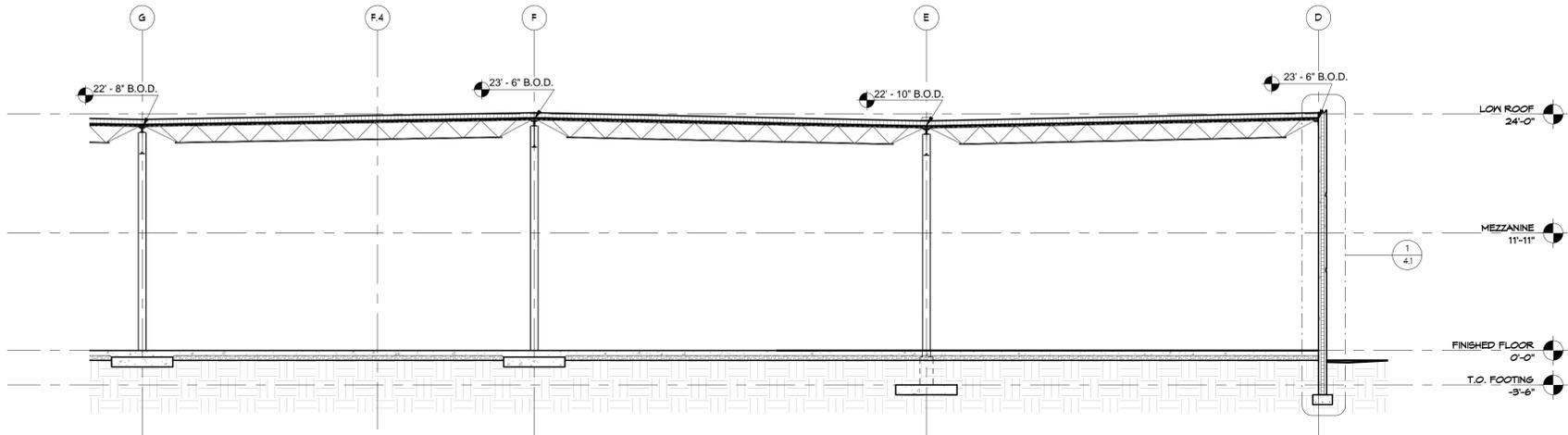
**2 Tanker Foundation Plan**  
1/16" = 1'-0"



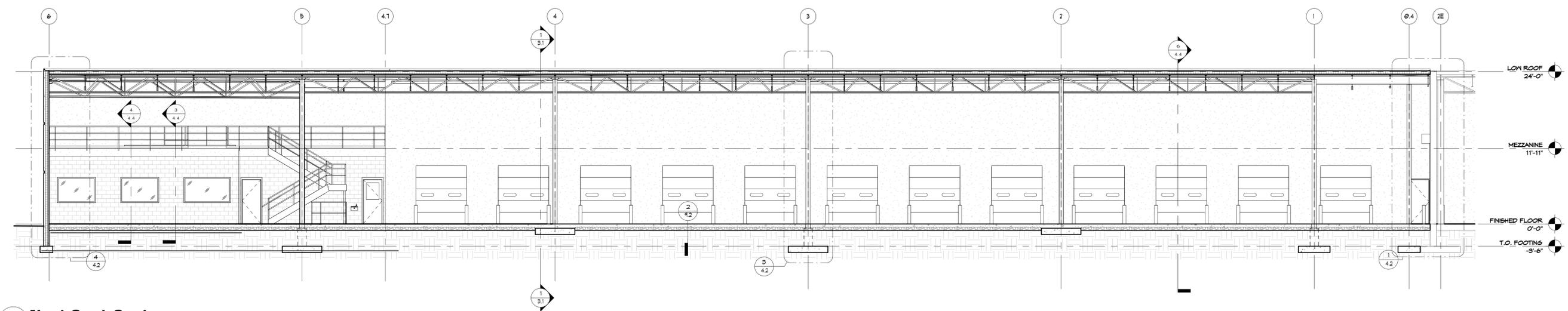
**1 Tanker Parking Plan**  
1/8" = 1'-0"



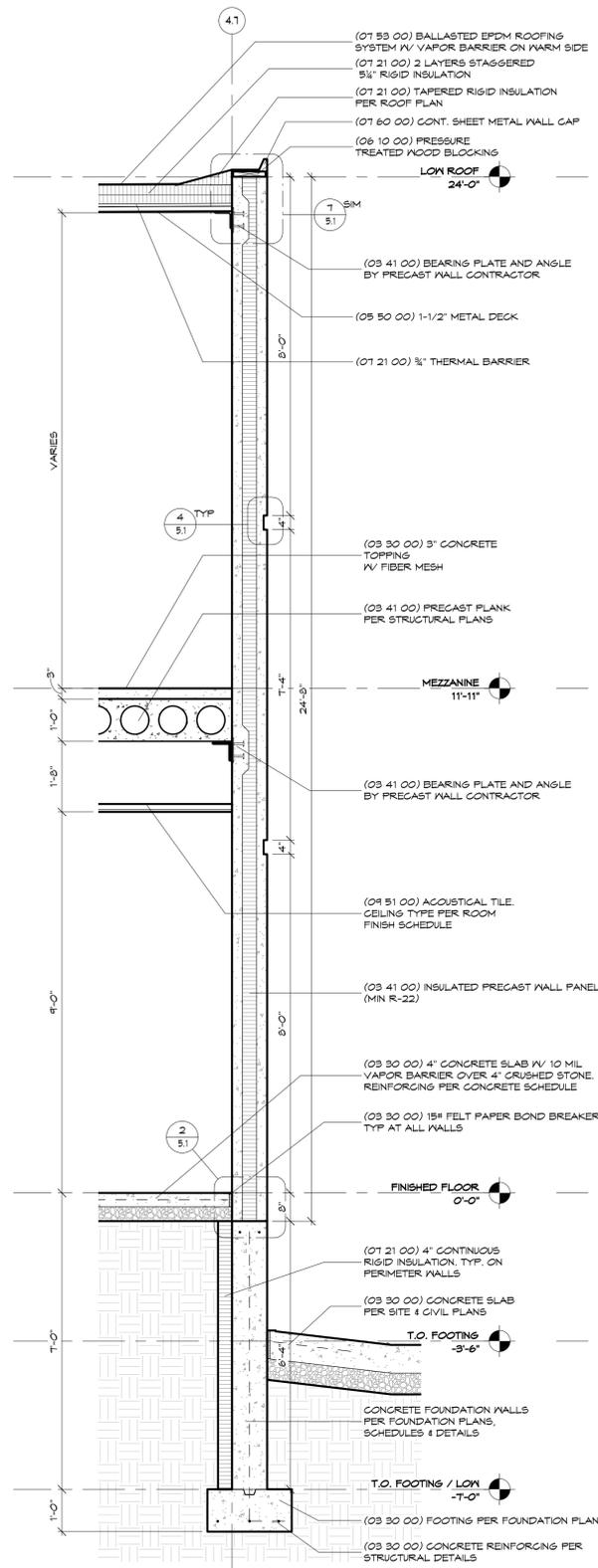
**1 East-West Section - East Half**  
1/8" = 1'-0"



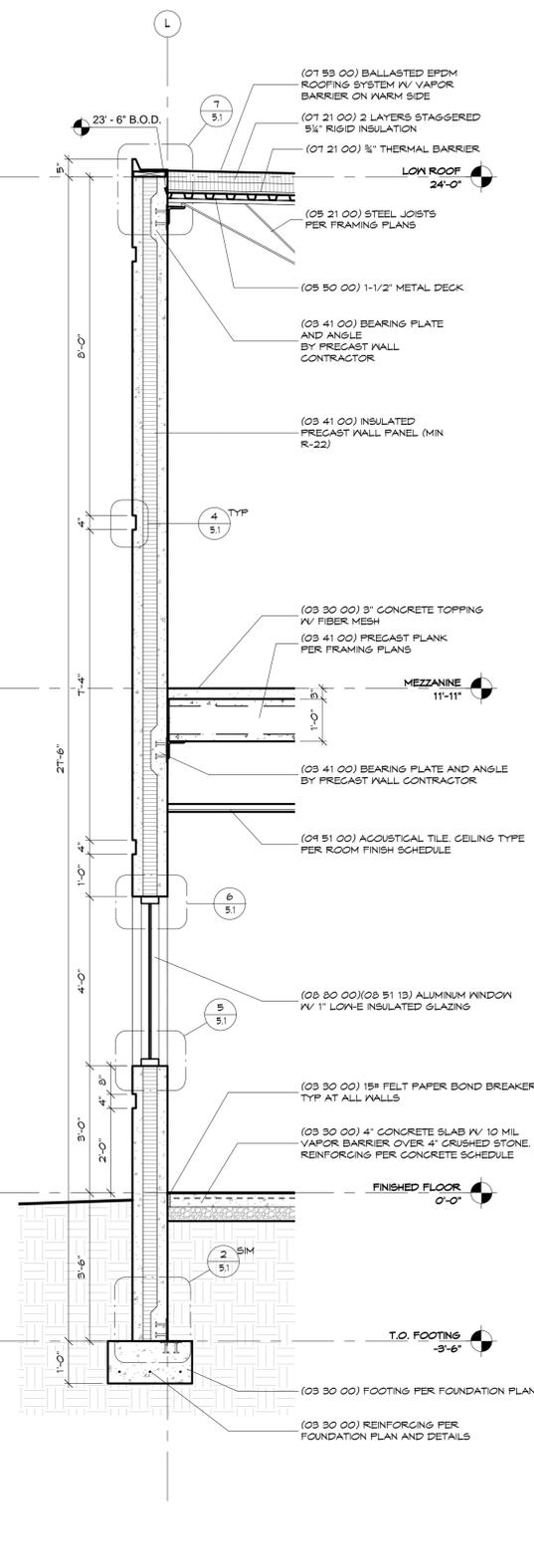
**2 East-West Section - West Half**  
1/8" = 1'-0"



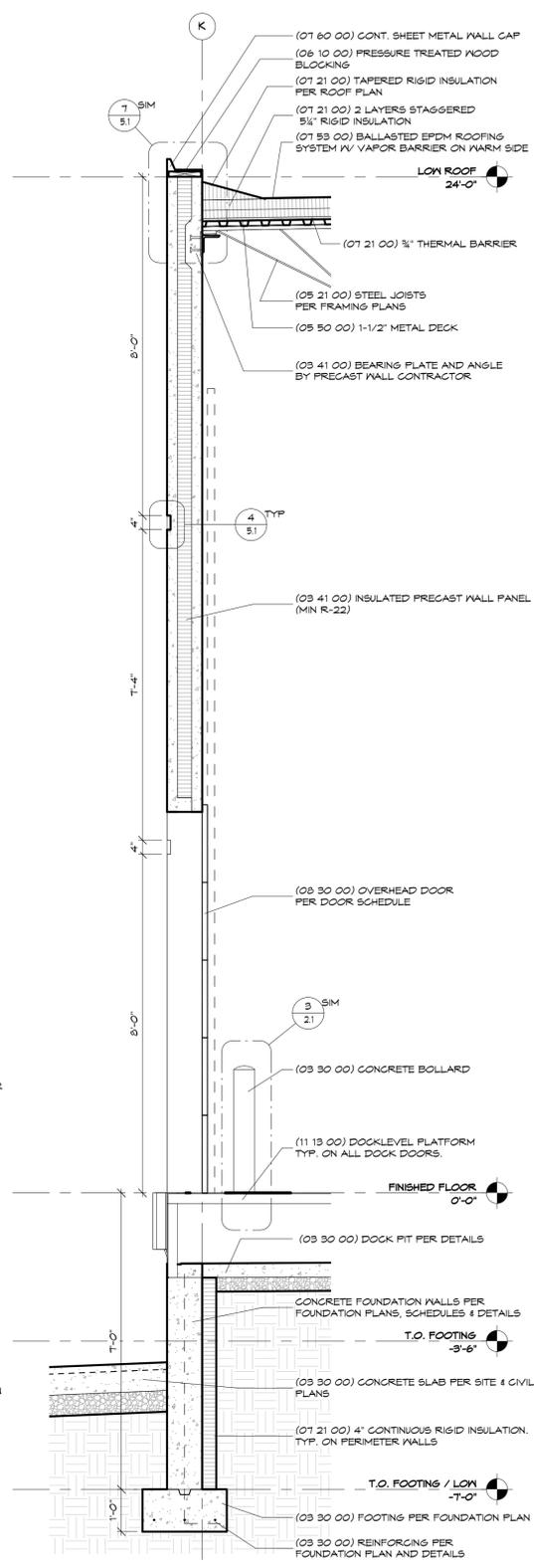
**3 North-South Section**  
1/8" = 1'-0"



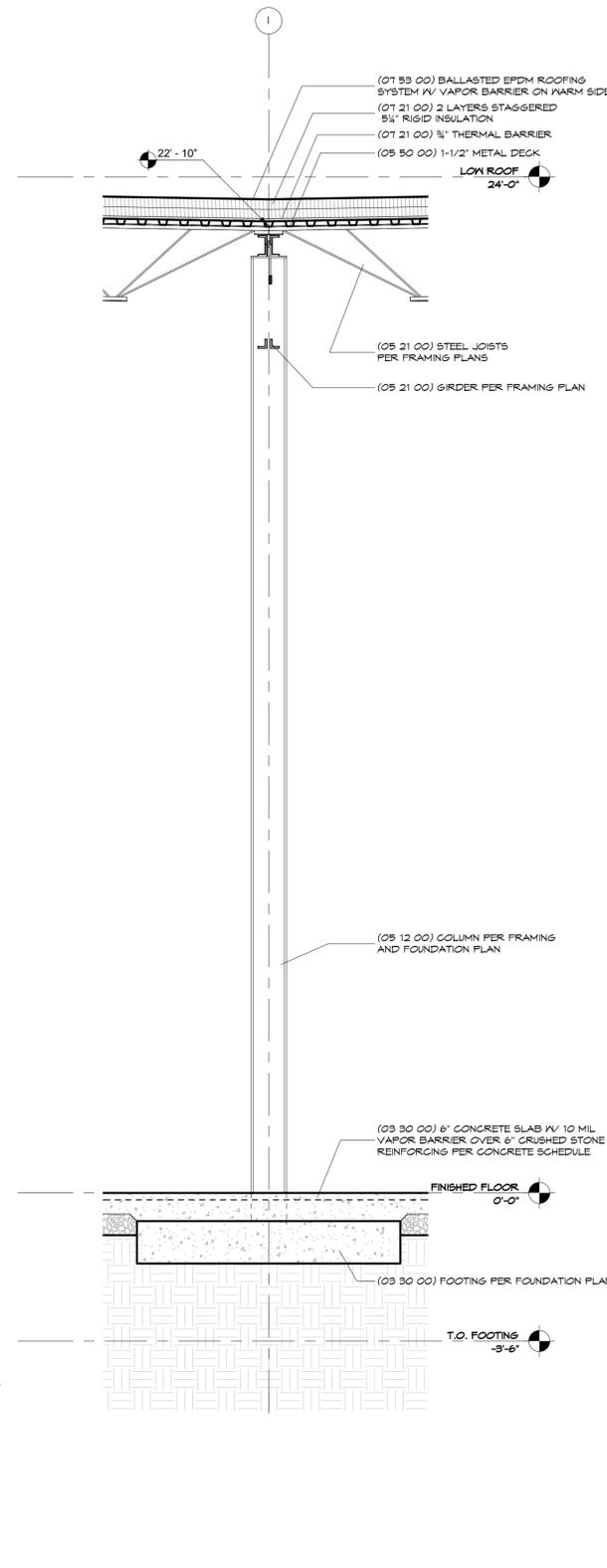
**5 Wall Section**  
1/2" = 1'-0"



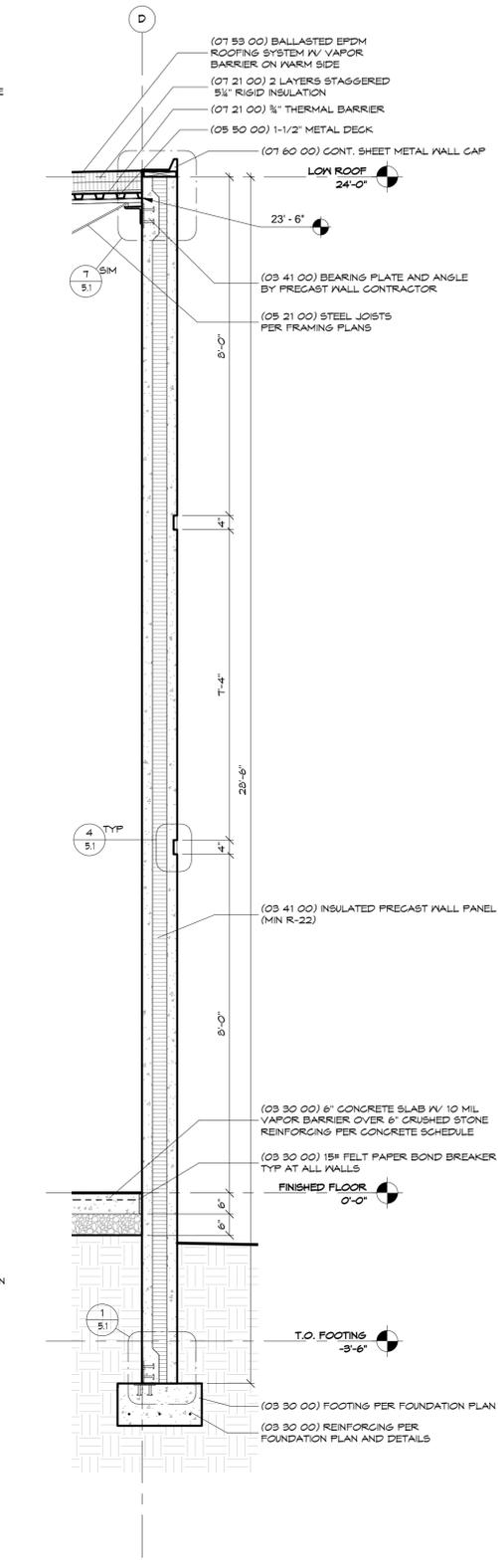
**4 Wall Section**  
1/2" = 1'-0"



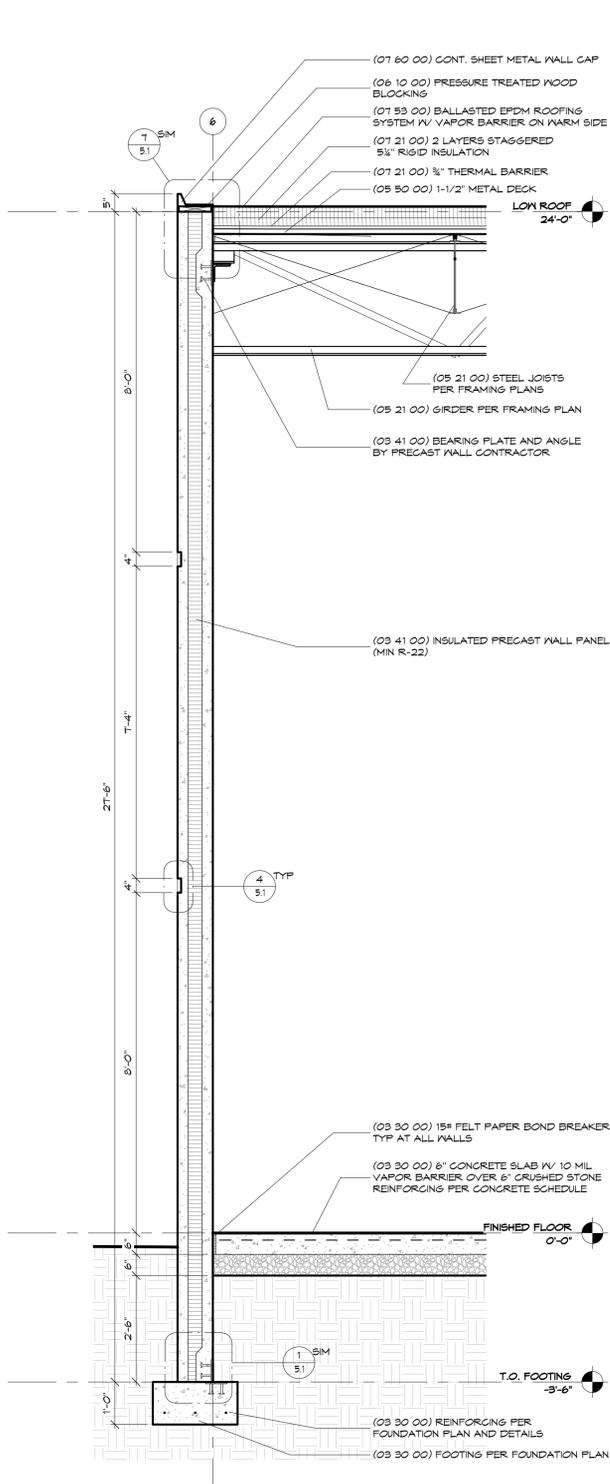
**3 Wall Section**  
1/2" = 1'-0"



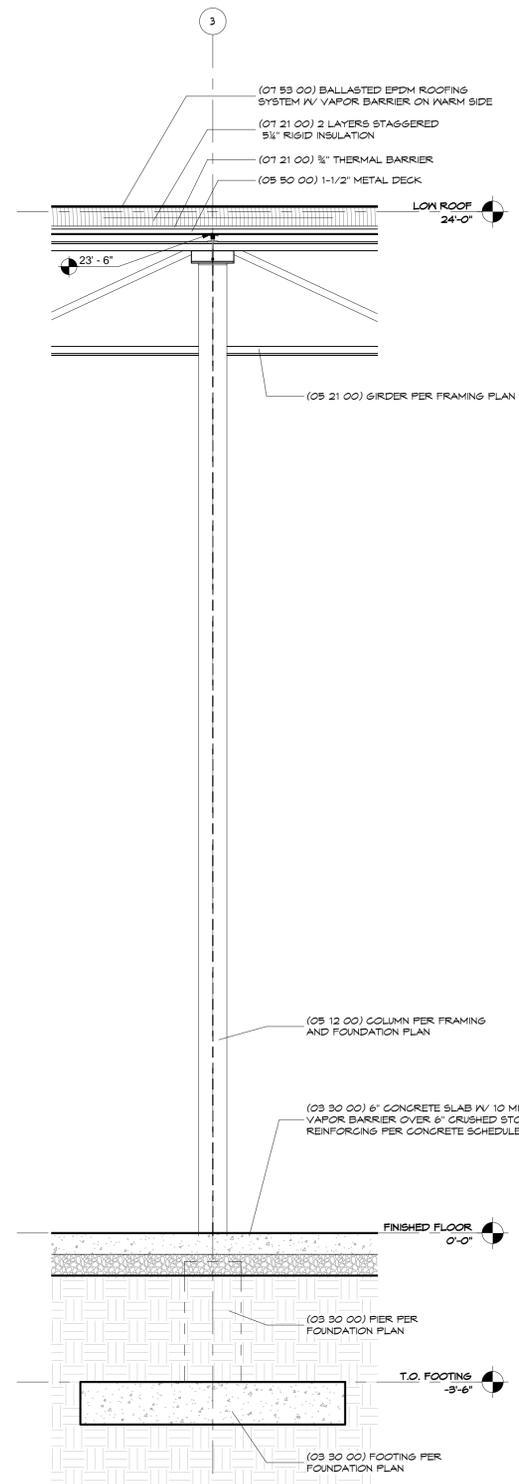
**2 Wall Section**  
1/2" = 1'-0"



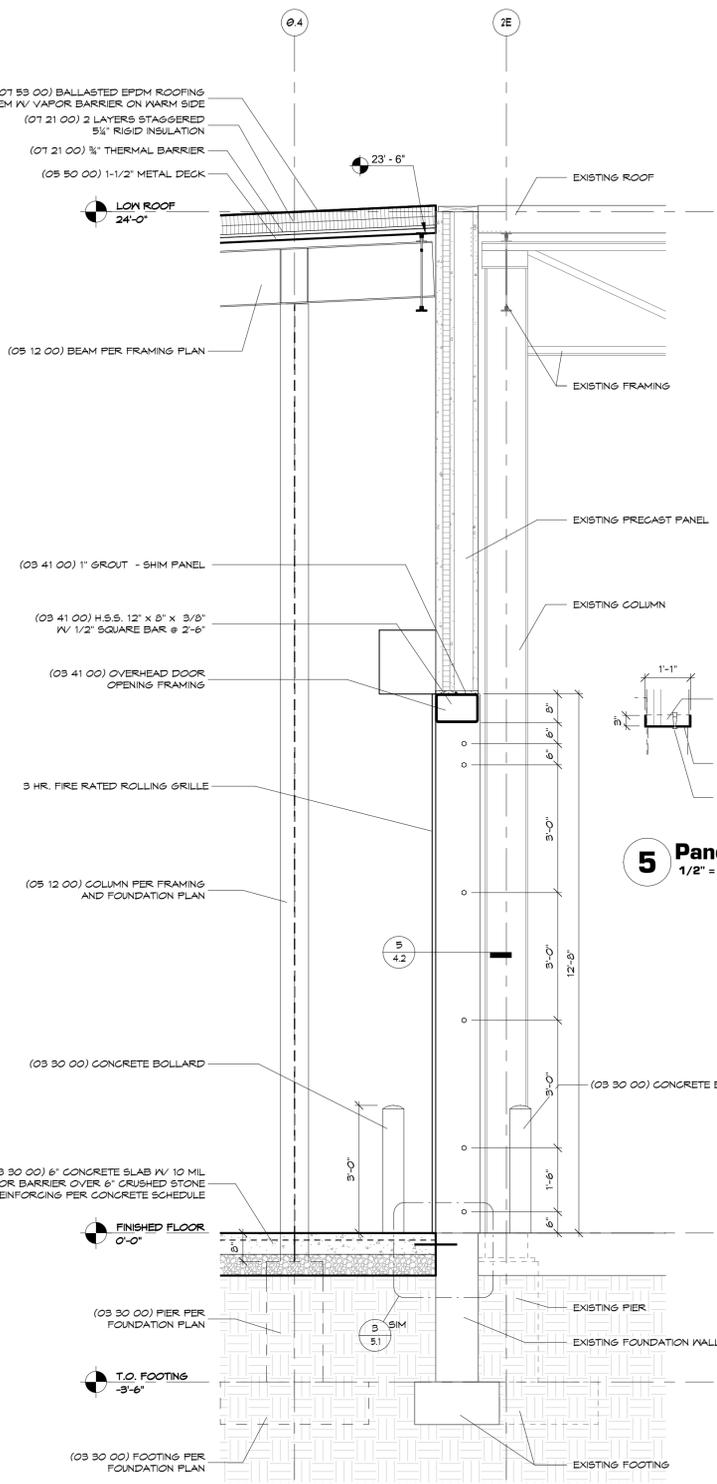
**1 Wall Section**  
1/2" = 1'-0"



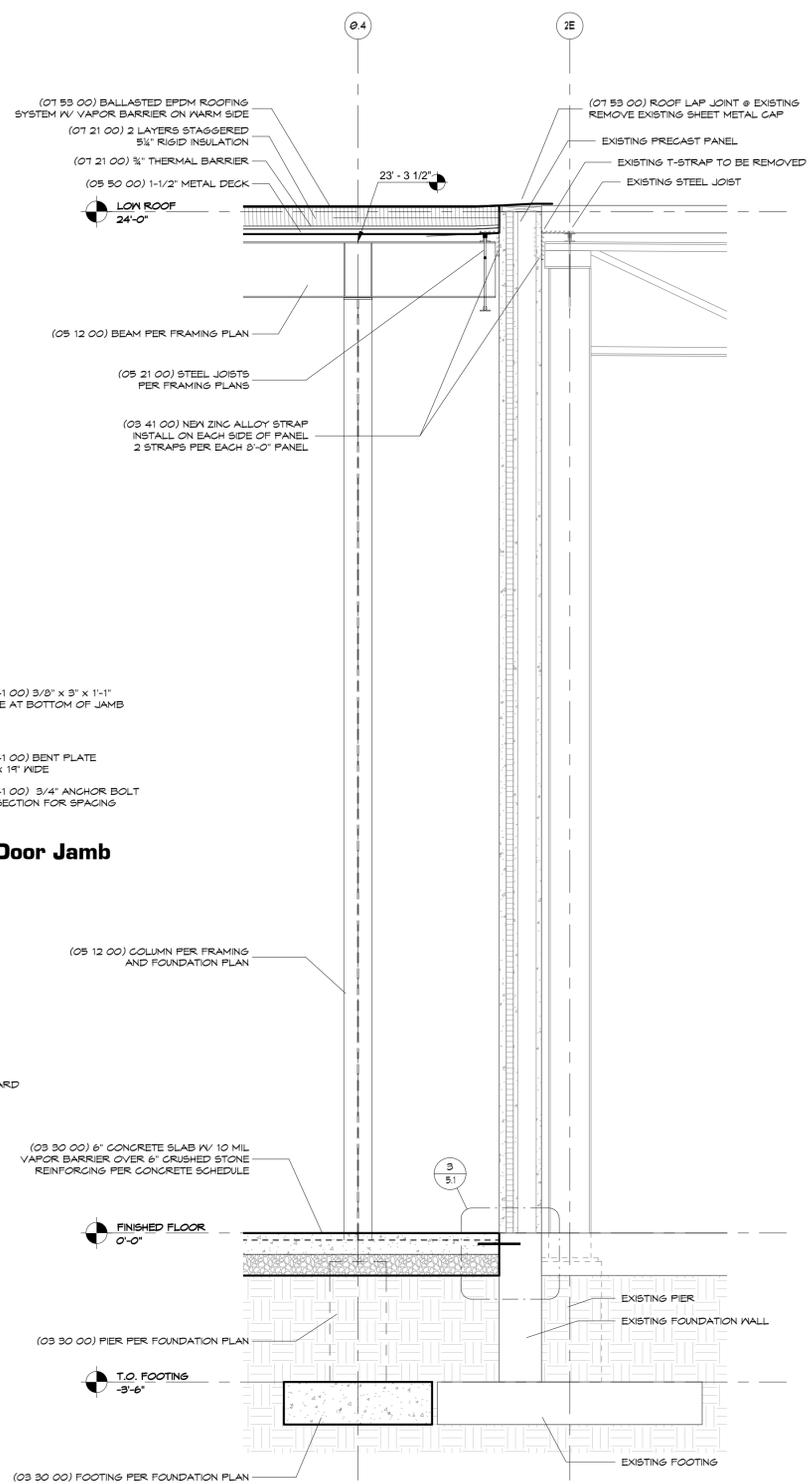
**4 Wall Section**  
 1/2" = 1'-0"



**3 Wall Section**  
 1/2" = 1'-0"

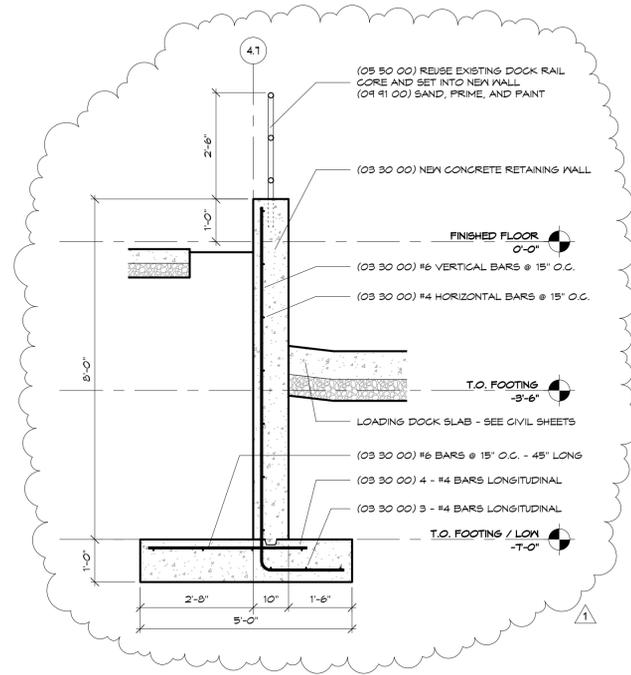


**2 Wall Section**  
 1/2" = 1'-0"

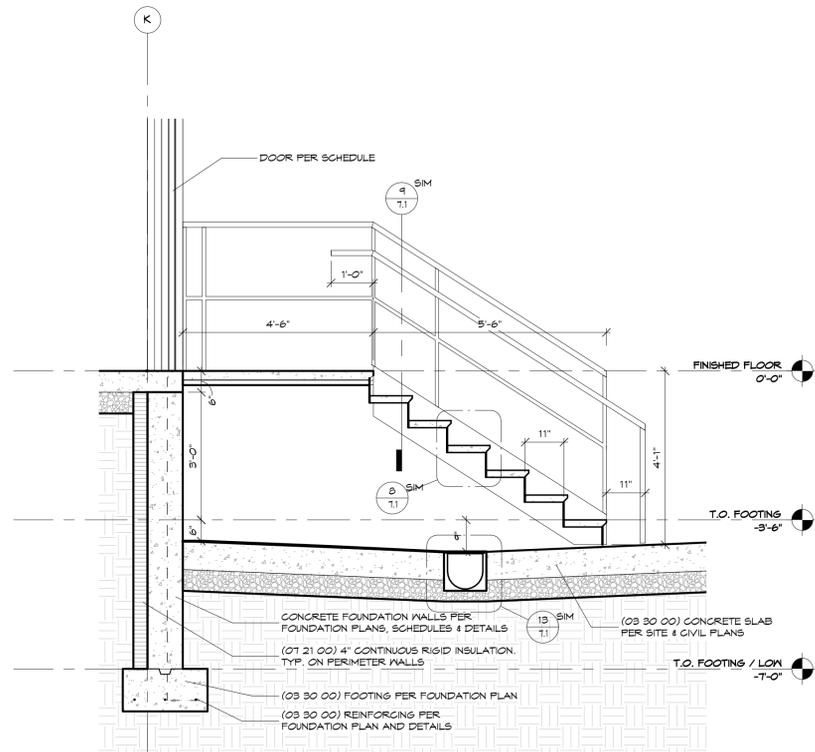


**1 Wall Section**  
 1/2" = 1'-0"

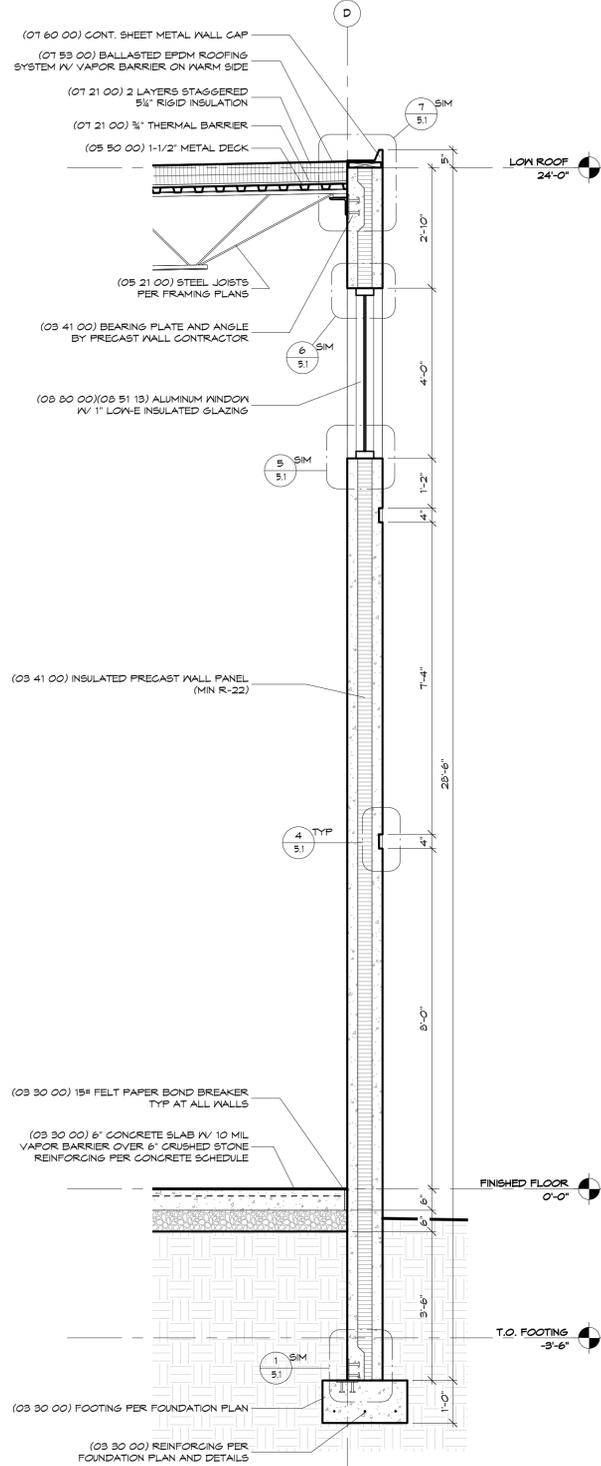
**5 Panel Door Jamb**  
 1/2" = 1'-0"



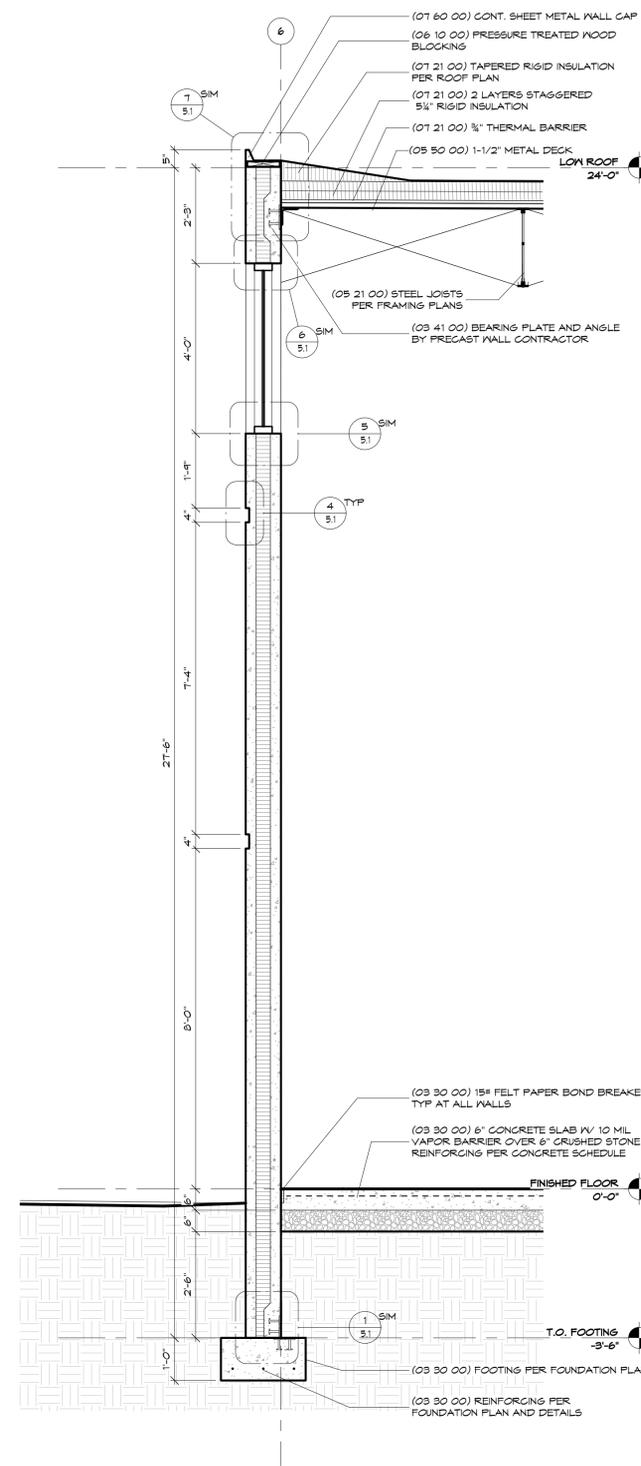
**5 Wall Section**  
1/2" = 1'-0"



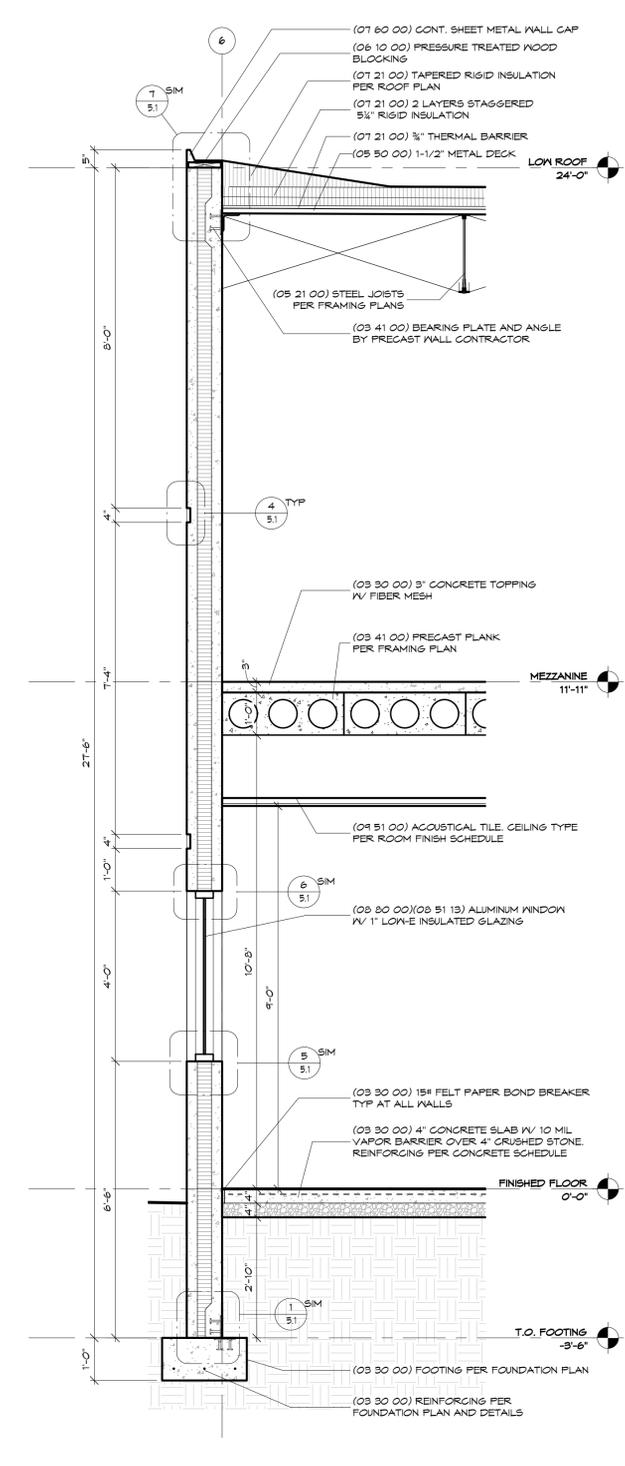
**4 Stair Section**  
1/2" = 1'-0"

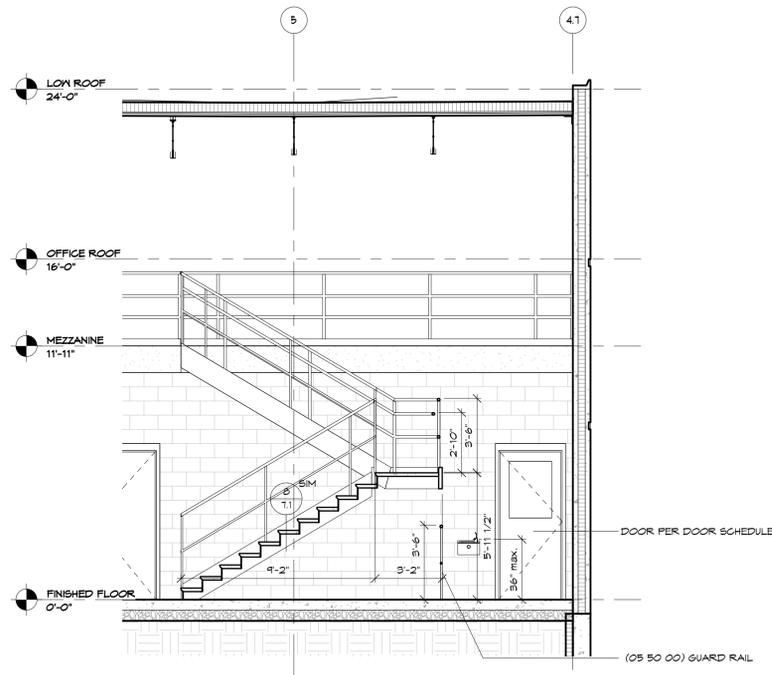


**3 Wall Section**  
1/2" = 1'-0"

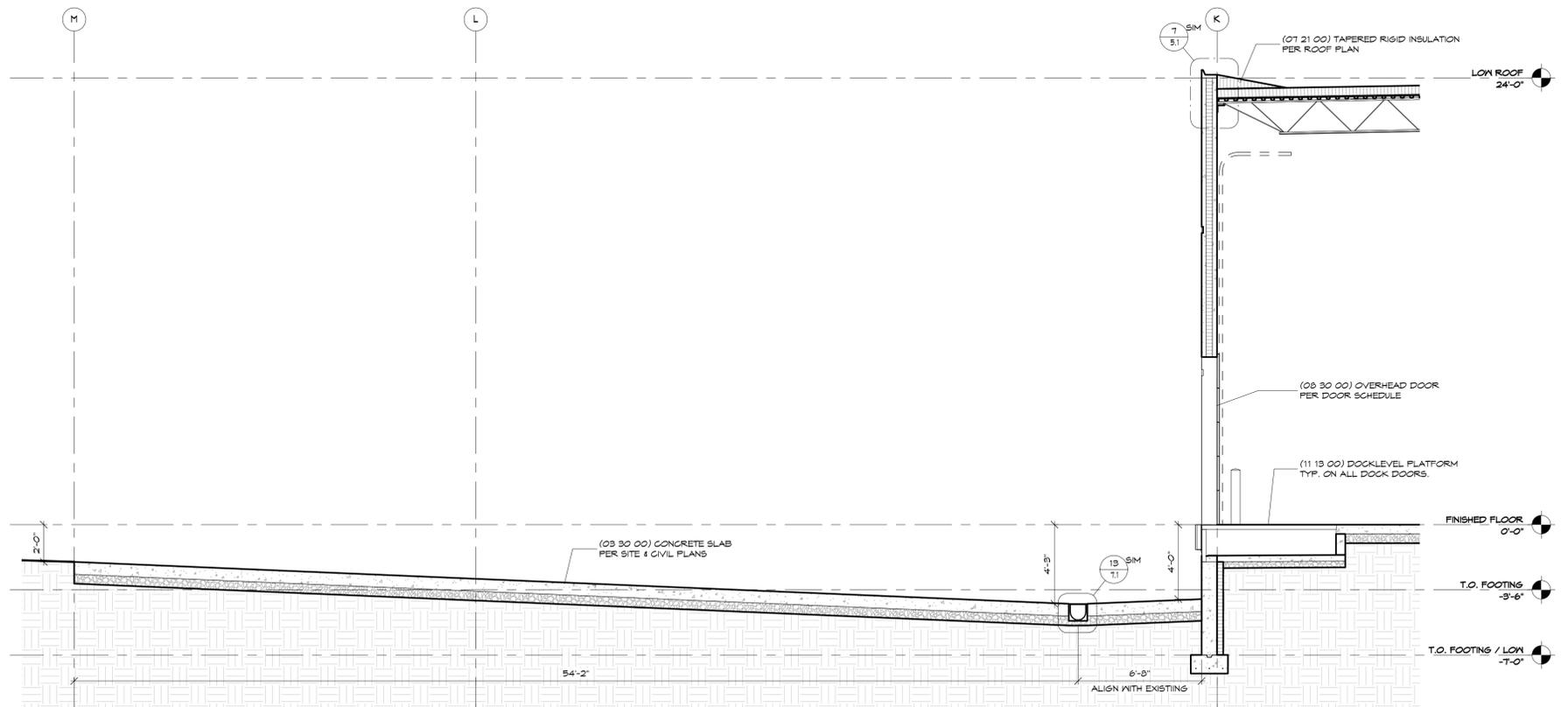


**2 Wall Section**  
1/2" = 1'-0"

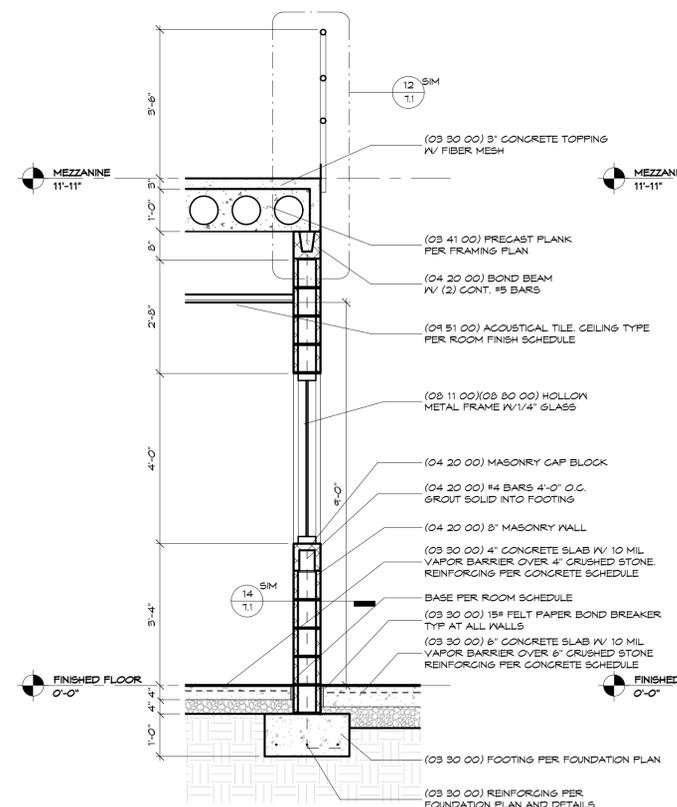




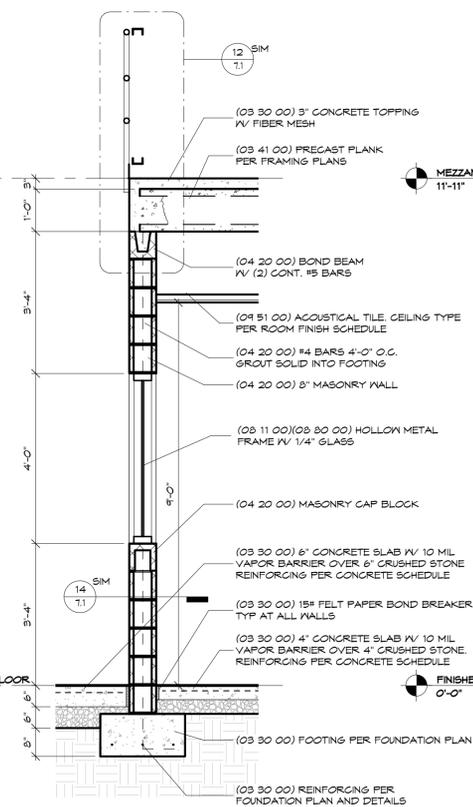
**7 Stair Section**  
1/4" = 1'-0"



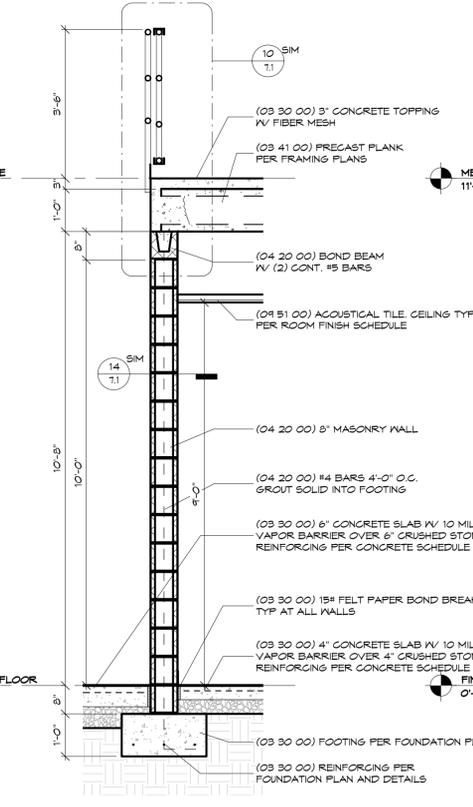
**6 Section @ Truck Dock**  
1/4" = 1'-0"



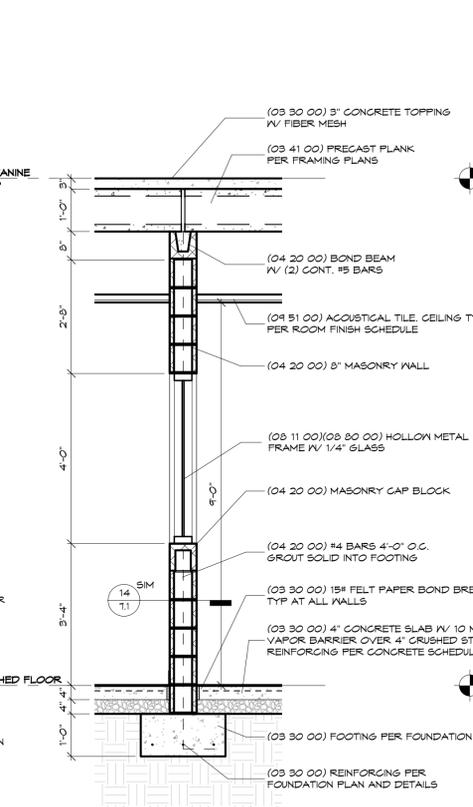
**5 Wall Section**  
1/2" = 1'-0"



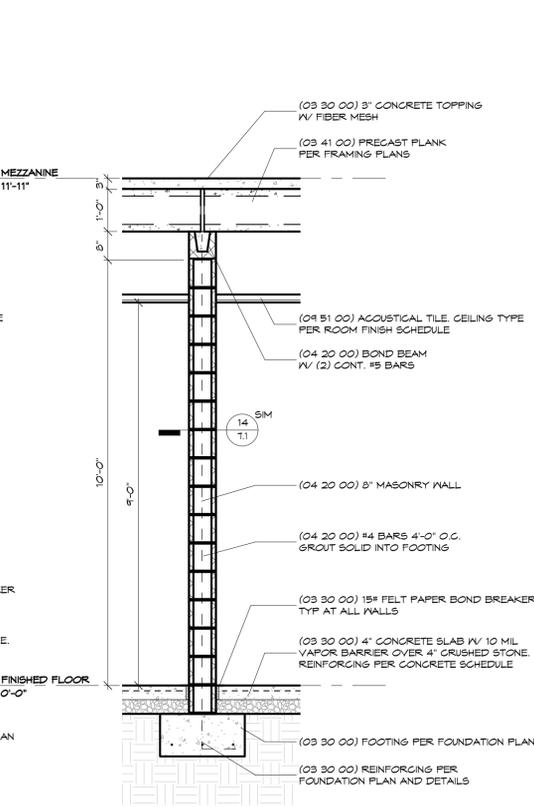
**4 Wall Section**  
1/2" = 1'-0"



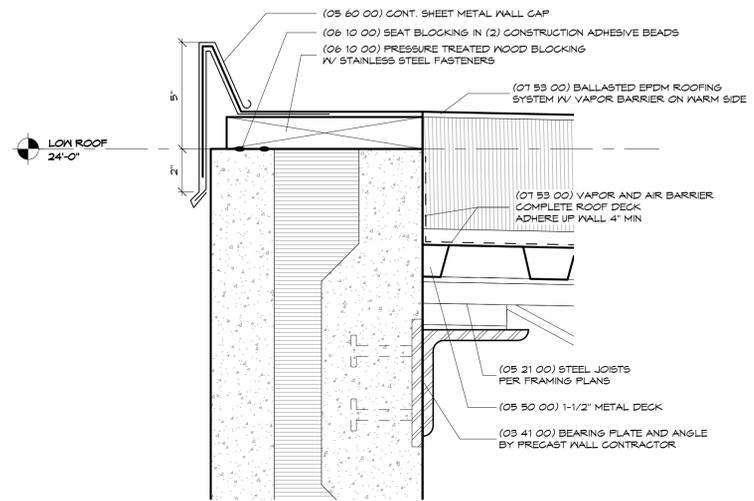
**3 Wall Section**  
1/2" = 1'-0"



**2 Wall Section**  
1/2" = 1'-0"

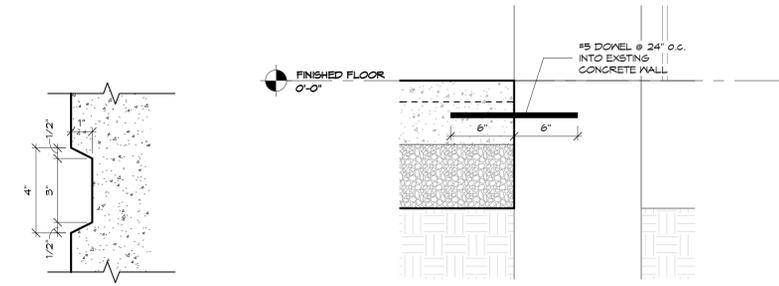


**1 Wall Section**  
1/2" = 1'-0"

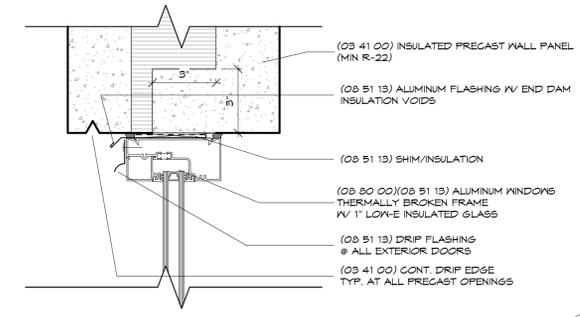


**4 Precast reveal**  
3" = 1'-0"

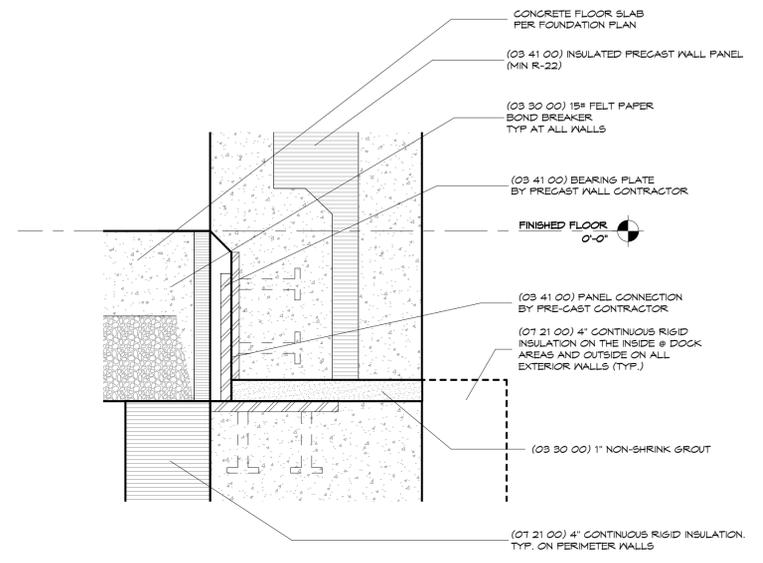
**3 Concrete Slab Dowel**  
1 1/2" = 1'-0"



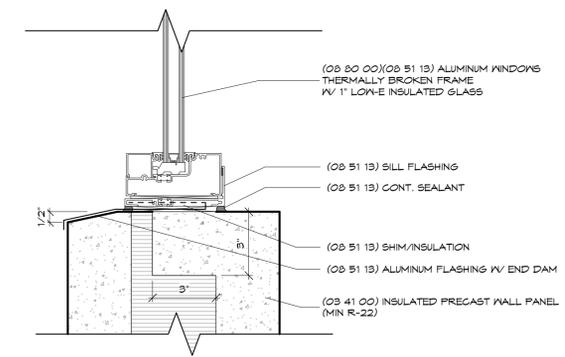
**7 Precast Wall Cap**  
3" = 1'-0"



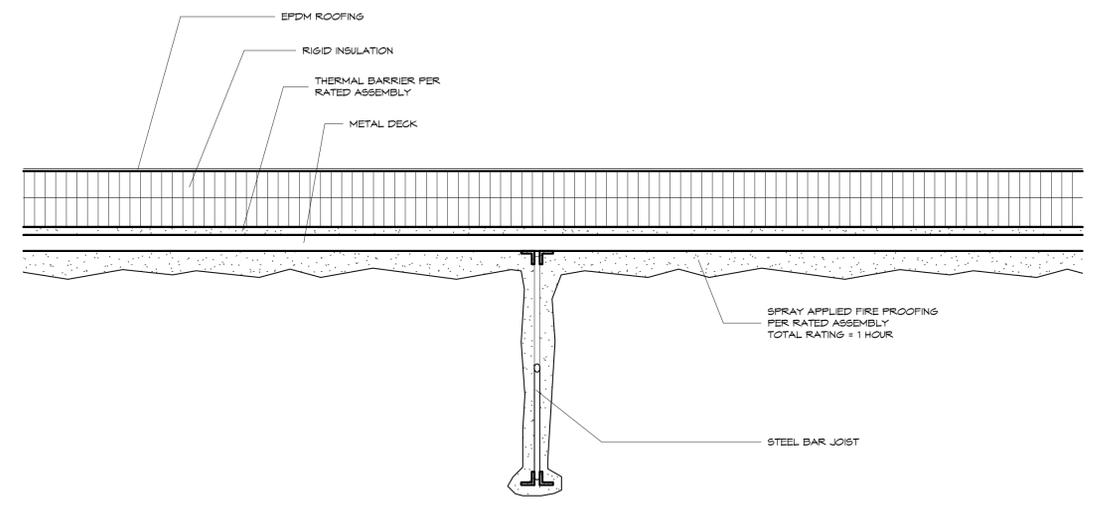
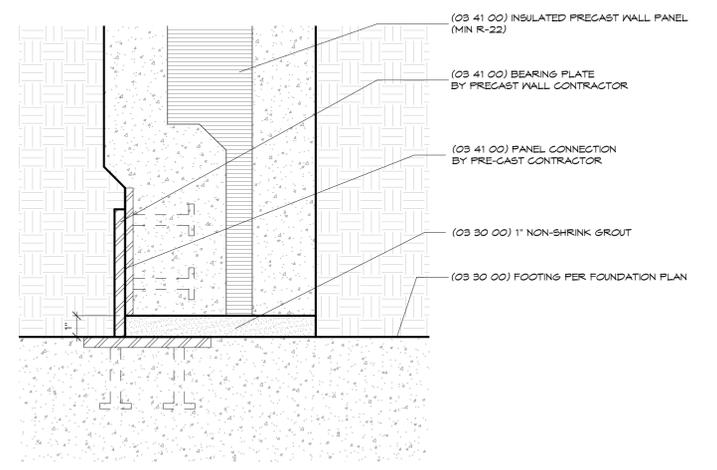
**2 Typ. Precast Wall Connection**  
3" = 1'-0"



**6 Precast Window Head**  
3" = 1'-0"



**1 Precast Wall Connection Detail**  
3" = 1'-0"



**8 Typical Roof Construction - 1 Hour**  
1 1/2" = 1'-0"

**5 Precast Window Sill**  
3" = 1'-0"



**DOOR SCHEDULE**

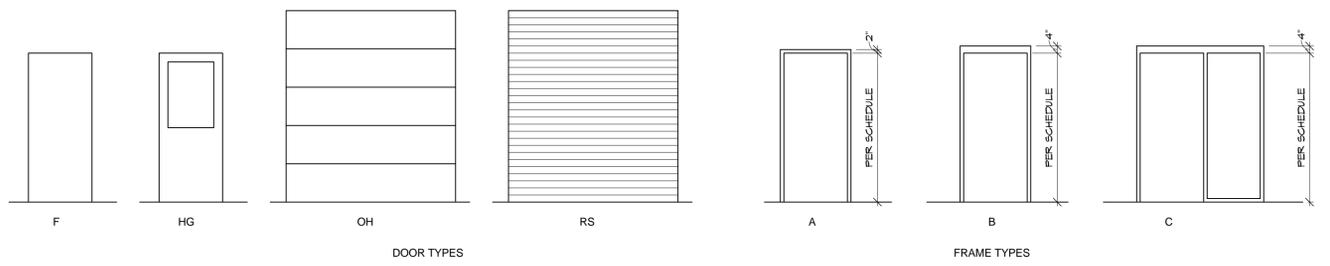
R	R	E	T	R	E	E	T	E	TER	S	TH	HE	HT	TH	ESS	ER	SS	T	E	R	E	SS	RE	R	S
101A	-	exterior	101	warehouse	-	F	Metal	LHRB	3'-0"	7'-0"	0'-1 3/4"	-	-	-	-	-	X	A	Metal	-	-	-	-	-	-
101B	102	entry	101	warehouse	-	HG	Metal	LHRB	3'-0"	7'-0"	0'-1 3/4"	-	-	-	-	-	X	B	Metal	-	-	-	-	-	-
101C	-	exterior	101	warehouse	-	F	Metal	RHRB	3'-0"	7'-0"	0'-1 3/4"	-	-	-	-	-	-	A	Metal	-	-	-	-	-	-
101D	-	exterior	101	warehouse	-	F	Metal	LHRB	3'-0"	7'-0"	0'-1 3/4"	-	-	-	-	-	-	A	Metal	-	-	-	-	-	-
101E	001	finished goods storage	101	warehouse	A	F	Metal	LH	3'-0"	7'-0"	0'-1 3/4"	-	-	-	-	-	-	A	Metal	-	-	-	-	-	-
101F	001	finished goods storage	101	warehouse	A	F	Metal	RHRB	3'-0"	7'-0"	0'-1 3/4"	-	-	-	-	-	-	A	Metal	-	-	-	-	-	-
101G	001	finished goods storage	101	warehouse	A	F	Metal	RH	3'-0"	7'-0"	0'-1 3/4"	-	-	-	-	-	-	A	Metal	-	-	-	-	-	-
102A	-	exterior	102	entry	-	HG	Metal	RHRB	3'-0"	7'-0"	0'-1 3/4"	-	-	-	-	-	Insulated	A	Metal	-	-	-	-	-	-
103A	102	entry	103	waiting	-	HG	Metal	LH	3'-0"	7'-0"	0'-1 3/4"	-	-	-	-	-	-	X	B	Metal	-	-	-	-	-
104A	102	entry	104	toilet	-	F	Metal	LHRB	3'-0"	7'-0"	0'-1 3/4"	-	-	-	-	-	-	B	Metal	-	-	-	-	-	-
105A	103	waiting	105	mechanical	-	F	Metal	RHRB	3'-0"	7'-0"	0'-1 3/4"	-	-	-	-	-	-	B	Metal	-	-	-	-	-	-
106A	101	warehouse	106	toilet	-	F	Metal	LH	3'-0"	7'-0"	0'-1 3/4"	-	-	-	-	-	-	B	Metal	-	-	-	-	-	-
107A	101	warehouse	107	office	-	HG	Metal	RH	3'-0"	7'-0"	0'-1 3/4"	-	-	-	-	-	-	X	C	Metal	X	-	-	-	-
108A	108	conference	107	office	-	HG	Metal	RHRB	3'-0"	7'-0"	0'-1 3/4"	-	-	-	-	-	-	X	B	Metal	-	-	-	-	-

**HARDWARE SCHEDULE**

R	SET	SH	H	E	SER	H	E	R	ST	THRESH	E	TH	STR	TE	S	ST	E	TE	TES	
101A	Entry - Panic	-	-	-	X	B.B.	OH	X	X	X	-	-	-	-	-	-	-	-	-	-
101B	Entry - Panic	-	-	-	X	B.B.	Wall	-	-	-	-	-	-	-	-	-	-	-	-	Electric Strike
101C	Exit Only - Panic	-	-	-	X	B.B.	OH	X	X	X	-	-	-	-	-	-	-	-	-	-
101D	Exit Only - Panic	-	-	-	X	B.B.	OH	X	X	X	-	-	-	-	-	-	-	-	-	-
101E	Passage - Panic	-	-	-	X	B.B.	OH	-	-	-	X	-	-	-	-	-	-	-	-	-
101F	Passage - Panic	-	-	-	X	B.B.	OH	-	-	-	X	-	-	-	-	-	-	-	-	-
101G	Passage - Panic	-	-	-	X	B.B.	OH	-	-	-	X	-	-	-	-	-	-	-	-	-
102A	Entry - Panic	-	-	-	X	B.B.	OH	X	X	X	-	-	-	-	-	-	-	-	-	-
103A	Entry - Panic	-	X	X	X	B.B.	Wall	-	-	-	-	-	-	X	-	-	-	-	-	Drivers
104A	Privacy	-	-	-	-	X	Wall	-	-	-	X	X	-	-	-	-	-	-	-	Restroom
105A	Storage	-	-	-	-	X	Wall	-	-	-	X	-	-	-	-	-	-	-	-	-
106A	Privacy	-	-	-	-	X	Wall	-	-	-	X	-	-	-	-	-	-	-	-	Restroom
107A	Entry	-	X	X	X	B.B.	OH	-	-	-	-	-	-	X	-	-	-	-	-	Office
108A	Entry	-	-	-	-	X	OH	-	-	-	-	-	-	-	X	-	-	-	-	Conference

**SPECIAL DOOR SCHEDULE**

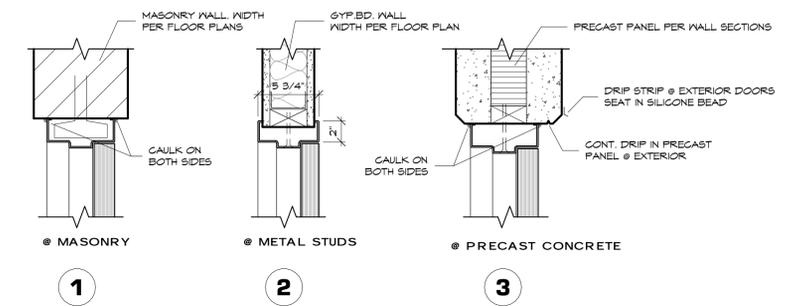
R	R	E	T	R	E	E	T	E	TER	S	TH	HE	HT	TH	ESS	ER	SS	T	E	R	E	SS	RE	R	S
OH-01	-	exterior	101	warehouse	-	OH	Steel	-	8'-0"	9'-0"	0'-1 1/2"	-	-	-	-	-	X	-	-	-	-	-	-	-	-
OH-02	-	exterior	101	warehouse	-	OH	Steel	-	8'-0"	9'-0"	0'-1 1/2"	-	-	-	-	-	X	-	-	-	-	-	-	-	-
OH-03	-	exterior	101	warehouse	-	OH	Steel	-	8'-0"	9'-0"	0'-1 1/2"	-	-	-	-	-	X	-	-	-	-	-	-	-	-
OH-04	-	exterior	101	warehouse	-	OH	Steel	-	8'-0"	9'-0"	0'-1 1/2"	-	-	-	-	-	X	-	-	-	-	-	-	-	-
OH-05	-	exterior	101	warehouse	-	OH	Steel	-	8'-0"	9'-0"	0'-1 1/2"	-	-	-	-	-	X	-	-	-	-	-	-	-	-
OH-06	-	exterior	101	warehouse	-	OH	Steel	-	8'-0"	9'-0"	0'-1 1/2"	-	-	-	-	-	X	-	-	-	-	-	-	-	-
OH-07	-	exterior	101	warehouse	-	OH	Steel	-	8'-0"	9'-0"	0'-1 1/2"	-	-	-	-	-	X	-	-	-	-	-	-	-	-
OH-08	-	exterior	101	warehouse	-	OH	Steel	-	8'-0"	9'-0"	0'-1 1/2"	-	-	-	-	-	X	-	-	-	-	-	-	-	-
OH-09	-	exterior	101	warehouse	-	OH	Steel	-	8'-0"	9'-0"	0'-1 1/2"	-	-	-	-	-	X	-	-	-	-	-	-	-	-
OH-10	-	exterior	101	warehouse	-	OH	Steel	-	8'-0"	9'-0"	0'-1 1/2"	-	-	-	-	-	X	-	-	-	-	-	-	-	-
OH-11	-	exterior	101	warehouse	-	OH	Steel	-	8'-0"	9'-0"	0'-1 1/2"	-	-	-	-	-	X	-	-	-	-	-	-	-	-
OH-12	-	exterior	101	warehouse	-	OH	Steel	-	8'-0"	9'-0"	0'-1 1/2"	-	-	-	-	-	X	-	-	-	-	-	-	-	-
RG-1	101	warehouse	001	finished goods storage	A	RG	Steel	-	12'-0"	12'-8"	0'-0 1/2"	-	-	-	-	-	-	-	-	-	-	-	-	-	Fusible Link
RG-2	101	warehouse	001	finished goods storage	A	RG	Steel	-	12'-0"	12'-8"	0'-0 1/2"	-	-	-	-	-	-	-	-	-	-	-	-	-	Fusible Link
RG-3	101	warehouse	001	finished goods storage	A	RG	Steel	-	12'-0"	12'-8"	0'-0 1/2"	-	-	-	-	-	-	-	-	-	-	-	-	-	Fusible Link
RG-4	101	warehouse	001	finished goods storage	A	RG	Steel	-	12'-0"	12'-8"	0'-0 1/2"	-	-	-	-	-	-	-	-	-	-	-	-	-	Fusible Link



**Doors and Frames**

- LEVER ENTRANCE LOCK**  
Turn/Push-button locking. Pushing and turning button locks outside lever requiring use of key until button is manually unlocked.  
Push-button locking. Push button locks outside lever until locked by outside key or by turning inside lever. Panic bar where scheduled.
- LEVER EXIT ONLY LOCK**  
Outside has no hardware. Inside lever or panic always unlocked.
- LEVER STOREROOM LOCK**  
Outside lever fixed, unlocked by key. Inside lever always unlocked.
- LEVER PRIVACY LOCK**  
Push-button locking. Can be opened from outside by emergency key, screwdriver, or similar tool.
- LEVER PASSAGE LOCK**  
Both levers free. Panic bar where scheduled.

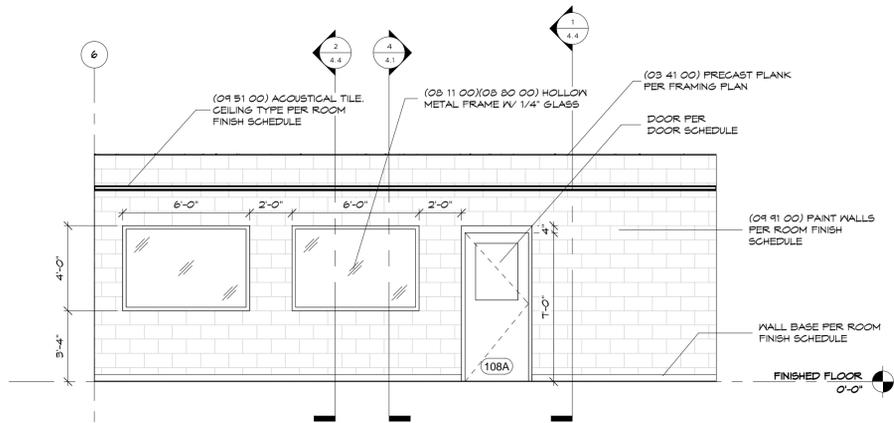
**Lockset Types**



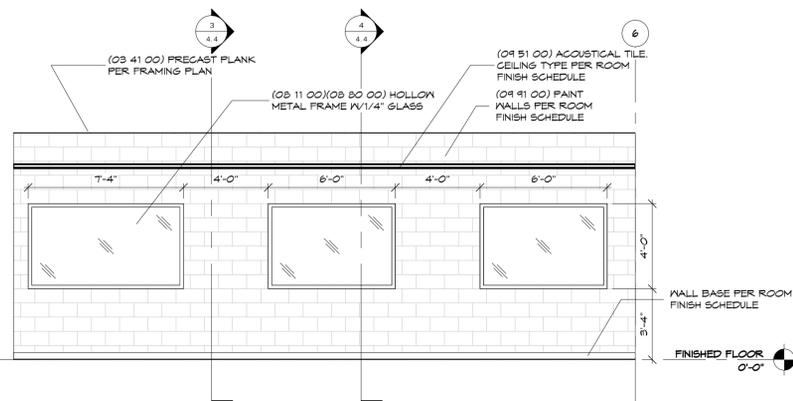
**Door Frame Details**

**ROOM FINISH SCHEDULE**

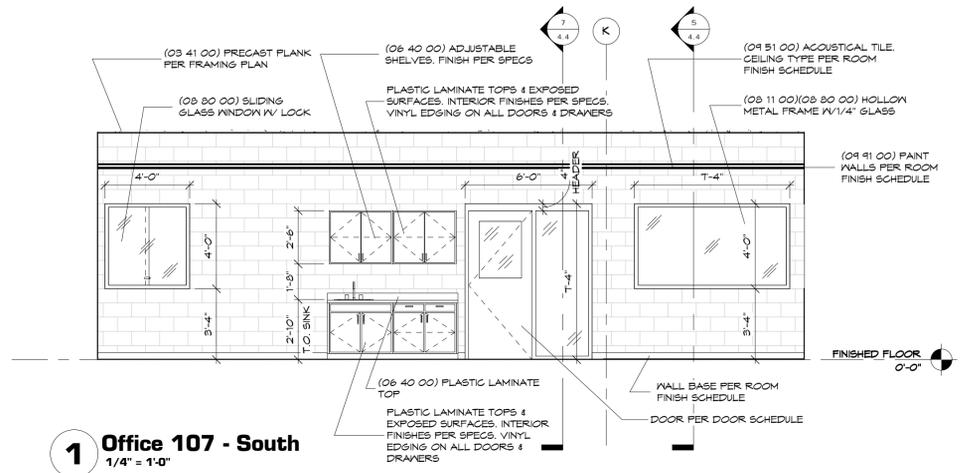
Room Number	Room Name	Floor Finish	Base Finish	Walls				Ceiling Finish	Ceiling Height	Interior Elevations on Sheet Number				Comments	PAINTING SCHEDULE									
				North	South	East	West			North.	South.	East.	West.		Floor	North	South	East	West	Ceiling	Metal	Wood	Comments.	
101	warehouse	Concrete	-	Precast	Precast	Precast / CMU	Precast	Metal Deck & Joists	23' - 6"	-	-	-	-	-	-	Sealer	Latex Acrylic	Latex Acrylic	Latex Acrylic	Latex Acrylic	Dryfall	Enamel	-	-
102	entry	Concrete	4" Vinyl	CMU	Precast	Precast	CMU	ACT-1	9' - 0"	7 / 7.1	-	-	-	-	-	Sealer	Latex Acrylic	Latex Acrylic	Latex Acrylic	Latex Acrylic	-	Enamel	-	-
103	waiting	Epoxy	4" Epoxy	CMU	CMU	Precast	CMU	ACT-1	9' - 0"	-	-	-	-	-	-	-	Latex Acrylic	Latex Acrylic	Latex Acrylic	Latex Acrylic	-	Enamel	-	-
104	toilet	Epoxy	4" Epoxy	CMU	CMU	CMU	CMU	ACT-2	8' - 0"	5 / 7.1	-	4 / 7.1	-	-	-	-	Latex Acrylic	Latex Acrylic	Latex Acrylic	Latex Acrylic	-	Enamel	-	-
105	mechanical	Epoxy	4" Epoxy	CMU	CMU	CMU	CMU	ACT-2	9' - 0"	-	-	-	6 / 7.1	-	-	Sealer	Latex Acrylic	Latex Acrylic	Latex Acrylic	Latex Acrylic	-	Enamel	-	-
106	toilet	Epoxy	4" Epoxy	CMU	CMU	CMU	CMU	ACT-2	8' - 0"	-	5 / 7.1	4 / 7.1	-	-	-	-	Latex Acrylic	Latex Acrylic	Latex Acrylic	Latex Acrylic	-	Enamel	-	-
107	office	Epoxy	4" Epoxy	Precast	CMU	CMU	CMU	ACT-1	9' - 0"	-	1 / 7.1	3 / 7.1	2 / 7.1	-	-	-	Latex Acrylic	Latex Acrylic	Latex Acrylic	Latex Acrylic	-	Enamel	-	-
108	conference	Epoxy	4" Epoxy	Precast	CMU	Precast	CMU	ACT-1	9' - 0"	-	-	-	-	-	-	-	Latex Acrylic	Latex Acrylic	Latex Acrylic	Latex Acrylic	-	Enamel	-	-
201	mezzanine	Concrete	-	Precast	Precast	Precast	-	Metal Deck & Joists	11' - 7"	-	-	-	-	-	-	Sealer	Latex Acrylic	Latex Acrylic	Latex Acrylic	-	Dryfall	Enamel	-	-



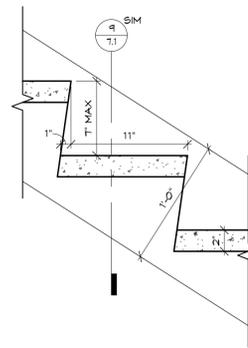
**3 Office 107 - East**  
1/4" = 1'-0"



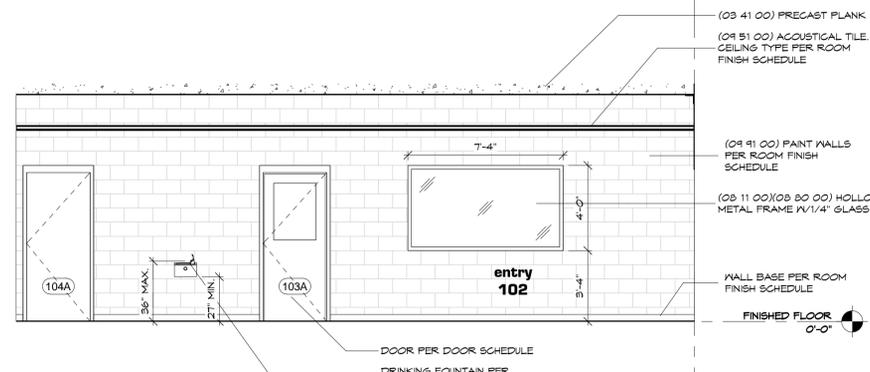
**2 Office 107 - West**  
1/4" = 1'-0"



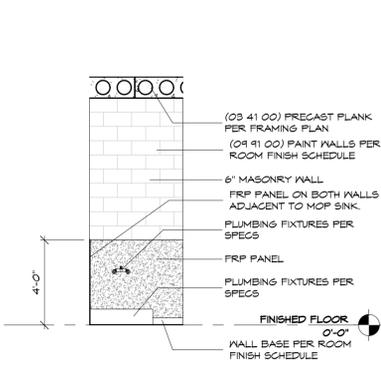
**1 Office 107 - South**  
1/4" = 1'-0"



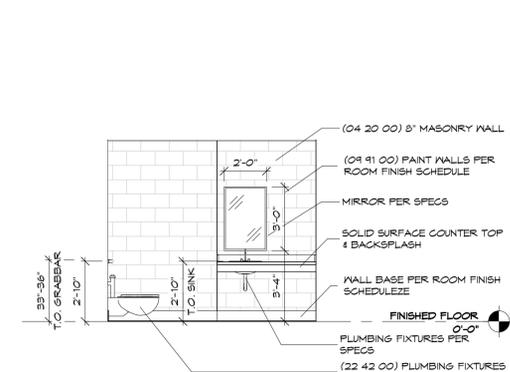
**8 Stair Typ.**  
1 1/2" = 1'-0"



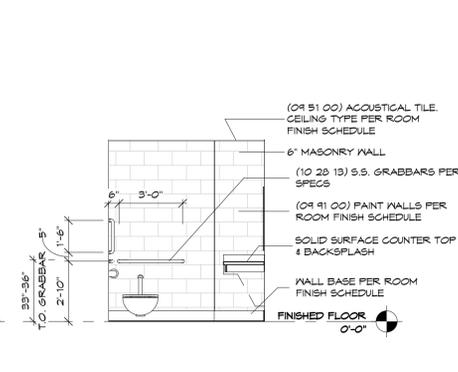
**7 Entry 102 - North**  
1/4" = 1'-0"



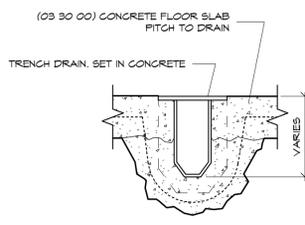
**6 Mechanical 105 - West**  
1/4" = 1'-0"



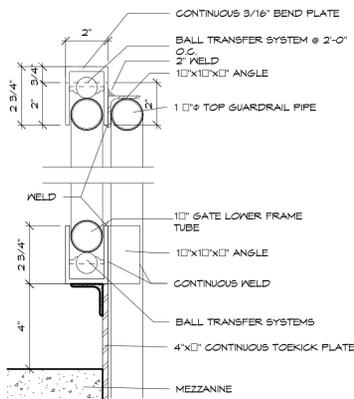
**5 Toilet 106 - South**  
1/4" = 1'-0"



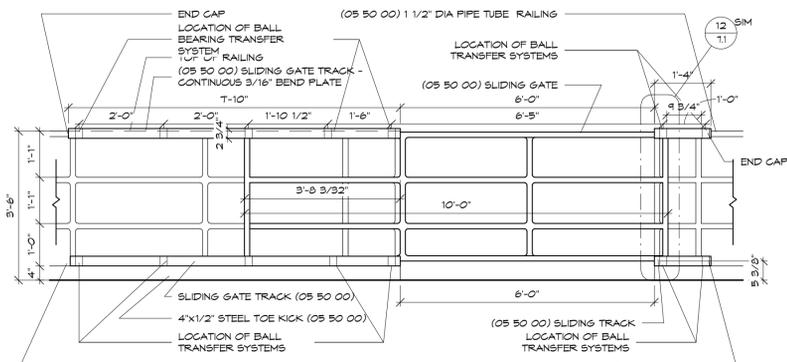
**4 Toilet 106 - East**  
1/4" = 1'-0"



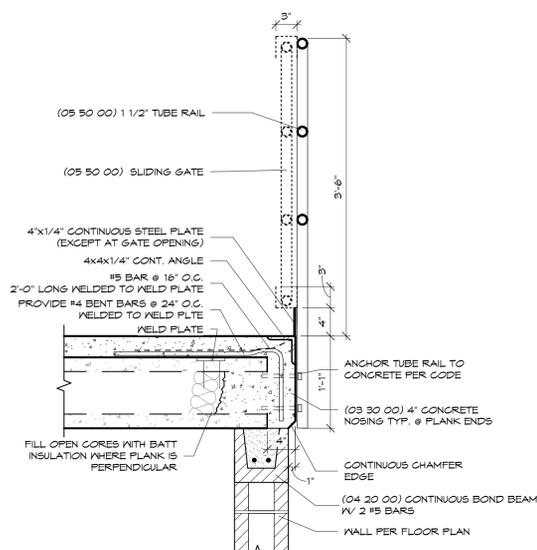
**13 Trench Drain**  
1 1/2" = 1'-0"



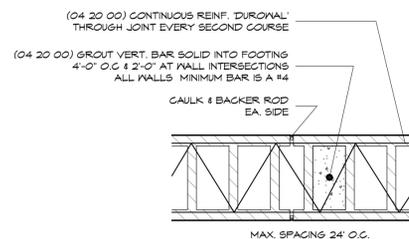
**12 Sliding Gate Detail**  
3" = 1'-0"



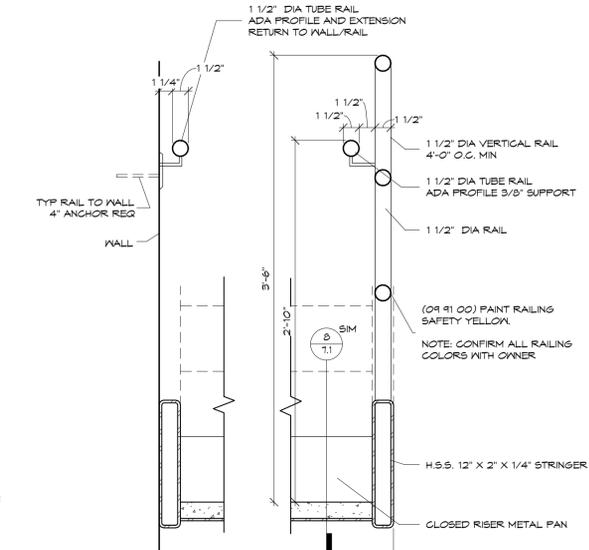
**11 Mezzanine Sliding Gate - Typ. Elevation**  
1/2" = 1'-0"



**10 Mezzanine Guardrail Section**  
1" = 1'-0"



**14 Masonry Control Joint**  
1 1/2" = 1'-0"



**9 Pipe Rail Stair - Egress**  
1 1/2" = 1'-0"

**FOOTING SCHEDULE**

R	S E	RE R
F-1	3'-6" x 3'-6" x 1'-0"	4 - #5 BARS EACH WAY
F-2	5'-0" x 5'-0" x 1'-0"	6 - #5 BARS EACH WAY
F-3	6'-3" x 6'-3" x 1'-0"	7 - #5 BARS EACH WAY
ST-1	24" x 12"	3 - #5 BARS CONTINUOUS

**PIER SCHEDULE**

R	S E	RE R
P-1	16 X 16	4 - #8 BARS VERTICAL, #3 TIES @ 16" O.C.

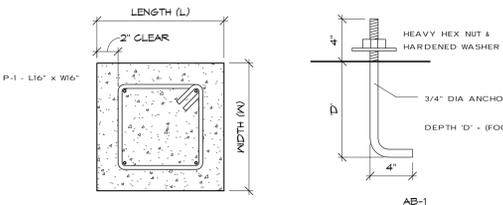
**COLUMN SCHEDULE**

R	T E	E R	SE TE
C-1	W10X33	-0'-8"	14" x 1/2" x 1'-2" BASE PLATE
C-2	W10X45	-0'-8"	14" x 3/4" x 1'-2" BASE PLATE

**CONCRETE SLAB NOTES**

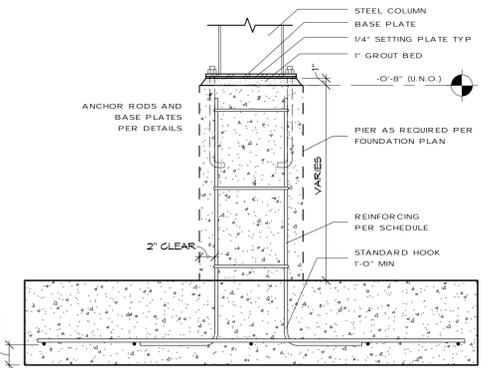
**RETET E**  
 4" CONCRETE SLAB - 6 x 6 W 1.4 x W 1.4 WWF  
 W/ 10 MIL POLYETHYLENE VAPOR BARRIER  
 OVER 4" COMPACTED CRUSHED STONE

**RETET E**  
 6" CONCRETE SLAB - 6 x 6 W 2.9 x W 2.9 WWF  
 W/ 10 MIL POLYETHYLENE VAPOR BARRIER  
 OVER 6" COMPACTED CRUSHED STONE

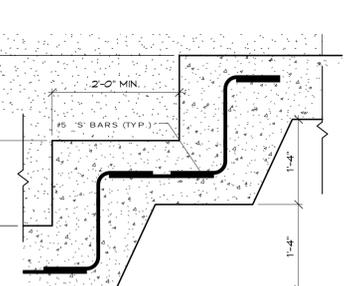


**8 Pier Reinforcing Detail**  
 1 1/2" = 1'-0"

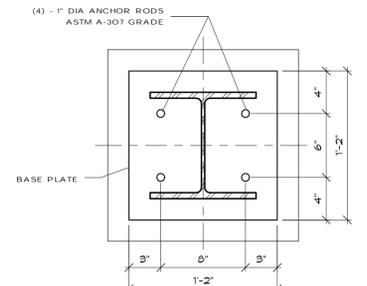
**9 Anchor Rods**  
 1 1/2" = 1'-0"



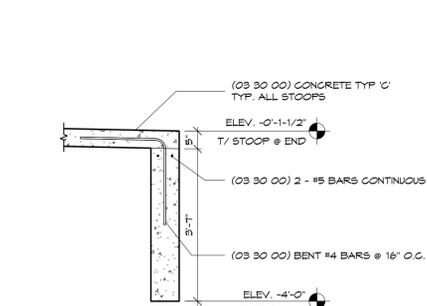
**7 Typical Pad Footing**  
 1" = 1'-0"



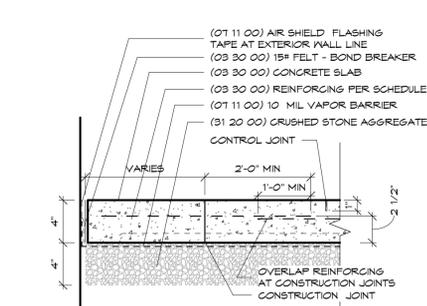
**6 Footing Step - Typ.**  
 3/4" = 1'-0"



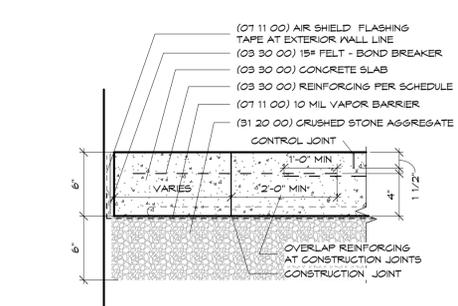
**5 Base Plate - 10" Wide Flange**  
 1 1/2" = 1'-0"



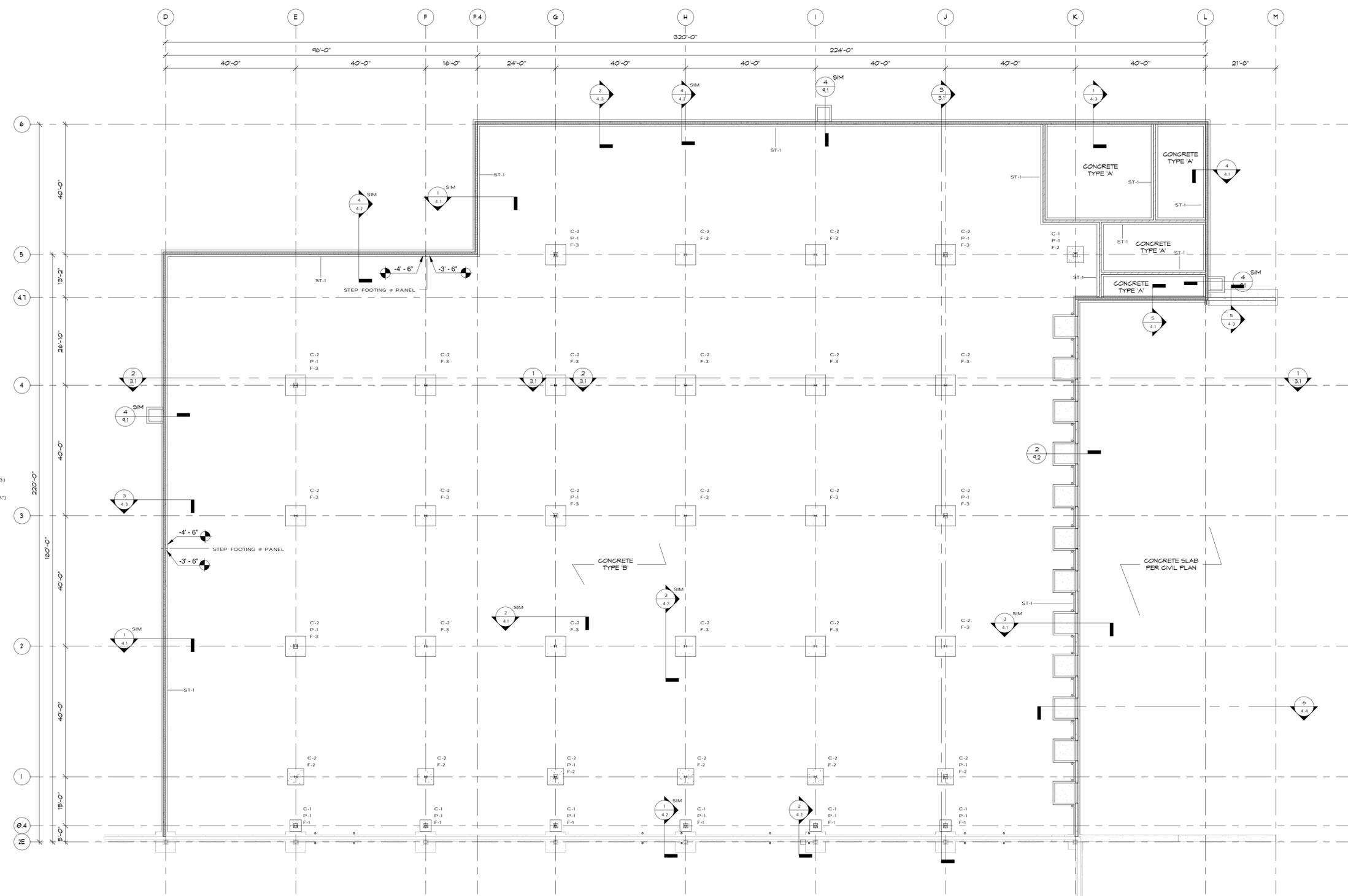
**4 Stoop Frost Wall**  
 1/2" = 1'-0"



**3 Concrete Slab - Type A**  
 1 1/2" = 1'-0"



**2 Concrete Slab - Type B**  
 1 1/2" = 1'-0"



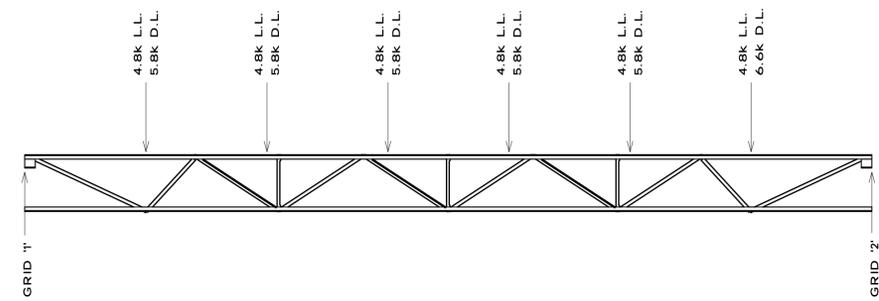
**1 Foundation Plan**  
 1/16" = 1'-0"

ROOF LOAD SYSTEM @ METAL DECK & JOISTS	
LIVE LOAD	21 P.S.F.
DEAD LOAD 23 P.S.F.	
MEMBRANE ROOF (BALLASTED)	12.0
INSULATION	1.5
DECK	1.8
FIRE PROTECTION	3.0
MECHANICAL	2.0
MISCELLANEOUS (SFRM)	2.0
	22.3
DESIGN LOAD	44 P.S.F.

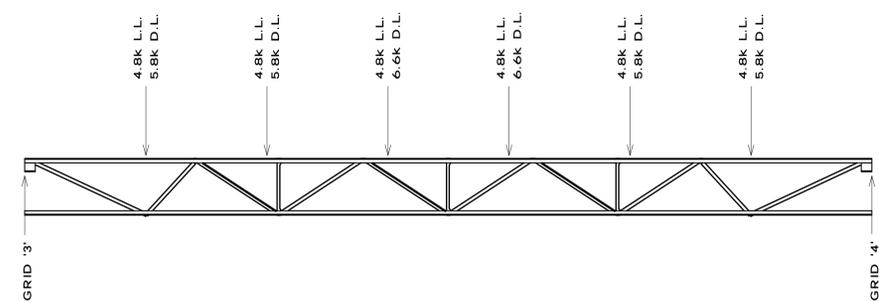
FLOOR LOAD SYSTEM @ HOLLOWCORE DECK	
LIVE LOAD (LIGHT STORAGE)	125 P.S.F.
DEAD LOAD 124 P.S.F.	
3" CONCRETE TOPPING	37.5
12" HOLLOWCORE DECK	79.0
SUSPENDED CEILING SYSTEM	1.8
FIRE PROTECTION	3.0
MECHANICAL	2.0
	123.3
DESIGN LOAD	249 P.S.F.

LINTEL SCHEDULE			
R	T E	T E S E	R E R E E R
L-1	2L3-1/2X2-1/2X1/4		GROUT 3 COURSES SOLID
L-2	2L3-1/2X3-1/2X1/4		GROUT 3 COURSES SOLID
L-3	W8X18	1/4" X 7" PLATE	#4 BAR - GROUT SOLID TO FOOTING

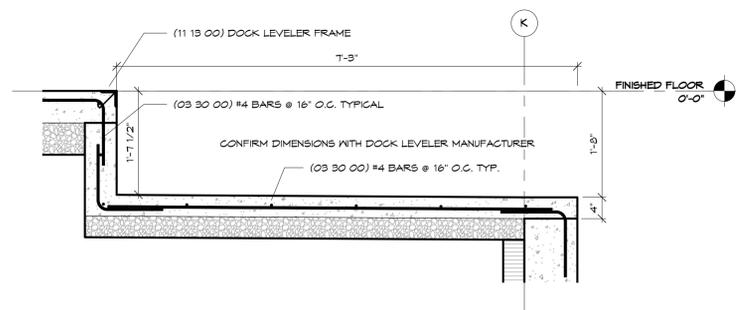
STRUCTURAL LOADS						
MARK	CONCENTRATED LOAD			UNIFORM LOAD		
	LL (k)	DL (k)	TL (k)	LL (k)	DL (k)	TL (k)
1	1.2	1.5	2.7	0	0	0
2	2.4	2.9	5.3	0	0	0
3	0	0	0	60	66	126
4	14.4	18.3	32.7	0	0	0
5	1.4	1.7	3.1	0	0	0
6	11.4	14.7	26.1	0	0	0
7	2.8	3.3	6.1	0	0	0
8	4.5	5.6	10.1	0	0	0
9	0	0	0	989	981	1930
10	0	0	0	2021	2005	4026



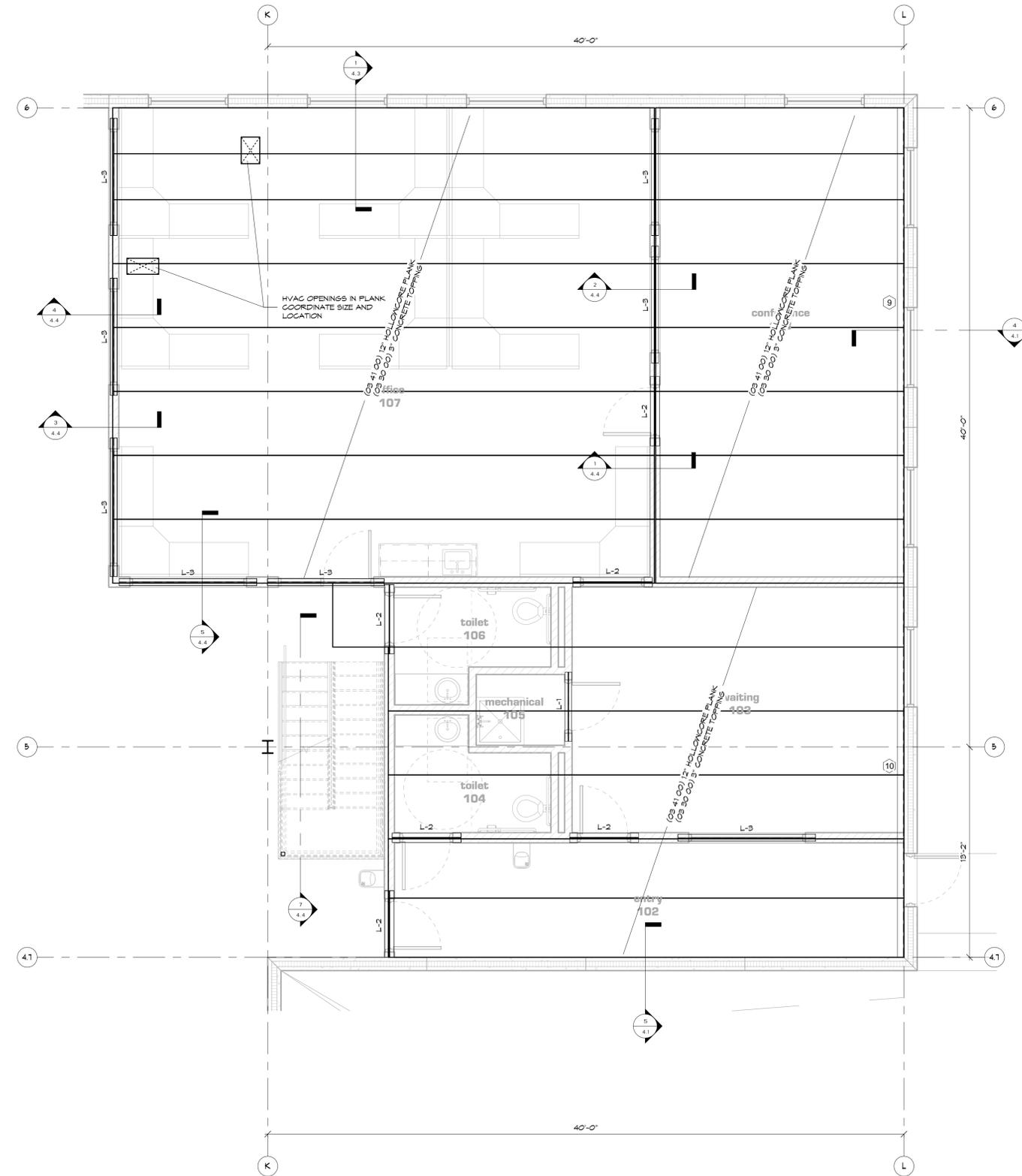
**32G 7N xxK - SP - G1**  
1/4" = 1'-0"



**32G 7N xxK - SP - G2**  
1/4" = 1'-0"



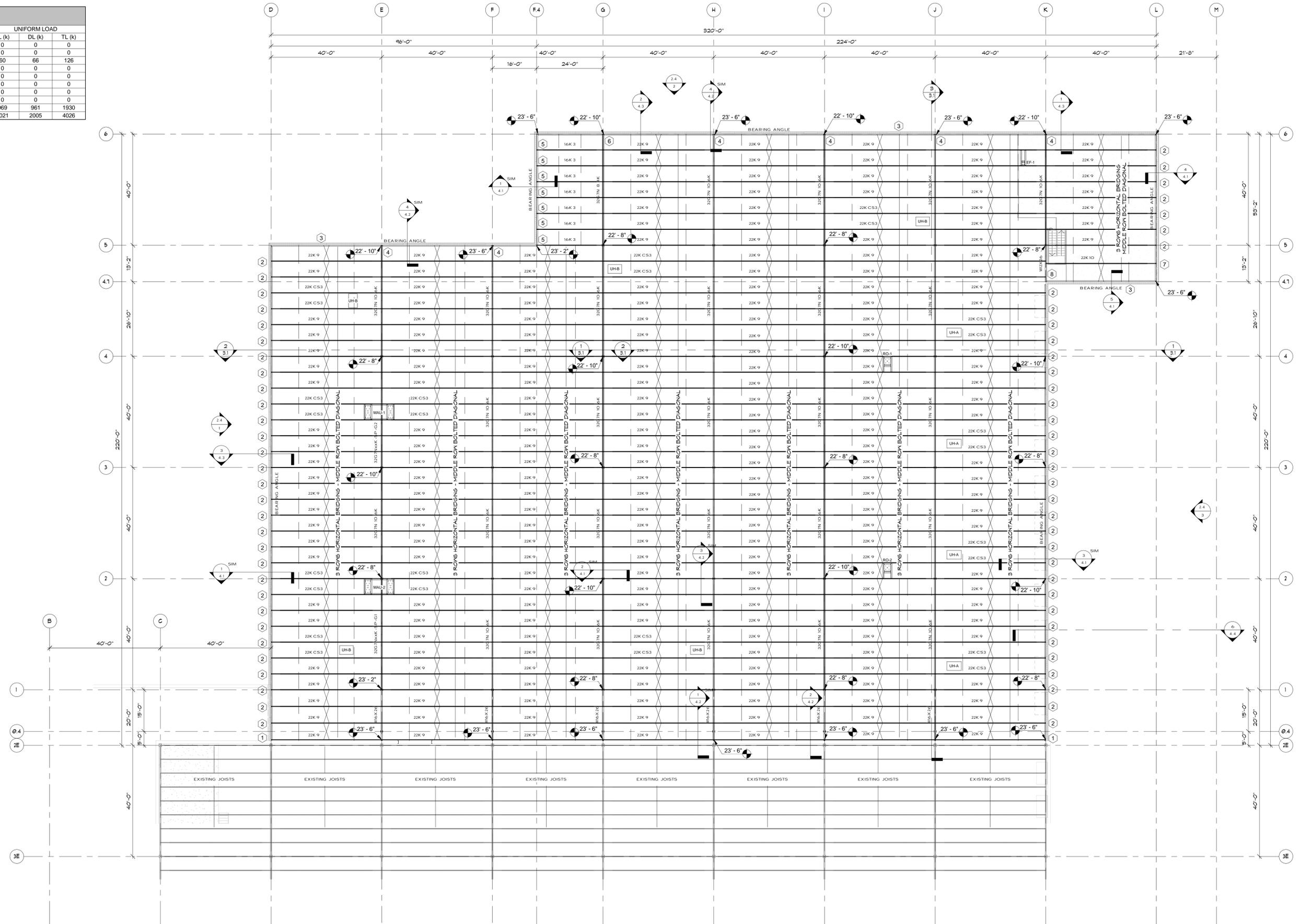
**2 Dock Pit Detail**  
3/4" = 1'-0"



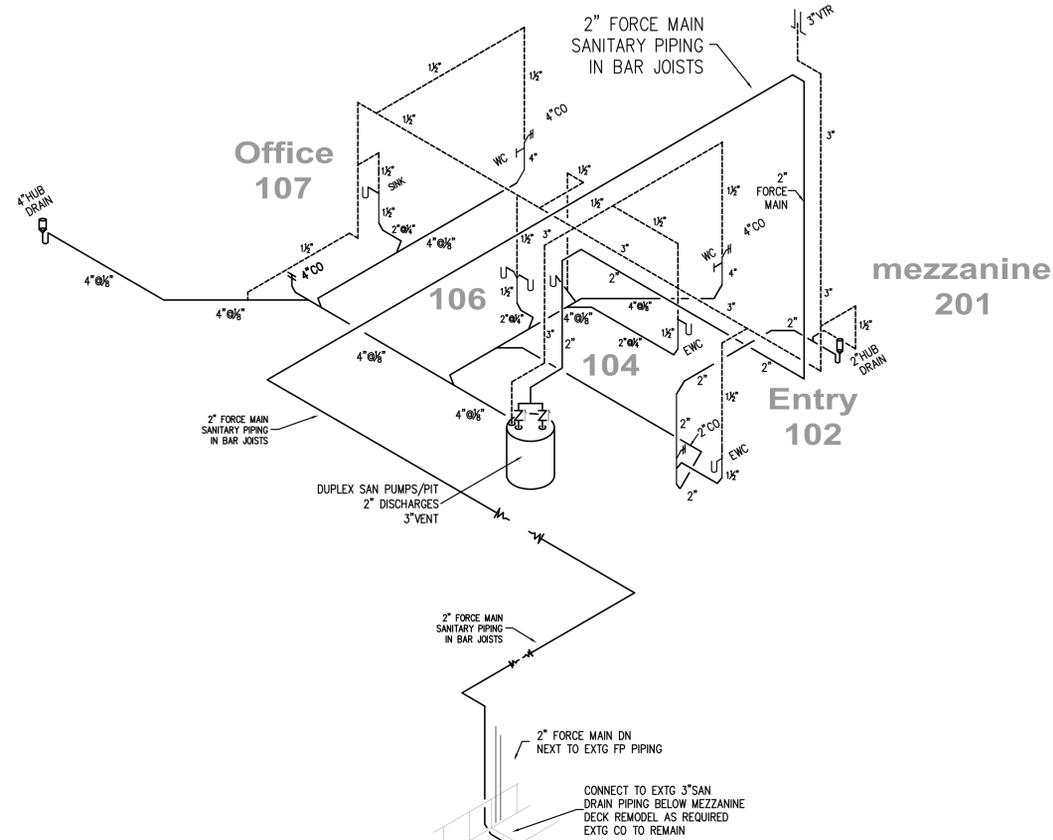
**1 Framing Plan - Mezzanine**  
1/4" = 1'-0"

**STRUCTURAL LOADS**

MARK	CONCENTRATED LOAD			UNIFORM LOAD		
	LL (k)	DL (k)	TL (k)	LL (k)	DL (k)	TL (k)
1	1.2	1.5	2.7	0	0	0
2	2.4	2.9	5.3	0	0	0
3	0	0	0	60	66	126
4	14.4	18.3	32.7	0	0	0
5	1.4	1.7	3.1	0	0	0
6	11.4	14.7	26.1	0	0	0
7	2.8	3.3	6.1	0	0	0
8	4.5	5.6	10.1	0	0	0
9	0	0	0	969	961	1930
10	0	0	0	2021	2005	4026

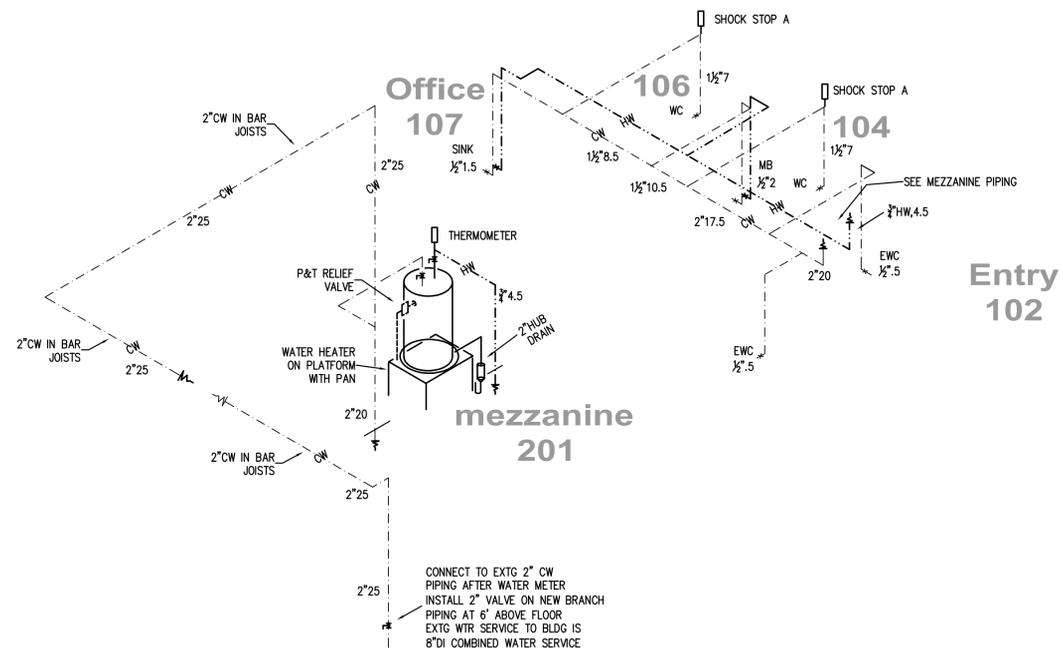


**1 Roof Framing Plan**  
1/16" = 1'-0"



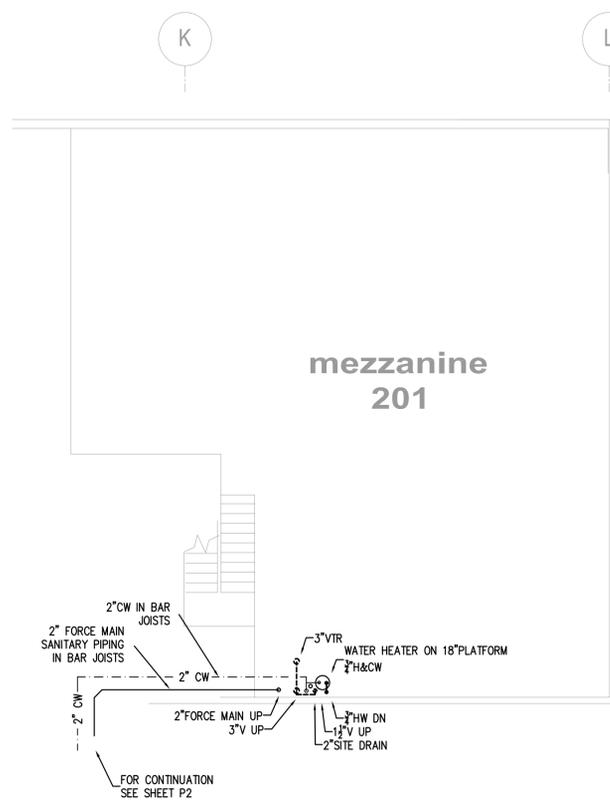
## Waste & Vent Piping Schematic

NO SCALE



## Water Piping Schematics

NO SCALE



**MEZZANINE PLAN**  
1/8" = 1'-0"

### WATER CALCULATION WORKSHEET

Information Needed for Water Service Sizing

1. 37 Demand of building in gallons per minute FOR THIS AREA.
2. 50 Low pressure at EXTG WTR PIPING
3. — Difference in elevation from main to meter (or external pressure tank to building control valve).
4. 2" Size of water meter (if applicable).
5. — Developed length from main to meter (or external pressure tank to building control valve).

You Must First Find the Available Pressure After the Water Meter (or at building control valve). To obtain this pressure, you must:

6. — Find pressure loss due to friction in 8 inch diameter water service.
7. — Find pressure loss due to elevation, main to meter (or external pressure tank to building control valve). Multiply the difference in elevation by .434 p.s.i./ft.
8. — Find pressure loss due to meter (from manufacturer or AWWA).
9. 50 Subtract the loss due to friction (Step 6), loss due to elevation (Step 7), and loss due to meter (Step 8) from the low main pressure (or low pressure at external pressure tank)(step 2). This calculation is the available pressure after the water meter (or at the building control valve). This answer is entered in Line B, below.

Information Needed for Water Distribution Sizing

Using the following formula, find the pressure available for uniform loss (psi/100' of pipe)

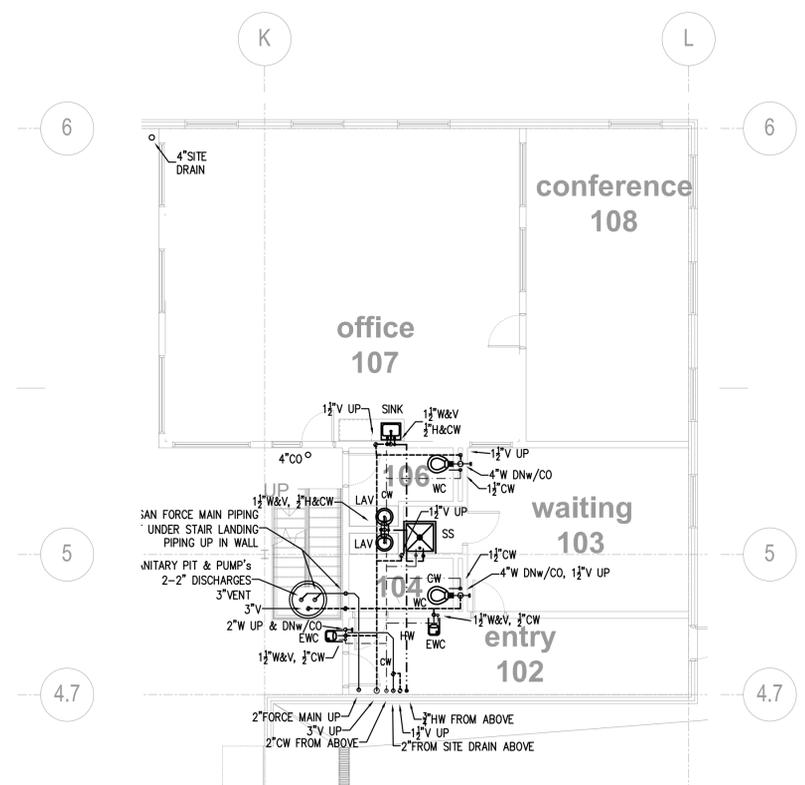
$$A = \frac{B - (C + D + E)}{F} \times 100$$

WHERE:

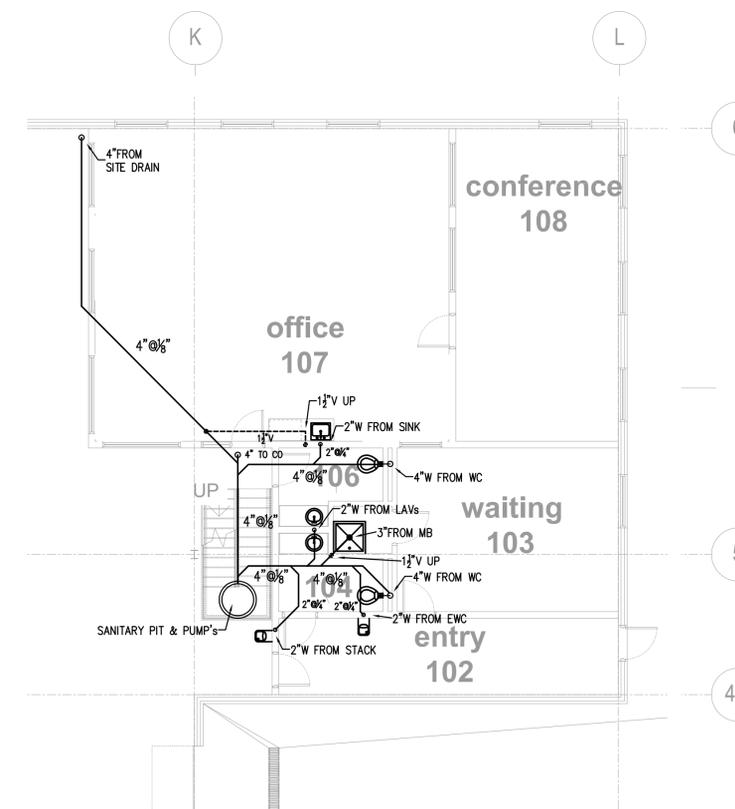
- A. 4 Pressure available for uniform loss (p.s.i./100' of pipe).
- B. 50 Available pressure after water meter (at the building control valve or low pressure at internal pressure tank). (See step 9, above).
- C. 20 Pressure needed at controlling fixture.
- D. — Difference in elevation between water meter (building control valve or internal pressure tank) and controlling fixture in feet — x .434 p.s.i./ft.
- E. 0 Pressure loss due to water softeners, water treatment devices, instantaneous water heaters and backflow preventers which serve the controlling fixture. Conventional water heaters usually do not have a pressure loss.
- F. .750 Developed length from water meter (building control valve or internal pressure tank) to controlling fixture, 500x 1.5

L COPPER

FLUSH TANK	FLUSH VALVE
1/2"	2
3/4"	7
1"	16.5
1"	4
1 1/4"	7
1 1/2"	18
2"	108
2 1/2"	356
3"	698



**FIRST FLOOR PLAN**  
1/8" = 1'-0"



**UNDERGROUND PLAN**  
1/8" = 1'-0"

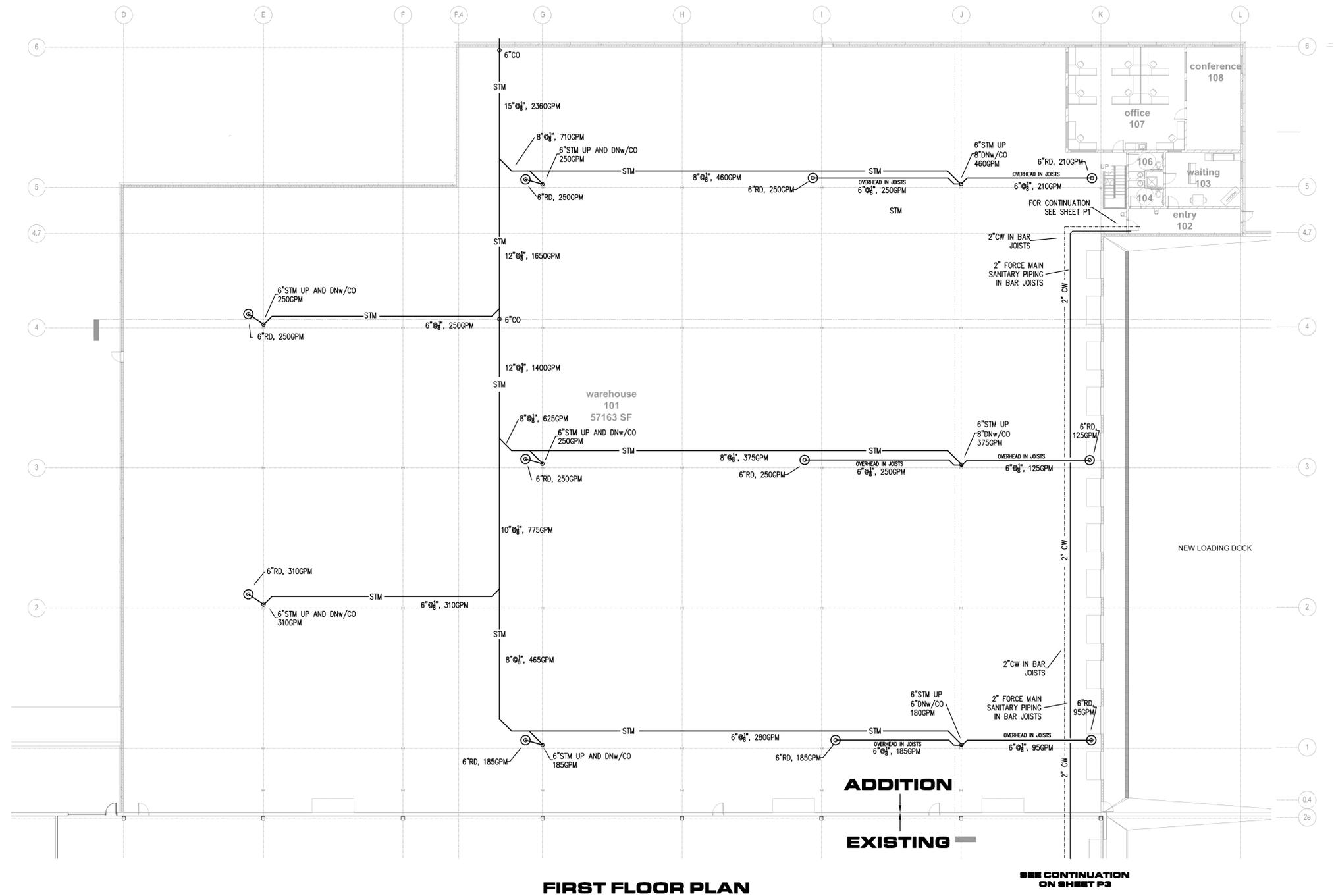
## Partial Floor Plans - Addition Office Area

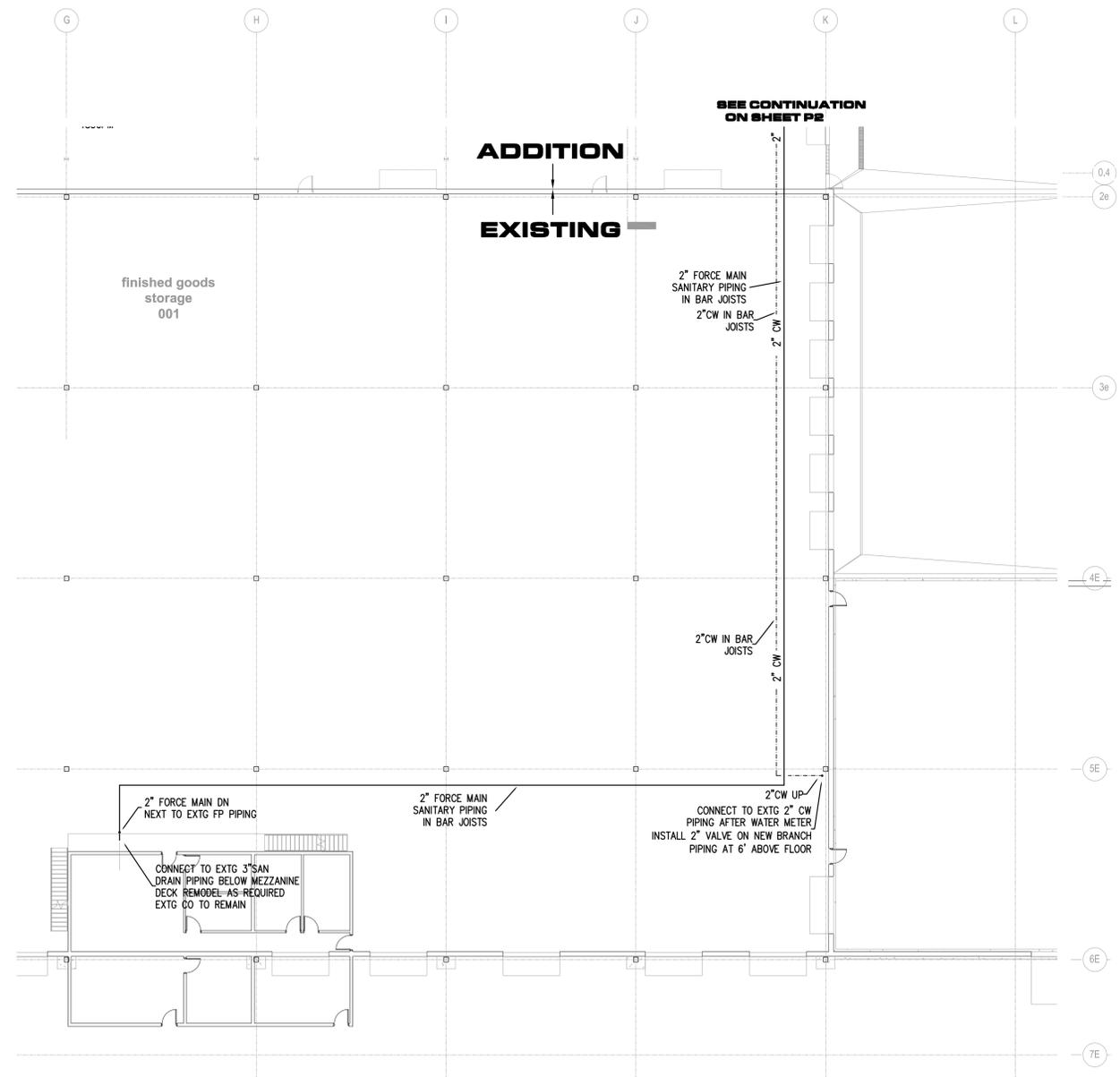
EMCO Chemical - Warehouse Addition  
8601 95th street, Pleasant Prairie, WI 53158  
March 10, 2016



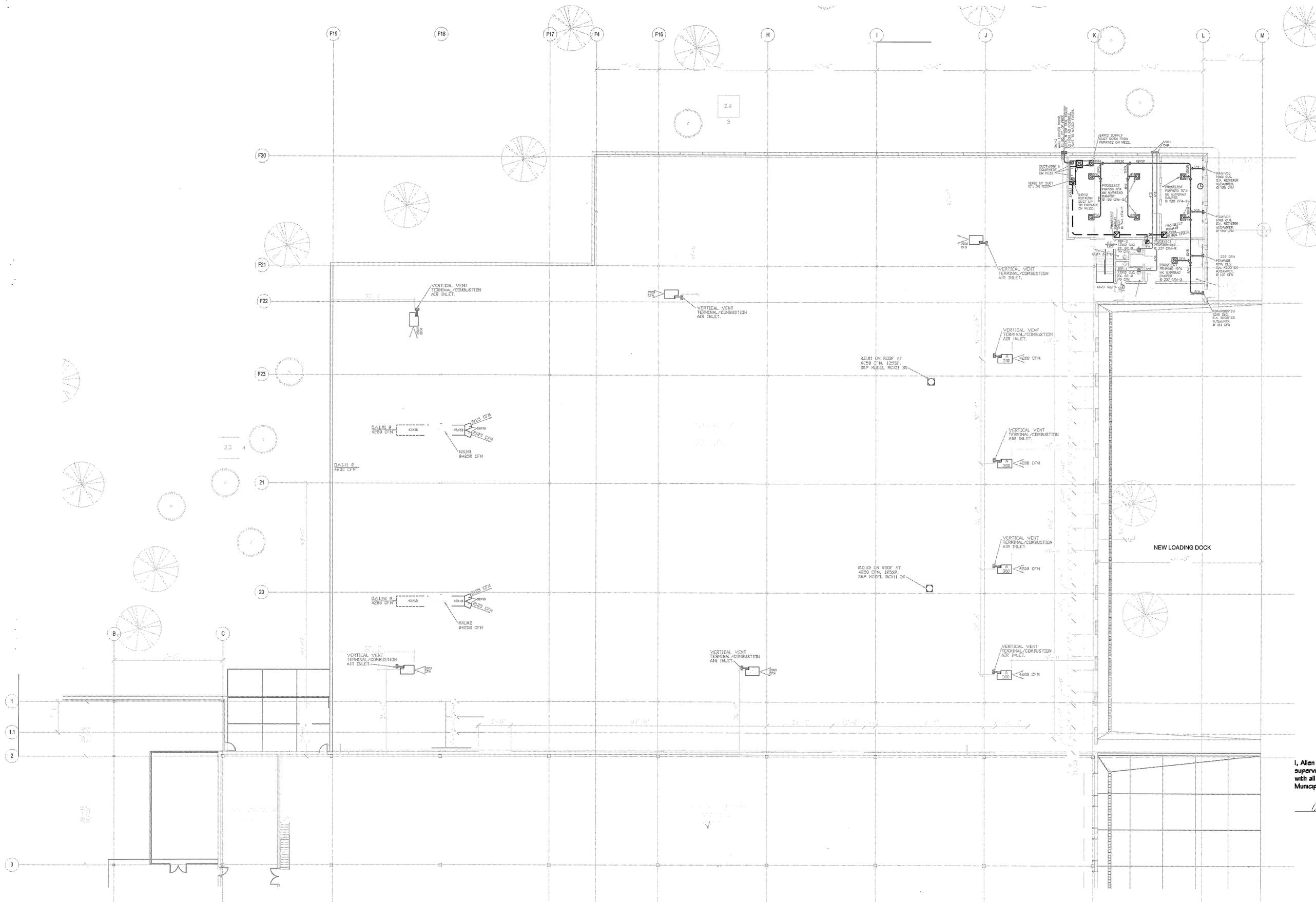
1/8" = 1'-0"

**P1**





**PARTIAL FLOOR PLAN - EXISTING**



1 Floor Plan - Addition  
1/16" = 1'-0"

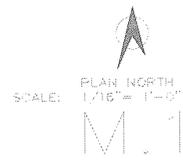
I, Allen Schwartz, certify that these plans were prepared under my supervision and, to the best of my knowledge, are intended to comply with all applicable codes and ordinances of the Pleasant Prairie, Wisconsin Municipal Building Code.

*Allen Schwartz*  
Date: 9/20/16

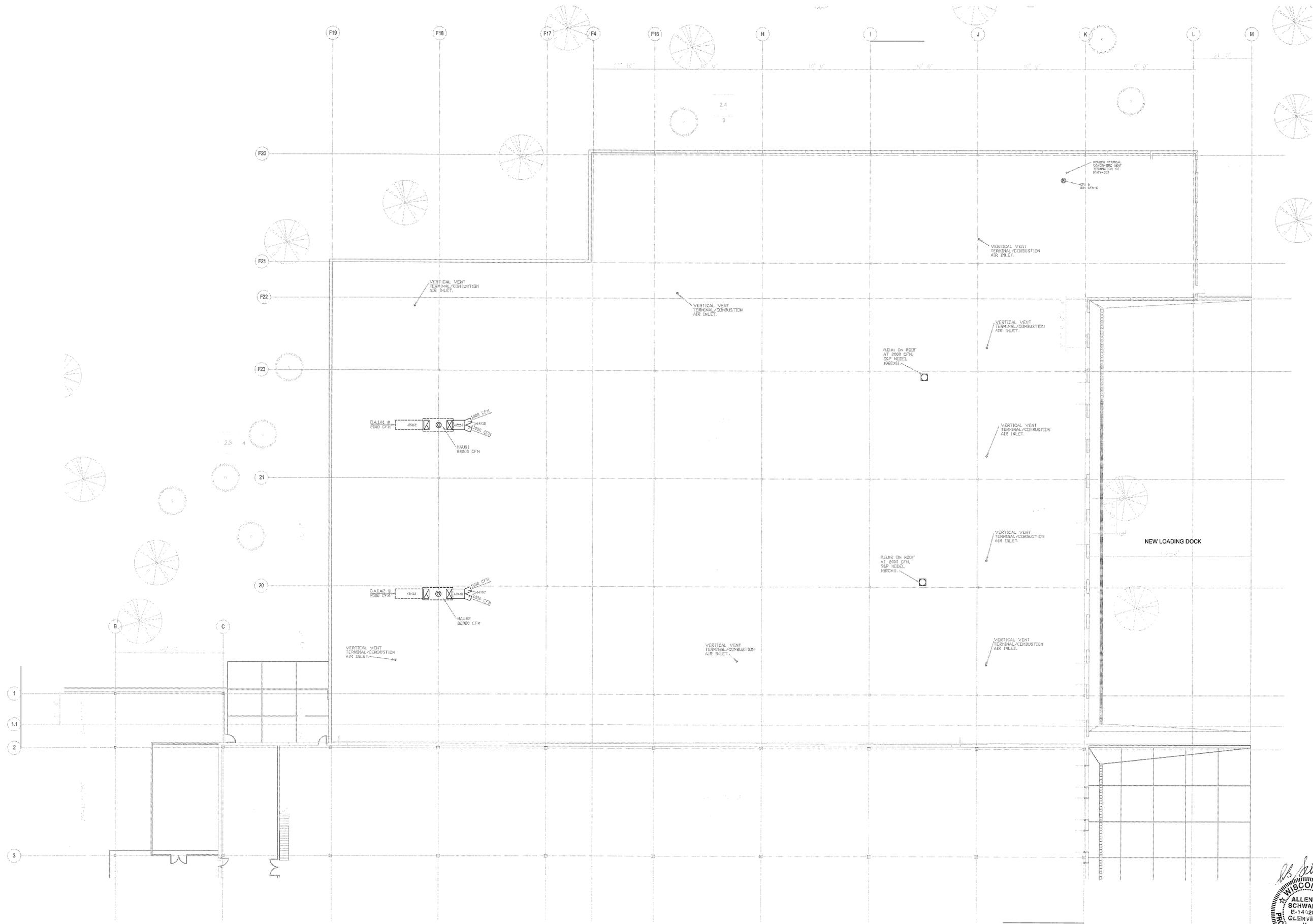


**Floor Plan**

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 ENDO Chemical - Warehouse Addition  
 3501 85th Street, Pleasant Prairie, WI 53153  
 January 27, 2016







① Mechanical Roof Plan - Addition  
1/16" = 1'-0"



**Floor Plan**  
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 Client: Client - Warehouse Addition  
 3001 85th Street, Pleasant Prairie, WI 53158  
 January 27, 2016

PLAN NORTH  
 SCALE: 1/16" = 1'-0"  
 M.S

HEATING, VENTILATION, AND AIR CONDITIONING NOTES

THE INTENT OF THE DRAWINGS IS TO FURNISH THE OWNER COMPLETE AND OPERATING HVAC SYSTEMS.

MECHANICAL CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED. THEY SHALL ALSO CONSULT WITH THE LOCAL AUTHORITIES TO DETERMINE LOCAL CODE REQUIREMENTS. SUBMISSION OF BID SHALL BE CONSTRUED AS CONCLUSIVE EVIDENCE THAT THE BIDDER HAS COMPLIED WITH THE ABOVE.

ALL SYSTEMS AND EQUIPMENT TO COMPLY WITH ALL GOVERNING LOCAL AND STATE CODES AND ORDINANCES AS WELL AS PLEASANT PRAIRIE, WISCONSIN BUILDING CODE.

PROVIDE ALL NECESSARY LABOR, MATERIALS, EQUIPMENT, APPARATUS, AND TEMPORARY FACILITIES TO COMPLETE THE HEATING, VENTILATING, AND AIR CONDITIONING WORK.

DUE TO THE SMALL SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO SHOW ALL OFFSETS AND DETAIL EVERY POINT AT WHICH DEMANDS OF CONSTRUCTION MAY REQUIRE SPECIAL ATTENTION. ADDITIONAL FITTINGS, VALVES, DUCTS, CONDUITS, AND OTHER APPURTENANCES NECESSARY DUE TO FIELD CONDITIONS, OR CODE REQUIREMENTS SHALL BE FURNISHED AT NO EXTRA COST TO THE OWNER.

ALL DUCT DIMENSIONS SHOWN ON PLANS ARE INTERIOR FREEWAY SIZES.

DUCTWORK IN UNCONDITIONED SPACES SHALL BE WRAPPED WITH MINIMUM R-6 BATT FIBER DUCT INSULATION WITH VAPOR BARRIER.

ALL WALL MOUNTED THERMOSTATS TO BE DIGITAL, NON-PROGRAMMABLE OR PROGRAMMABLE THERMOSTAT. ALL STAT SHALL HAVE ENERGY STAR LABEL.

ALL LONGITUDINAL AND TRANSVERSE JOINTS, SEAMS, AND CONNECTIONS IN SUPPLY AND RETURN DUCTS SHALL BE SECURELY FASTENED AND SEALED WITH ADHESIVES MASTICS OR METALLICTAPES INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS.

DUCTWORK SHALL BE NEW PRIME GRADE GALVANIZED IRON, AND BE CONSTRUCTED, INSTALLED AND SUPPORTED IN ACCORDANCE WITH THE SPECIFICATION DETAILS, AND RECOMMENDATIONS AS DESCRIBED IN THE LOW PRESSURE DUCT CONSTRUCTION STANDARDS AS PUBLISHED BY THE SMACNA AND ASHRAE GUIDES.

MECHANICAL CONTRACTOR IS TO COORDINATE HIS WORK (DUCTWORK, PIPING, ETC.) WITH ALL OTHER TRADES.

PROVIDE AND INSTALL VOLUME CONTROL DAMPERS IN ALL BRANCH SUPPLY DUCTS AT BRANCH CONNECTION TO TRUNK. ALL OTHER DAMPER LOCATIONS ARE AS NOTED ON THE PLAN. DAMPER SHALL BE LOCKING TYPE.

ALL CONTROL WIRING TO BE IN CONDUIT.

CLEARANCES FOR MUST CONFORM TO MANUFACTURER'S REQUIREMENTS.

MECHANICAL CONTRACTOR IS RESPONSIBLE FOR FINAL CONTROL WIRING HOOK UP OF HVAC EQUIPMENT.

NOISE FROM MECHANICAL UNITS SHALL NOT EXCEED 55 db AT LOT LINE.

VENTILATION SCHEDULE

ROOM DATA			VENTILATION DATA					NOTES	
NAME	NET AREA SQ. FT.	HEAT LOSS BASED ON Chvac BTU/h	ORDINANCE REQUIRED		PLAN PROVIDED			HEATING	VENTILATION
			OUTDOOR AIR CFM	EXHAUST AIR CFM	OUTDOOR AIR CFM	EXHAUST AIR CFM	SYSTEM SUPPLY AIR CFM		
* WAREHOUSE/RECEIVING/SHIPPING	60150	1,098,427	8500	N.R.	8500	N.R.	8500	5-UH-B, 4UN-A, MAU-1#2	MUA-1 # MAU-2 # R.O.1 # R.O.2
OFFICE 107	1015	6409	101	N.R.	101	N.R.	744	F1	EF-1
WAITING 103	354	2627	41	N.R.	41	N.R.	337	F1	EF-1
TOILET 104	75	0	70	70	70	70	0		TEF1
TOILET 105	75	0	70	70	70	70	0		TEF2
CONFERENCE 108	481	6895	89	N.R.	89	N.R.	660	F1	EF-1
ENTRY 102	221	5841	N.R.	N.R.	N.R.	N.R.	322	F1	
* WAREHOUSE STORAGE R.O.= RELIEF OPENING									

EXHAUST FAN SCHEDULE

TAG	AREA SERVED	CFM	S.P.	MOTOR H.P.	F.L.A.	ELECTRICAL DATA	S#P MODEL NO.	NOTES
TEF-1	TOILET ROOM 104	70	0.25"	12.9 WATTS	0.12	115/1/60	V80	4,5,6
TEF-2	TOILET ROOM 106	70	0.25"	12.9 WATTS	0.12	115/1/60	V80	4,5,6
EF-1	ROOMS 103,107,#108	231	0.25"	1/10	2.0	115/1/60	REDG-1550	2,4,5
R.O.1	WAREHOUSE/SHIPPING	4250	0.125"	----	----	-----	RCXII 30	1,2
R.O.2	WAREHOUSE/SHIPPING	4250	0.25"	----	----	-----	RCXII 30	1,2

NOTES: 1 - THROAT AREA IN (5.16 SQ. FT.)  
2 - ROOF CURB, BACKDRAFT DAMPER.  
3 - BELT DRIVE.  
4 - DIRECT DRIVE.  
5 - SPEED CONTROL.  
6 - WALL CAP

GAS FIRED UNIT HEATER SCHEDULE

TAG	NO. OF UNITS	AREA SERVED	INPUT MBH	OUTPUT MBH	AIR DELIVERY CFM	MOTOR H.P.	F.L.A. 115/1/60	REZNOR MODEL NO.	UNIT WEIGHT	NOTES
A 300	4	RECEIVING/SHIPPING	300	124.5	4200	1.5	17.7	UDBS 300	555 LBS	1,2,3
B 150	5	WAREHOUSE	150	249.0	2000	1/4	5.9	UDBS 150	336 LBS	1,2,3

NOTES: 1 - POWER VENT. 2 - BLOWER STYLE. 3 - FIELD INSTALLED TRANSFORM (480/3/60 TO SUPPLY MOTOR VOLTAGE).

GAS FIRED MAKE-UP AIR UNIT SCHEDULE

TAG	NO. OF UNITS	INPUT MBH	OUTPUT MBH	AIR DELIVERY CFM	T.S.P.	MOTOR H.P.	F.L.A.C. 460/3/60	REZNOR MODEL NO.	UNIT WEIGHT	NOTES
MUA-1	1	400	332	4250	.30"	1-1/2	1.59	RDH-400A	1568 LBS	1,2,3,4,5,6,7,8,9,10,11,& 12
MUA-2	1	400	332	4250	.30"	1-1/2	1.59	RDH-400A	1568 LBS	1,2,3,4,5,6,7,8,9,10,11,& 12

NOTES:  
1 - STAINLESS STEEL HEAT EXCHANGER & BURNERS  
2 - FILTER RACK WITH 2" DISPOSABLE FILTERS.  
3 - MODULATING GAS VALVE WITH DUCT TEMP CONTROL, 24V CONTROL  
4 - O.A. HOOD WITH 2 POSITION DAMPER.  
5 - DOWN DISCHARGE PLENUM.  
6 - 14" HIGH ROOF CURB.  
7 - MAU-1, & MAU-2, AND OUTSIDE AIR DAMPER, OUTSIDE AIR DAMPER TO BE CLOSED WHEN UNITS ARE RUNNING IN NIGHT SET BACK.  
8 - INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.  
9 - PROVIDE THERMOSTAT FOR EACH UNIT HEATER  
10 - DIRECT SPARK IGNITION  
11 - PROVIDE DISCONNECT.  
12 - 100% SHUT-OFF WITH CONTINUOUS RETRY  
WINTER VENTILATION: PROVIDE WALL MOUNTED ON/OFF SWITCH. IN "ON" POSITION, MAU-1 AND MAU-2 ARE ENERGIZE HEATING SECTION OF MAU-1 & MAU-2 TO MAINTAIN A 60F (ADJUSTABLE) DISCHARGE TEMPERATURE.  
SUMMER VENTILATION: PROVIDED WALL SWITCH MOUNTED COOLING THERMOSTAT, SET TO 60F (ADJUSTABLE) DE-ENERGIZE HEATING SECTION OF MAU-2 & MAU-2 WHEN SPACE TEMPERATURE EXCEEDS SET POINT OF 60F

FURNACE SCHEDULE

TAG	NO. OF UNITS	DESCRIPTION	MAKE	MODEL	AIR DELIVERY CFM	BTUH INPUT	BTUH OUTPUT	AFUE	MOTOR H.P.	ELECTRICAL DATA	UNIT WEIGHT LBS.	NOTES
F-1	1	MULTI POSITION GAS FURNACE	RHEEM	R95PA1151524MSA	1841	112,000	107,520	95%	3/4	115/1/60	165	1,2,4

NOTES: 1 - PROVIDE DRAIN PAN UNDER UNIT WITH 3/4" DRAIN LINE RUN TO OPENSITE DRAIN.  
2 - PROVIDE LONG SWEEP 90 ELBOWS FOR ALL VENT PIPING, ALL VENT PIPING SHALL BE 3"Ø PVC.  
3 - PROVIDE SIDE WALL VENT KIT RXGY-G01 FOR 3"Ø PVC INTAKE & EXHAUST.  
4 - PROVIDE VERTICAL KIT RXGY-E03 FOR 3"Ø PVC INTAKE & EXHAUST.

COOLING COIL SCHEDULE

TAG	NO. OF UNITS	DESCRIPTION	MAKE	MODEL	DX COIL COOLING CAPACITY	AIR DELIVERY CFM	UNIT WEIGHT LBS.	NOTES
CO-1	1	CASED HORIZONTAL	ADP	RE49660D245B2722AP	5.0	1841	154	1

NOTES: 1 - CASED DX COOLING COIL TO BE FIELD INSTALLED EXTERNAL TO FURNACE

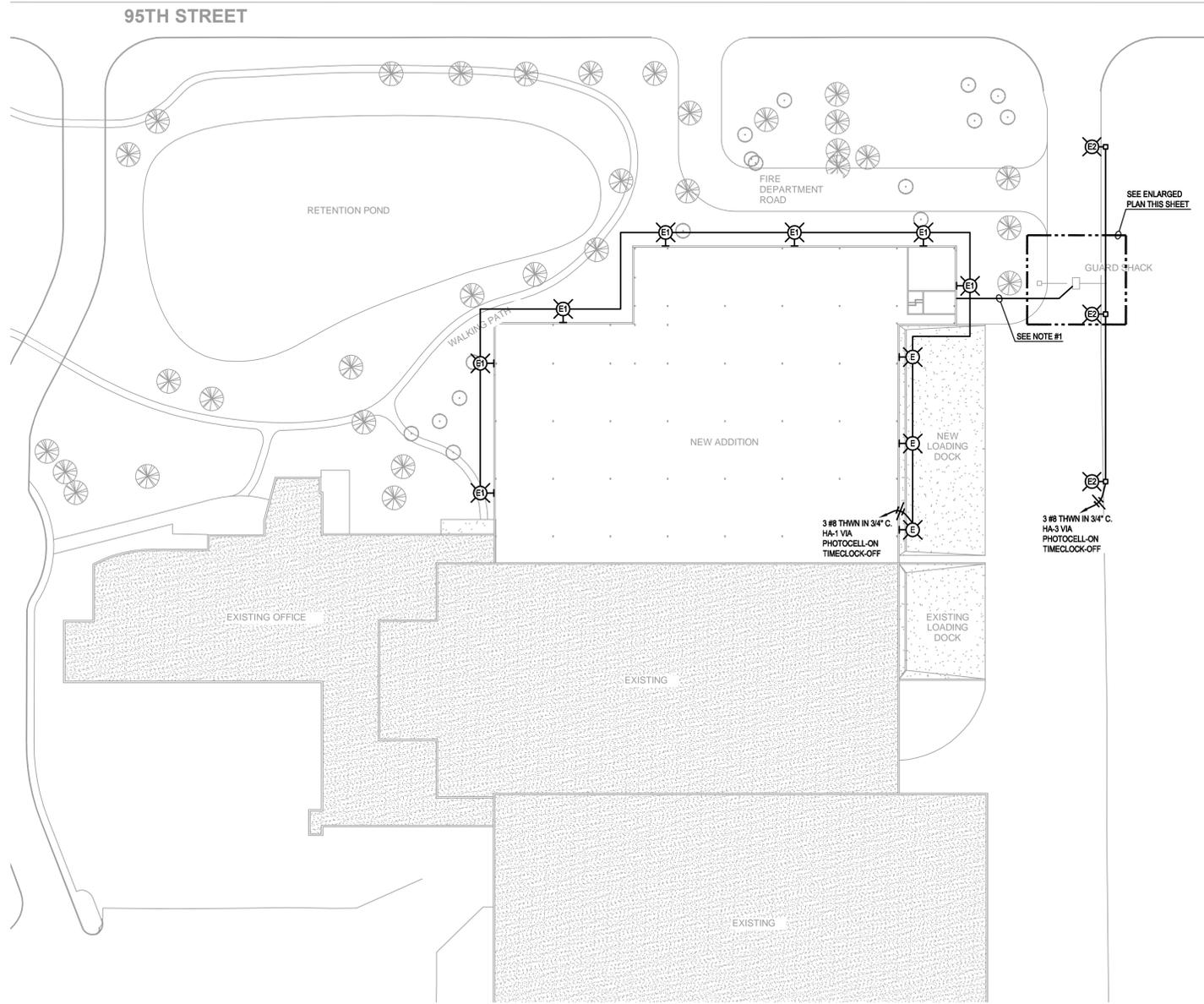
A/C EQUIPMENT SCHEDULE

TAG	NO. OF UNITS	DESCRIPTION	MAKE	MODEL	NOMINAL COOLING TONS	TOTAL COOLING @ ARI CONDITIONS BTU/H	ELECTRICAL DATA	SEER	COMPRESSOR		MIN. CIRCUIT AMPACITY AMPS	410A Oz	UNIT WEIGHT LBS.	NOTES
									RLA	LRA				
AC-1	1	13 SEER AIR COOLED OUTDOOR CONDENSING UNIT	RHEEM	RA1360AJ1	5.0	56,000	480/3/60	13	26.4	134	35	148	235	---

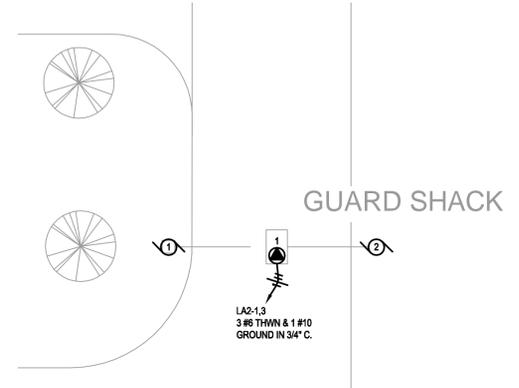


Floor Plan





**ELECTRICAL SITE PLAN**  
SCALE: 1"=50'-0"



**ENLARGED ELECTRICAL SITE PLAN**  
SCALE: 1"=20'-0"

**NOTES:**  
1. E.C. TO FURNISH AND INSTALL (2) 2" CONDUITS 30" BELOW GRADE FOR TELEPHONE/DATA/SECURITY SYSTEMS. VERIFY EXACT REQUIREMENTS AND LOCATIONS WITH OWNER.

REVISIONS	
DATE	DESCRIPTION

PROJECT: **EMCO Chemical Distributors, Inc.**  
**Warehouse Addition**  
8601 95th Street  
Pleasant Prairie, WI 53158

Power • Lighting • Systems • Controls  
**Kornacki and Associates, Inc.**  
Consulting Electrical Engineers  
5420 S. Westridge Drive New Berlin, Wisconsin 53151 (262) 784-3323 Fax 784-5014

DATE ISSUED	02/12/16
PROJECT NO.	15114
PROJECT MANAGER	D.B.K.
DRAWN BY	S.M.B.
CHECKED BY	D.B.K.
APPROVED BY	D.B.K.

SHEET NO.  
**E1.1**





**PHOTOMETRIC SITE PLAN**  
SCALE: 1"=50'-0"



- LIGHTING ANALYSIS NOTES:**  
(PAVED AREAS ONLY)
1. AVERAGE FOOTCANDLES: 2.21
  2. MINIMUM FOOTCANDLES: 0.81
  3. MAXIMUM FOOTCANDLES: 4.30
  4. AVERAGE/MINIMUM RATIO: 2.7:1
  5. MAXIMUM/MINIMUM RATIO: 5.3:1

REVISIONS	
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SHEET NO.  
**E1.2**



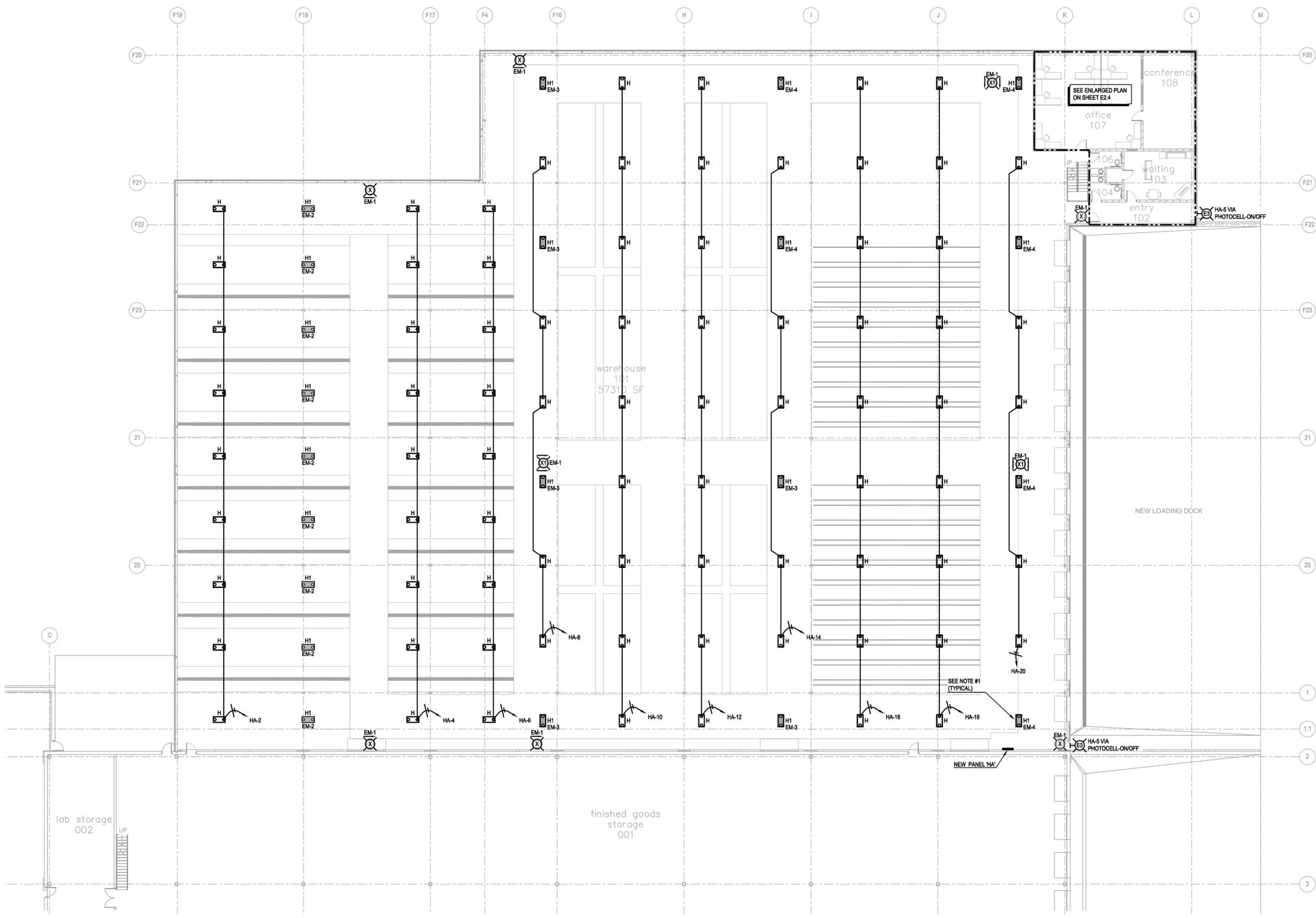
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 APPROVED BY  
 D.B.K.

SHEET NO.  
**E2.1**



**WAREHOUSE LIGHTING PLAN**  
 SCALE: 1/16"=1'-0"

NOTES:  
 1. FIXTURES MARKED WITH AN "EM" TO BE WIRED TO EXISTING EMERGENCY PANEL WHICH IS ON THE EMERGENCY GENERATOR SYSTEM. FIELD VERIFY EXACT LOCATION. CIRCUIT NUMBER INDICATES NEXT AVAILABLE CIRCUIT, NOT ACTUAL CIRCUIT NUMBER.

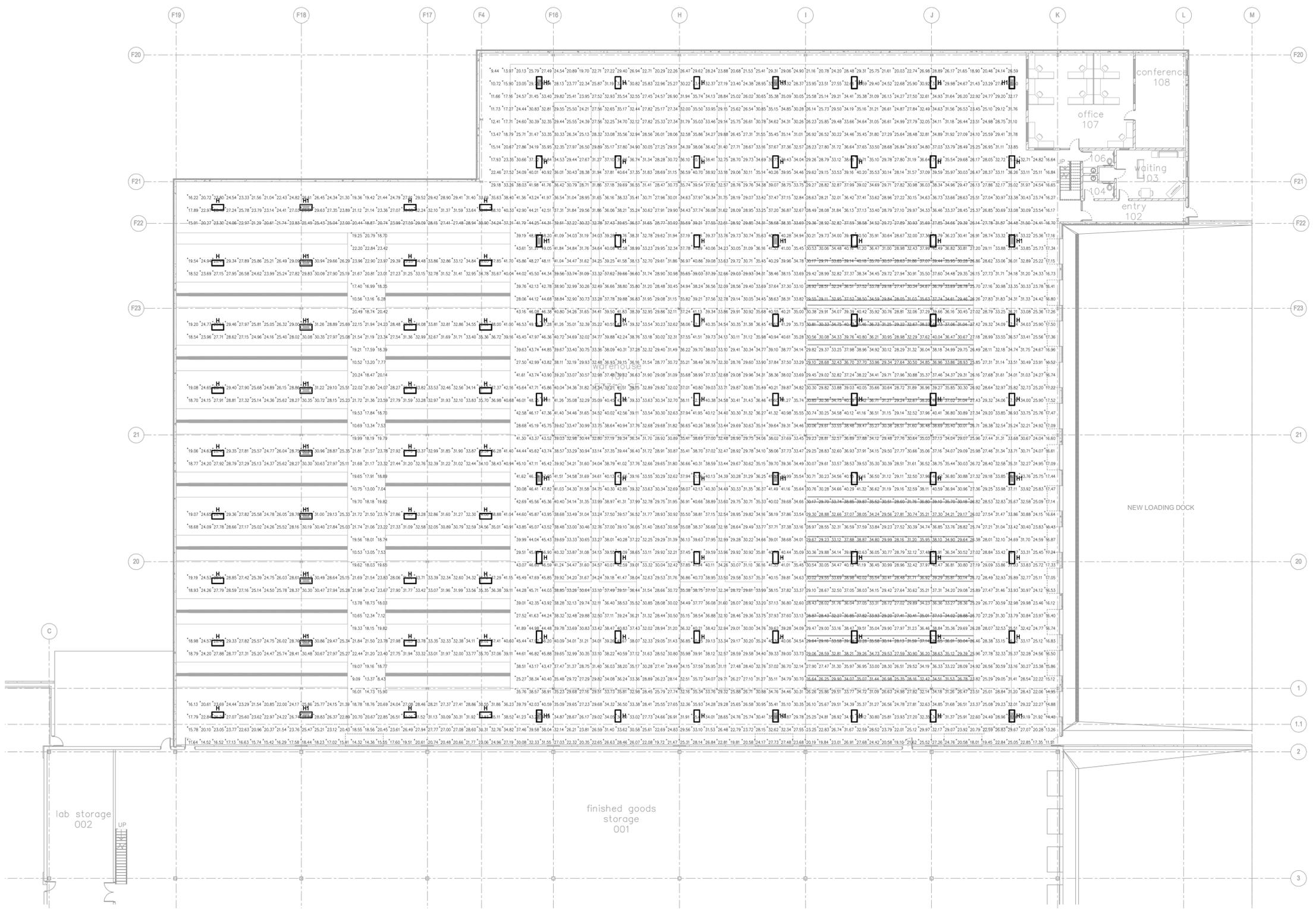
REVISIONS	
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 APPROVED BY  
 D.B.K.

SHEET NO.  
**E2.1A**



**WAREHOUSE PHOTOMETRIC PLAN (FLUORESCENT)**  
 SCALE: 1/16"=1'-0"

- LIGHTING ANALYSIS NOTES:**
1. AVERAGE FOOTCANDLES: 31.31
  2. MINIMUM FOOTCANDLES: 6.28
  3. MAXIMUM FOOTCANDLES: 61.37
  4. AVERAGE/MINIMUM RATIO: 5.0:1
  5. MAXIMUM/MINIMUM RATIO: 8.2:1

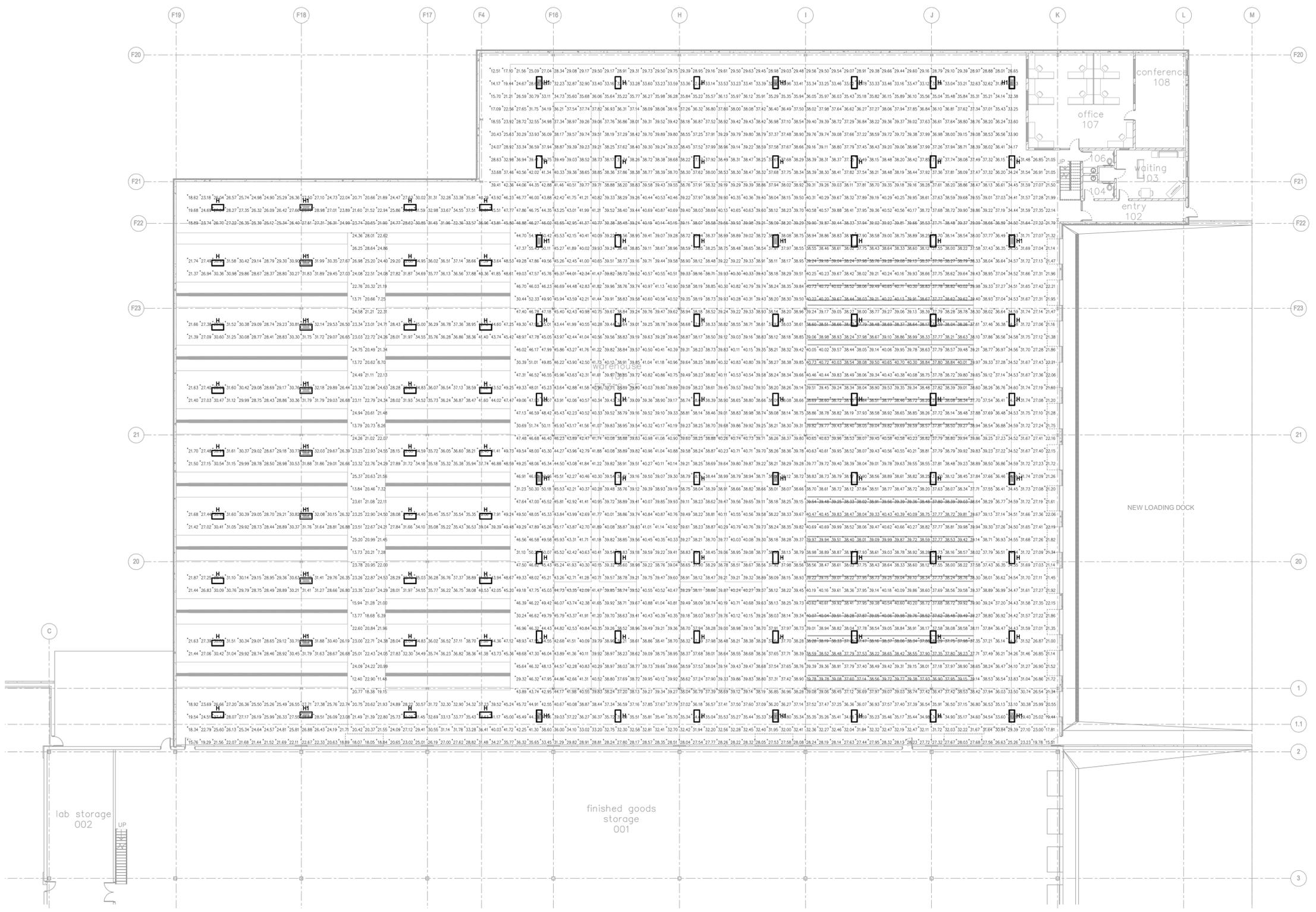
REVISIONS	
DATE	DESCRIPTION

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 APPROVED BY  
 D.B.K.

SHEET NO.  
**E2.1B**



**ALTERNATE WAREHOUSE PHOTOMETRIC PLAN (LED)**  
 SCALE: 1/16"=1'-0"

- LIGHTING ANALYSIS NOTES:**  
 (ALBEO ABV1)
1. AVERAGE FOOTCANDLES: 35.98
  2. MINIMUM FOOTCANDLES: 6.39
  3. MAXIMUM FOOTCANDLES: 55.43
  4. AVERAGE/MINIMUM RATIO: 5.6:1
  5. MAXIMUM/MINIMUM RATIO: 8.7:1

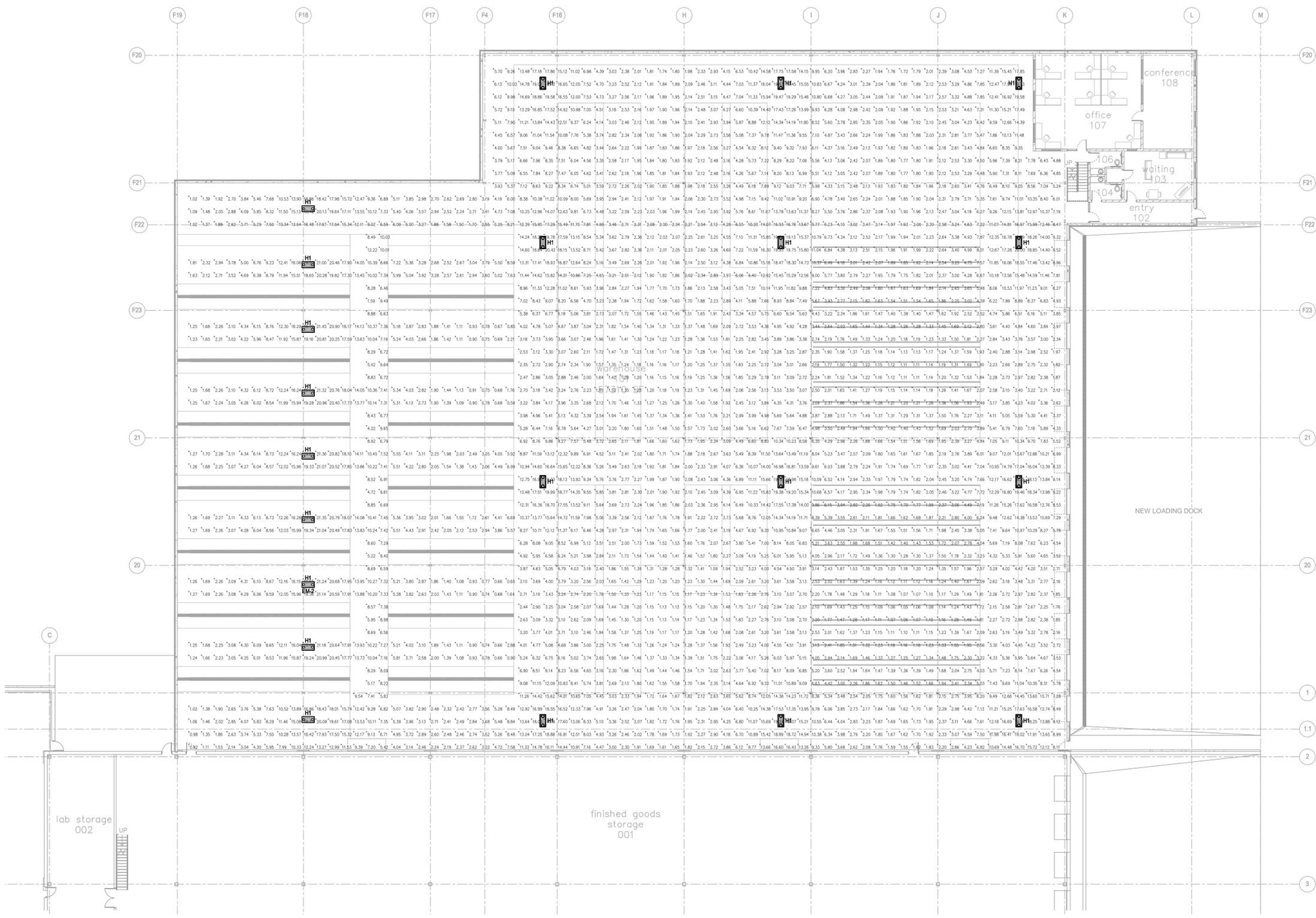
REVISIONS	
DATE	DESCRIPTION

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 D.B.K.  
 APPROVED BY  
 D.B.K.

SHEET NO.  
**E2.2**



**WAREHOUSE 'EM' PHOTOMETRIC PLAN (FLUORESCENT)**  
 SCALE: 1/16"=1'-0"

- LIGHTING ANALYSIS NOTES:**
1. AVERAGE FOOTCANDLES: 5.51
  2. MINIMUM FOOTCANDLES: 0.59
  3. MAXIMUM FOOTCANDLES: 21.45
  4. AVERAGE/MINIMUM RATIO: 9.3:1
  5. MAXIMUM/MINIMUM RATIO: 36.4:1

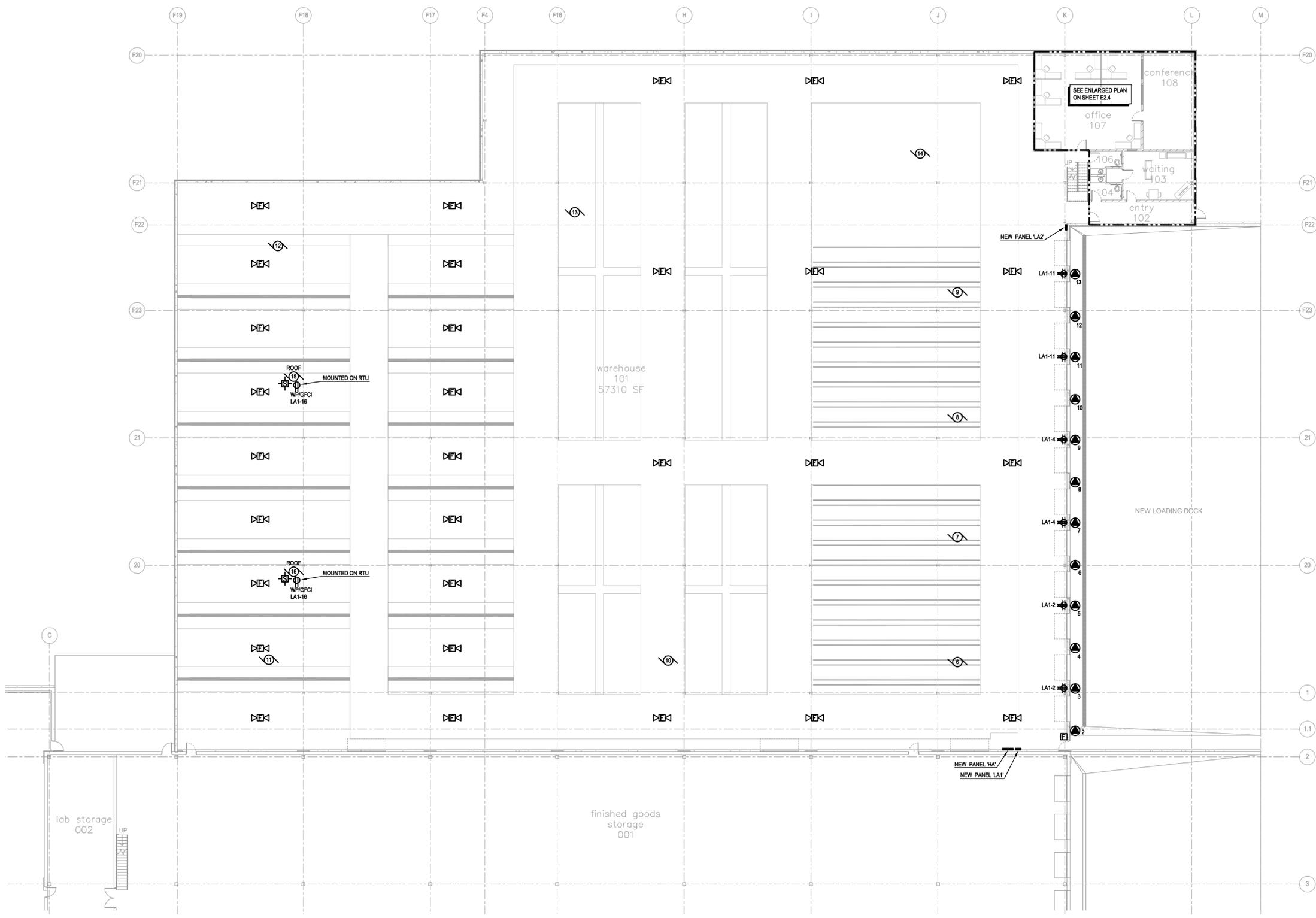
REVISIONS	
DATE	DESCRIPTION

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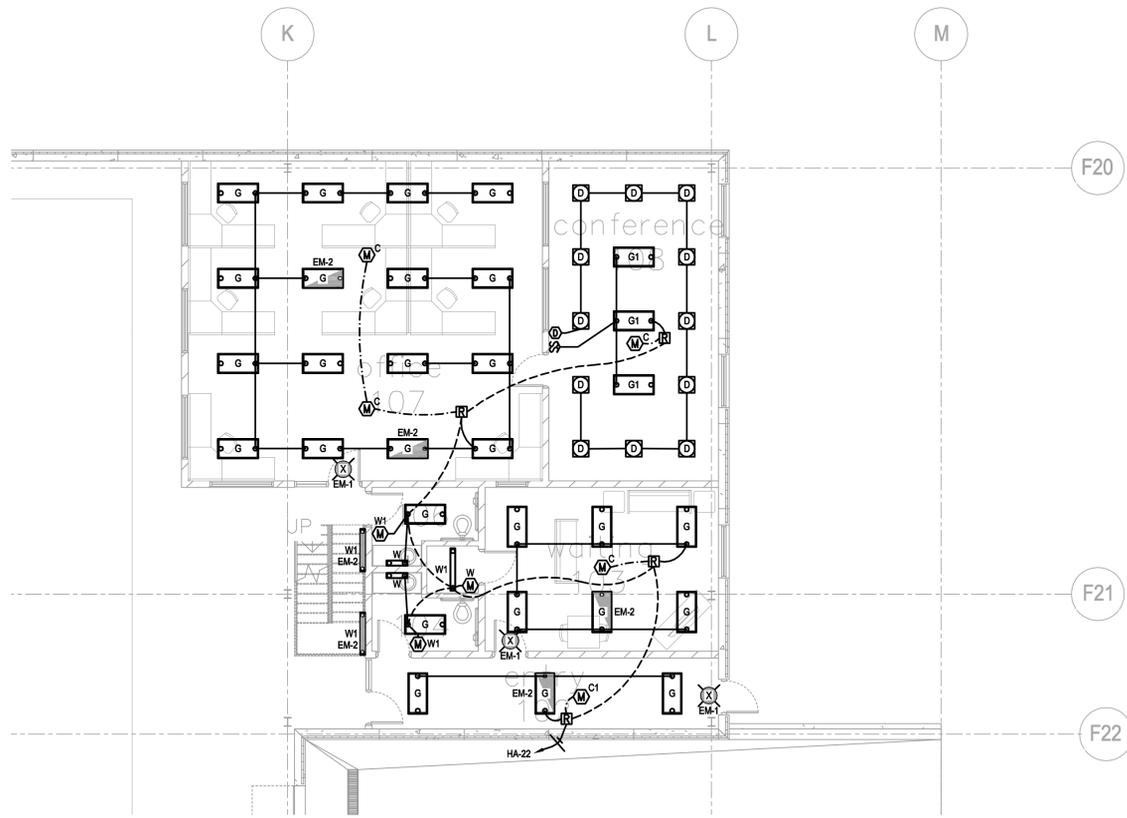
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 PROJECT MANAGER  
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SHEET NO.  
**E2.3**

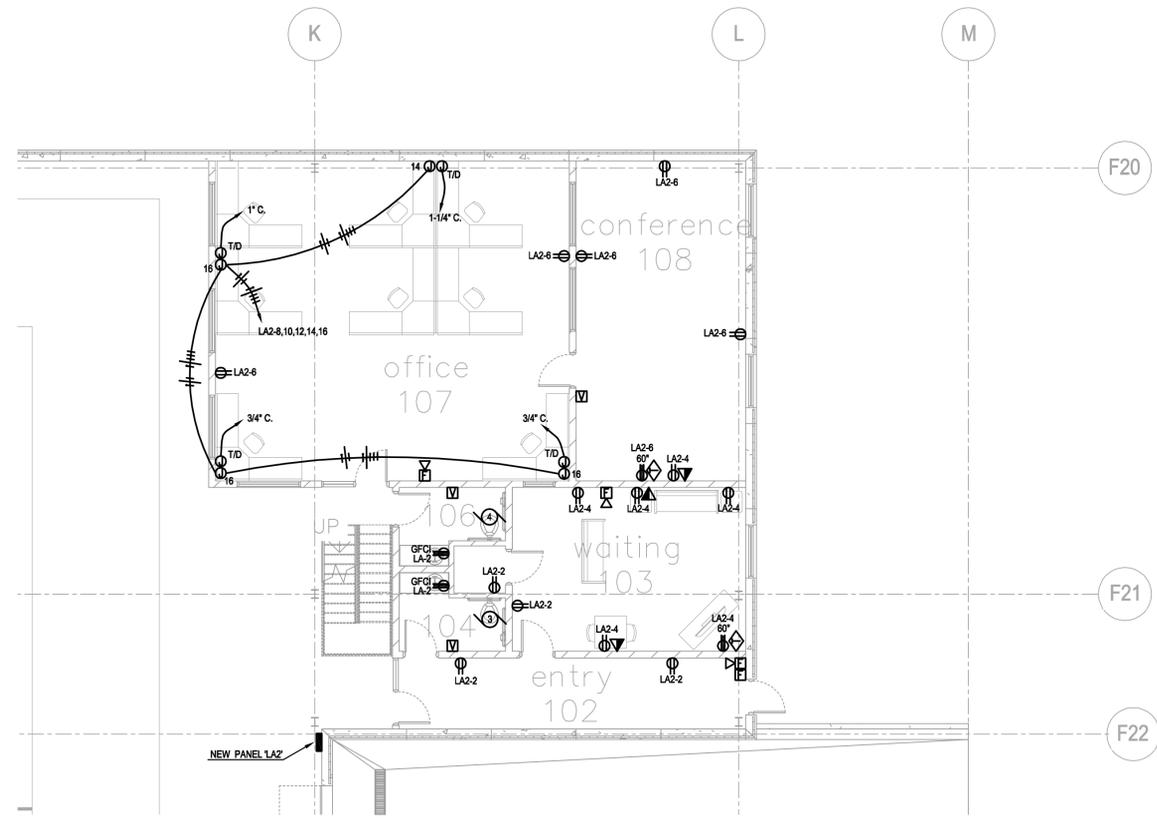


**WAREHOUSE POWER PLAN**  
 SCALE: 1/16"=1'-0"

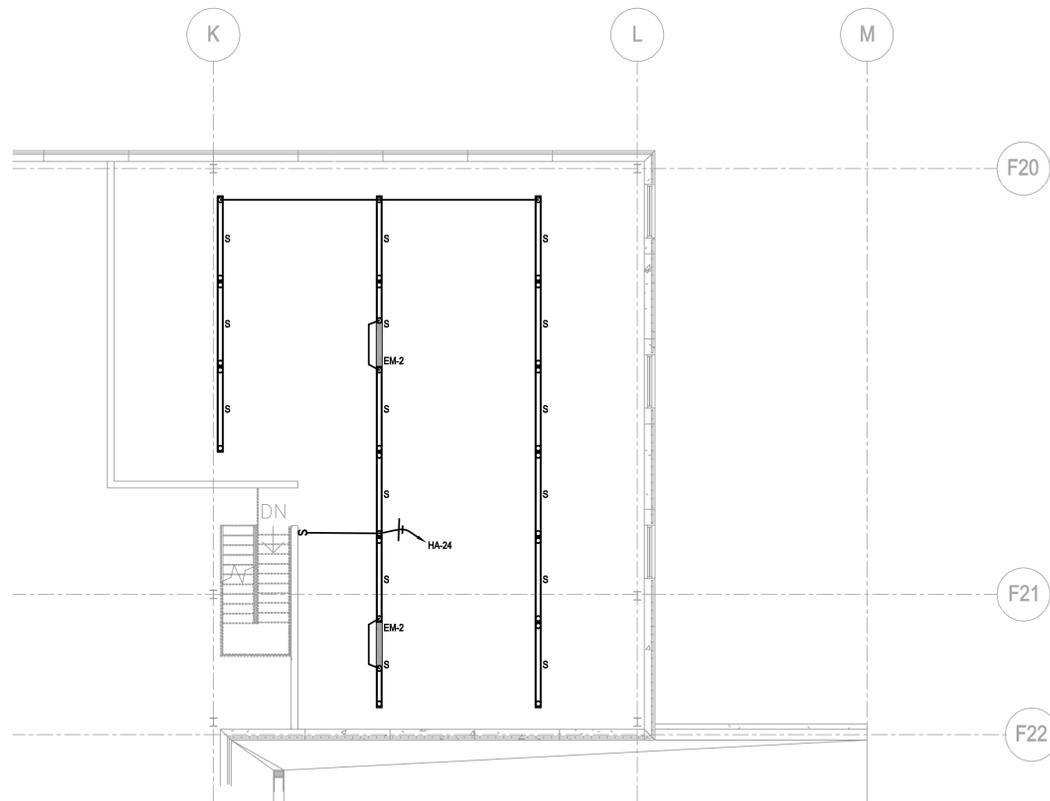
NOTES:  
 1. FIRE ALARM SYSTEM IS EXISTING TO REMAIN. E.C. TO TIE NEW DEVICES INTO EXISTING SYSTEM.



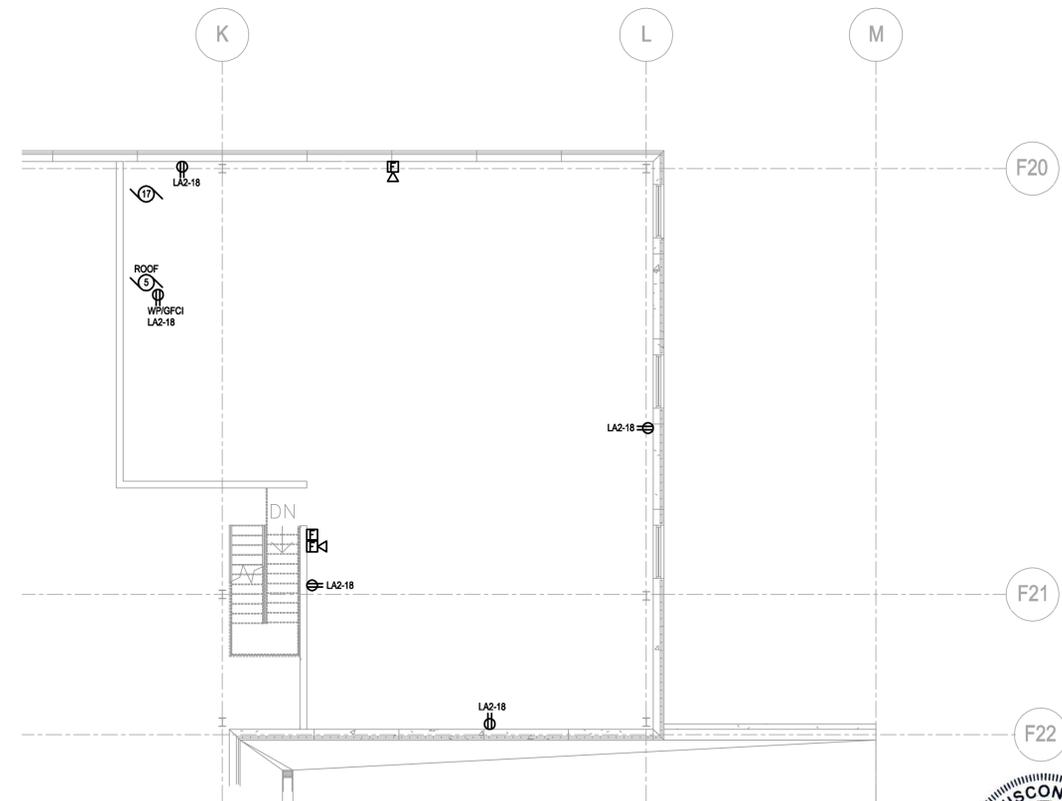
**OFFICE LIGHTING PLAN**  
SCALE: 1/8"=1'-0"



**OFFICE POWER PLAN**  
SCALE: 1/8"=1'-0"



**MEZZANINE LIGHTING PLAN**  
SCALE: 1/8"=1'-0"



**MEZZANINE POWER PLAN**  
SCALE: 1/8"=1'-0"

REVISIONS	
DATE	DESCRIPTION

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DATE ISSUED	02/12/16
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PROJECT MANAGER	D.B.K.
DRAWN BY	S.M.B.
CHECKED BY	D.B.K.
APPROVED BY	D.B.K.

SHEET NO.  
**E2.4**



### FIXTURE SCHEDULE

TYPE	INPUT WATTS	LAMPS		DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTS	SHIELDING	FINISH	MOUNTING	REMARKS
		NO.	MANUFACTURER CATALOG NO.								
D	23	LED	WITH FIXTURE	DOWNLIGHT	GOTHAM	EVO 40/20 6AR MD LSS MVOLT EZ1	120	CLEAR ALZAK	WHITE	RECESSED	
E	216	LED	WITH FIXTURE	EXTERIOR WALL BRACKET	LITHONIA	KAD LED 60C 1000 40K R4 MVLTD WBD 04 DDBXD	277	NONE	DARK BRONZE	WALL-25" A.F.G.	TYPE 4 DISTRIBUTION
E1	216	LED	WITH FIXTURE	EXTERIOR WALL BRACKET	LITHONIA	KAD LED 60C 1000 40K R3 MVLTD WBD 04 DDBXD	277	NONE	DARK BRONZE	WALL-25" A.F.G.	TYPE 3 DISTRIBUTION
E2	216	LED	WITH FIXTURE	POLE & LUMINAIRE	LITHONIA	KAD LED 60C 1000 40K R3 MVLTD SPD 04 DDBXD	277	NONE	DARK BRONZE	POLE-SEE DETAIL	TYPE 3 DISTRIBUTION
E3	47	LED	WITH FIXTURE	EXTERIOR WALL BRACKET	LITHONIA	WST LED 2 10A700/40K SR3 MVLTD DDBXD	277	NONE	DARK BRONZE	WALL ABOVE DOOR	TYPE 3 DISTRIBUTION
G	88	3	F32T8/SP41	2' x 4' TROFFER	LITHONIA	2GT8 3 32 A12125 MVOLT GEB10RS	277	ACRYLIC	WHITE	RECESSED	
G1	88	3	F32T8/SP41	2' x 4' RECESSED INDIRECT	LITHONIA	2AVG 3 32 MDR MVOLT GEB10RS	277	PERFORATED METAL	WHITE	RECESSED	
H	354	6	F54T5HO	FLUORESCENT HIGH BAY	LITHONIA	IBZ 654L ACRP MSE360	277	NONE	WHITE	HOOK, CORD & PLUG	
HALT	190	LED	WITH FIXTURE	LED HIGH BAY	ALBEO	ABV1 4 2 V 57 9 BV ST A C W	277	NONE	WHITE	HOOK, CORD & PLUG	
S	118	4	F32T8/SP41	8' STRIP	LITHONIA	TUNS 2 32 MVOLT GEB10RS	277	NONE	WHITE	SURFACE	
W	18	LED	WITH FIXTURE	4' MIRROR BRACKET	LITHONIA	WL2 18L EZ1 LP840	277	ACRYLIC	WHITE	WALL ABOVE MIRROR	
W1	40	LED	WITH FIXTURE	4' WRAPAROUND	LITHONIA	WL4 40L EZ1 LP840	277	ACRYLIC	WHITE	WALL SURFACE	
X	0.82	LED	WITH FIXTURE	SINGLE FACE EXIT	LITHONIA	LQM S 3 R 120/277	277	RED ACRYLIC	WHITE	UNIVERSAL	

### MOTOR SCHEDULE (M)

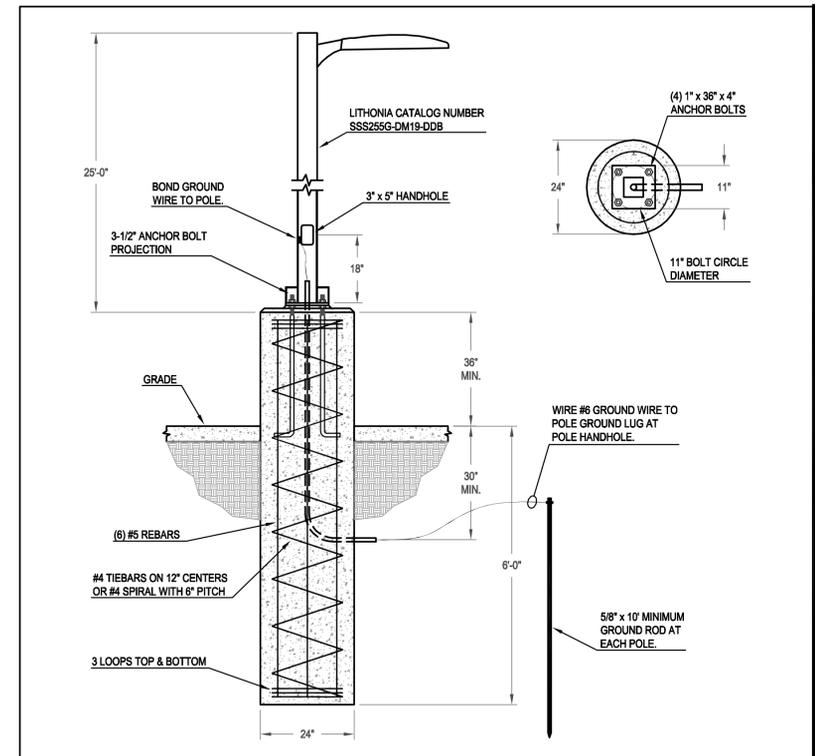
NO.	DESCRIPTION	LOCATION	FLA	KW	HP	VOLT	PHASE	PANEL NO. CRCT NO.	BRKR/FUSE		DISC FURN BY	STARTER				CONTROL WIRING				CIRCUIT WIRING		REMARKS
									POLE	AMP		TYPE	FURN. BY	WIRED BY	LOC.	TYPE	BY	LOC.	NO.	TYPE / GND.	COND.	
1	MOTORIZED GATE	EXTERIOR			1/2	120	1	GUARD SHACK	1	20	EC	MAN	UM	EC	NU	PB	EC	GUARD SHACK	2	12 THWN 12 GROUND	1/2"	
2	MOTORIZED GATE	EXTERIOR			1/2	120	1	GUARD SHACK	1	20	EC	MAN	UM	EC	NU	PB	EC	GUARD SHACK	2	12 THWN 12 GROUND	1/2"	
3	EXHAUST FAN TEF-1	TOILET ROOM 104			FRAC	120	1	LA2-13	1	20	EC	BOL	UM	PW	IU	LTSW	EC	IR	2	12 THHN 12 GROUND	1/2"	
4	EXHAUST FAN TEF-2	TOILET ROOM 106			FRAC	120	1	LA2-15	1	20	EC	BOL	UM	PW	IU	LTSW	EC	IR	2	12 THHN 12 GROUND	1/2"	
5	EXHAUST FAN EF-1	ROOF			1/10	120	1	LA2-17	1	20	EC	BOL	UM	PW	IU	-	HVAC	-	2	12 THWN 12 GROUND	1/2"	
6	GAS FIRED UNIT HEATER	RECEIVING/SHIPPING			1.5	480	3	HA-7,9,11	3	15	EC	MAG	UM	EC	NU	T	HVAC	IR	3	12 THHN 12 GROUND	1/2"	
7	GAS FIRED UNIT HEATER	RECEIVING/SHIPPING			1.5	480	3	HA-13,15,17	3	15	EC	MAG	UM	EC	NU	T	HVAC	IR	3	12 THHN 12 GROUND	1/2"	
8	GAS FIRED UNIT HEATER	RECEIVING/SHIPPING			1.5	480	3	HA-19,21,23	3	15	EC	MAG	UM	EC	NU	T	HVAC	IR	3	12 THHN 12 GROUND	1/2"	
9	GAS FIRED UNIT HEATER	RECEIVING/SHIPPING			1.5	480	3	HA-25,27,29	3	15	EC	MAG	UM	EC	NU	T	HVAC	IR	3	12 THHN 12 GROUND	1/2"	
10	GAS FIRED UNIT HEATER	WAREHOUSE			1/4	120	1	LA1-6	1	20	EC	MAN	UM	EC	NU	T	HVAC	IR	2	12 THHN 12 GROUND	1/2"	
11	GAS FIRED UNIT HEATER	WAREHOUSE			1/4	120	1	LA1-8	1	20	EC	MAN	UM	EC	NU	T	HVAC	IR	2	12 THHN 12 GROUND	1/2"	
12	GAS FIRED UNIT HEATER	WAREHOUSE			1/4	120	1	LA1-10	1	20	EC	MAN	UM	EC	NU	T	HVAC	IR	2	12 THHN 12 GROUND	1/2"	
13	GAS FIRED UNIT HEATER	WAREHOUSE			1/4	120	1	LA1-12	1	20	EC	MAN	UM	EC	NU	T	HVAC	IR	2	12 THHN 12 GROUND	1/2"	
14	GAS FIRED UNIT HEATER	WAREHOUSE			1/4	120	1	LA1-14	1	20	EC	MAN	UM	EC	NU	T	HVAC	IR	2	12 THHN 12 GROUND	1/2"	
15	MAKE-UP AIR UNIT MUA-1	ROOF			1.5	480	3	HA-31,33,35	3	15	EC	MAG	UM	EC	NU	T	HVAC	IR	3	12 THHN 12 GROUND	1/2"	
16	MAKE-UP AIR UNIT MUA-2	ROOF			1.5	480	3	HA-37,39,41	3	15	EC	MAG	UM	EC	NU	T	HVAC	IR	3	12 THHN 12 GROUND	1/2"	
17	FURNACE				1/4	120	1	LA2-19	1	20	EC	MAN	UM	EC	NU	-	HVAC	-	2	12 THHN 12 GROUND	1/2"	

### SPECIAL PURPOSE OUTLET SCHEDULE (SPO) (M)

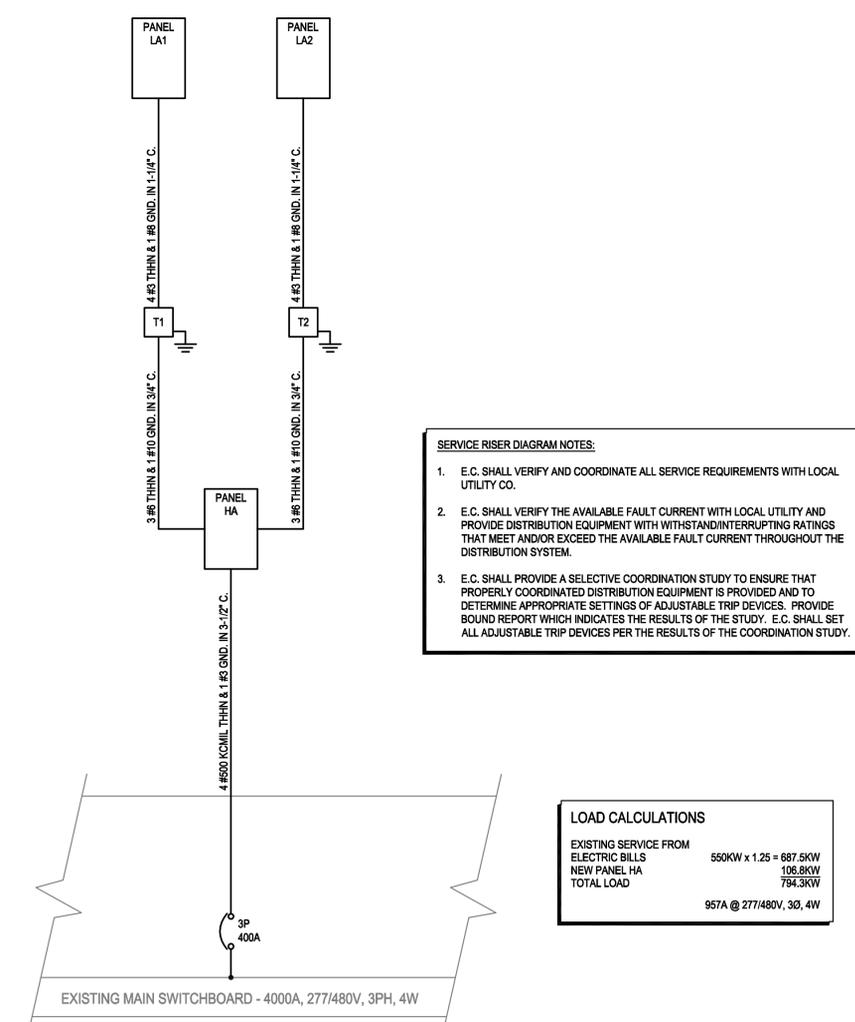
NO.	DESCRIPTION	LOCATION	FLA	KW	HP	VOLT	PHASE	PANEL NO. CRCT NO.	BRKR/FUSE		CONNECTION		CIRCUIT WIRING			EQUIPMENT TO FURNISH	REMARKS
									POLE	AMP	DIRECT	RECEPT.	NO.	TYPE / GROUND	COND.		
1	GUARD SHACK	GUARD SHACK			208	1							3	8 THWN 10 GROUND	3/4"	DISCONNECT	VERIFY EXACT REQUIREMENTS WITH GUARD SHACK SUPPLIER
2	BLOCK HEATER	DOCK		1.5		120	1	LA1-1	1	20			2	10 THWN 12 GROUND	1/2"	OUTLET-VERIFY TYPE	
3	BLOCK HEATER	DOCK		1.5		120	1	LA1-3	1	20			2	10 THWN 12 GROUND	1/2"	OUTLET-VERIFY TYPE	
4	BLOCK HEATER	DOCK		1.5		120	1	LA1-5	1	20			2	10 THWN 12 GROUND	1/2"	OUTLET-VERIFY TYPE	
5	BLOCK HEATER	DOCK		1.5		120	1	LA1-7	1	20			2	10 THWN 12 GROUND	1/2"	OUTLET-VERIFY TYPE	
6	BLOCK HEATER	DOCK		1.5		120	1	LA1-9	1	20			2	10 THWN 12 GROUND	1/2"	OUTLET-VERIFY TYPE	
7	BLOCK HEATER	DOCK		1.5		120	1	LA1-11	1	20			2	10 THWN 12 GROUND	1/2"	OUTLET-VERIFY TYPE	
8	BLOCK HEATER	DOCK		1.5		120	1	LA1-13	1	20			2	10 THWN 12 GROUND	1/2"	OUTLET-VERIFY TYPE	
9	BLOCK HEATER	DOCK		1.5		120	1	LA1-15	1	20			2	10 THWN 12 GROUND	1/2"	OUTLET-VERIFY TYPE	
10	BLOCK HEATER	DOCK		1.5		120	1	LA1-17	1	20			2	10 THWN 12 GROUND	1/2"	OUTLET-VERIFY TYPE	
11	BLOCK HEATER	DOCK		1.5		120	1	LA2-5	1	20			2	10 THWN 12 GROUND	1/2"	OUTLET-VERIFY TYPE	
12	BLOCK HEATER	DOCK		1.5		120	1	LA2-7	1	20			2	10 THWN 12 GROUND	1/2"	OUTLET-VERIFY TYPE	
13	BLOCK HEATER	DOCK		1.5		120	1	LA2-9	1	20			2	10 THWN 12 GROUND	1/2"	OUTLET-VERIFY TYPE	

### AUXILIARY TRANSFORMER SCHEDULE

UNIT NO.	KVA	PHASE	PRIMARY VOLTAGE	SECONDARY VOLTAGE	MANUFACTURER	TYPE	CATALOG NO.	MOUNTING	FEEDING	SEE NOTE
T1	30	3	480	120/208	SQ.D	DRY	EE30T3H	WALL ABOVE PANEL	PANEL LA1	
T2	30	3	480	120/208	SQ.D	DRY	EE30T3H	WALL ABOVE PANEL	PANEL LA2	



1  
E3.1  
ELECTRICAL  
FIXTURE TYPE 'E2' MOUNTING DETAIL  
NOT TO SCALE



LOAD CALCULATIONS	
EXISTING SERVICE FROM ELECTRIC BILLS	550KW x 1.25 = 687.5KW
NEW PANEL LA	106.8KW
TOTAL LOAD	794.3KW
957A @ 277/480V, 3Ø, 4W	



REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**EMCO Chemical Distributors, Inc.**  
**Warehouse Addition**  
8601 95th Street  
Pleasant Prairie, WI 53158

Power • Lighting • Systems • Controls  
**Kornacki and Associates, Inc.**  
Consulting Electrical Engineers  
5420 S. Westridge Drive New Berlin, Wisconsin 53151 (262) 784-3323 Fax 784-5014

DATE ISSUED  
02/12/16  
PROJECT NO.  
15114  
PROJECT MANAGER  
D.B.K.  
DRAWN BY  
S.M.B.  
CHECKED BY  
D.B.K.  
APPROVED BY  
D.B.K.

SHEET NO.  
**E3.1**

PANEL 'HA'								
CRCT NO.	BRKR	DESCRIPTION	PHASE			DESCRIPTION	BRKR	CRCT NO.
			A	B	C			
1	1P20	EXTERIOR LIGHTING	3186			WAREHOUSE LIGHTING	1P20	2
3	1P20	EXTERIOR LIGHTING	2160	3186		WAREHOUSE LIGHTING	1P20	4
5	1P20	EXTERIOR LIGHTING		648	3186	WAREHOUSE LIGHTING	1P20	6
7	3P15	GAS FIRED UNIT HEATER			94	WAREHOUSE LIGHTING	1P20	8
9			636	1770		WAREHOUSE LIGHTING	1P20	10
11				636	3186	WAREHOUSE LIGHTING	1P20	12
13	3P15	GAS FIRED UNIT HEATER	1770			WAREHOUSE LIGHTING	1P20	14
15			636	3186		WAREHOUSE LIGHTING	1P20	16
17				636	3186	WAREHOUSE LIGHTING	1P20	18
19	3P15	GAS FIRED UNIT HEATER	636	1770		WAREHOUSE LIGHTING	1P20	20
21			636	3105		OFFICE LIGHTING	1P20	22
23				636	1770	MEZZANINE LIGHTING	1P20	24
25	3P15	GAS FIRED UNIT HEATER	636			SPARE	1P20	26
27				636		SPARE	1P20	28
29					636	SPARE	1P20	30
31	3P15	MAKE-UP AIR UNIT MUA-1	636	10000		TRANSFORMER T1	3P60	32
33				636	10000			34
35					636	10000		36
37	3P15	MAKE-UP AIR UNIT MUA-2	636	10000		TRANSFORMER T2	3P60	38
39				636	10000			40
41					636	10000		42

VOLTAGE: 277/480 VOLT, 3 PHASE, 4 WIRE  
 TOTAL PHASE A: CONT.  
 TOTAL PHASE B: CONT.  
 TOTAL PHASE C: CONT.  
 TOTAL PANEL: CONT.  
 TOTAL AMPS: CONT.  
 DEMAND WATTS: CONT. DEMAND AMPS: CONT.

S.Q.D CAT. # NF  
 MAIN BREAKER  MAIN LUGS ONLY  
 AMPS: 400 AIC AMPS:  
 FEED THROUGH LUGS  SUB FEED LUGS  
 FLUSH  SURFACE  
 COMMENTS:

PANEL 'HA' (CONT.)								
CRCT NO.	BRKR	DESCRIPTION	PHASE			DESCRIPTION	BRKR	CRCT NO.
			A	B	C			
43		SPACE				SPACE		44
45		SPACE				SPACE		46
47		SPACE				SPACE		48
49		SPACE				SPACE		50
51		SPACE				SPACE		52
53		SPACE				SPACE		54
55		SPACE				SPACE		56
57		SPACE				SPACE		58
59		SPACE				SPACE		60
61		SPACE				SPACE		62
63		SPACE				SPACE		64
65		SPACE				SPACE		66
67		SPACE				SPACE		68
69		SPACE				SPACE		70
71		SPACE				SPACE		72
73		SPACE				SPACE		74
75		SPACE				SPACE		76
77		SPACE				SPACE		78
79		SPACE				SPACE		80
81		SPACE				SPACE		82
83		SPACE				SPACE		84

VOLTAGE: 277/480 VOLT, 3 PHASE, 4 WIRE  
 TOTAL PHASE A: 34,472  
 TOTAL PHASE B: 37,127  
 TOTAL PHASE C: 35,238  
 TOTAL PANEL: 106,837  
 TOTAL AMPS: 129  
 DEMAND WATTS: CONT. DEMAND AMPS: CONT.

S.Q.D CAT. # NF  
 MAIN BREAKER  MAIN LUGS ONLY  
 AMPS: 400 AIC AMPS:  
 FEED THROUGH LUGS  SUB FEED LUGS  
 FLUSH  SURFACE  
 COMMENTS:

PANEL 'LA1'								
CRCT NO.	BRKR	DESCRIPTION	PHASE			DESCRIPTION	BRKR	CRCT NO.
			A	B	C			
1	1P20	BLOCK HEATER	1500	720		DOCK RECEPTACLES (4)	1P20	2
3	1P20	BLOCK HEATER		720		DOCK RECEPTACLES (4)	1P20	4
5	1P20	BLOCK HEATER		1500	670	GAS FIRED UNIT HEATER	1P20	6
7	1P20	BLOCK HEATER		670	1500	GAS FIRED UNIT HEATER	1P20	8
9	1P20	BLOCK HEATER	1500		670	GAS FIRED UNIT HEATER	1P20	10
11	1P20	BLOCK HEATER		1500	670	GAS FIRED UNIT HEATER	1P20	12
13	1P20	BLOCK HEATER	1500		360	ROOF TOP RECEPTACLES (2)	1P20	14
15	1P20	BLOCK HEATER		1500		SPARE	1P20	16
17	1P20	SPARE			1500	SPARE	1P20	18
19	1P20	SPARE				SPARE	1P20	20
21	1P20	SPARE				SPARE	1P20	22
23	1P20	SPARE				SPARE	1P20	24
25		SPACE				SPACE		26
27		SPACE				SPACE		28
29		SPACE				SPACE		30
31		SPACE				SPACE		32
33		SPACE				SPACE		34
35		SPACE				SPACE		36
37		SPACE				SPACE		38
39		SPACE				SPACE		40
41		SPACE				SPACE		42

VOLTAGE: 120/208 VOLT, 3 PHASE, 4 WIRE  
 TOTAL PHASE A: 6,560  
 TOTAL PHASE B: 6,250  
 TOTAL PHASE C: 5,870  
 TOTAL PANEL: 18,650  
 TOTAL AMPS: 52  
 DEMAND WATTS: CONT. DEMAND AMPS: CONT.

S.Q.D CAT. # NOOD  
 MAIN BREAKER  MAIN LUGS ONLY  
 AMPS: 3P100 AIC AMPS:  
 FEED THROUGH LUGS  SUB FEED LUGS  
 FLUSH  SURFACE  
 COMMENTS:

PANEL 'LA2'								
CRCT NO.	BRKR	DESCRIPTION	PHASE			DESCRIPTION	BRKR	CRCT NO.
			A	B	C			
1	2P60	GUARD SHACK PANEL	1080			OFFICE RECEPTACLES (6)	1P20	2
3			4900	1080		OFFICE RECEPTACLES (6)	1P20	4
5	1P20	BLOCK HEATER		4900	1080	OFFICE RECEPTACLES (6)	1P20	6
7	1P20	BLOCK HEATER	1500		1500	PARTITION RECEPTACLES	1P20	8
9	1P20	BLOCK HEATER		1500	720	PARTITION RECEPTACLES	1P20	10
11	1P20	DOCK RECEPTACLES (4)			720	PARTITION RECEPTACLES	1P20	12
13	1P20	EXHAUST FAN TEF-1	13	720		PARTITION RECEPTACLES (4) IG	1P20	14
15	1P20	EXHAUST FAN TEF-2		13	720	PARTITION RECEPTACLES (4) IG	1P20	16
17	1P20	EXHAUST FAN EF-1			900	MEZZANINE RECEPTACLES (5)	1P20	18
19	1P20	FURNACE	670			SPARE	1P20	20
21	1P20	SPARE				SPARE	1P20	22
23	1P20	SPARE				SPARE	1P20	24
25		SPACE				SPACE		26
27		SPACE				SPACE		28
29		SPACE				SPACE		30
31		SPACE				SPACE		32
33		SPACE				SPACE		34
35		SPACE				SPACE		36
37		SPACE				SPACE		38
39		SPACE				SPACE		40
41		SPACE				SPACE		42

VOLTAGE: 120/208 VOLT, 3 PHASE, 4 WIRE  
 TOTAL PHASE A: 9,603  
 TOTAL PHASE B: 8,933  
 TOTAL PHASE C: 5,350  
 TOTAL PANEL: 23,886  
 TOTAL AMPS: 66  
 DEMAND WATTS: CONT. DEMAND AMPS: CONT.

S.Q.D CAT. # NOOD  
 MAIN BREAKER  MAIN LUGS ONLY  
 AMPS: 3P100 AIC AMPS:  
 FEED THROUGH LUGS  SUB FEED LUGS  
 FLUSH  SURFACE  
 COMMENTS:

**COMcheck Software Version 4.0.2.3**  
**Interior Lighting Compliance Certificate**

**Section 1: Project Information**  
 Energy Code: 2009 IECC  
 Project Title: EMCO Chemical Distributors, Inc.  
 Project Type: Addition  
 Construction Site: 8601 95th Street, Pleasant Prairie, WI 53158  
 Owner/Agent: Designer/Contractor:

**Section 2: Interior Lighting and Power Calculation**

Area Category	A	B	C	D
	Floor Area (ft <sup>2</sup> )	B Area (ft <sup>2</sup> )	Allowed Watts / ft <sup>2</sup>	Allowed Watts (B x C)
Office	4506	1	1	4506
Warehouse	57310	0.8	1	45848
<b>Total Allowed Watts =</b>				<b>50354</b>

**Section 3: Interior Lighting Fixture Schedule**

Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	A	B	C	D	E
	Lamps / Fixture	# of Fixtures	Watt	(C X D)	
Office (4506 sq.ft.)					
LED 1: D: Downlight: Other	1	12	23	276	
Linear Fluorescent 2: G: 2' x 4' Troffer: 48" T8 32W: Electronic	3	27	88	2376	
Linear Fluorescent 2: G1: 2' x 4' Recessed Indirect: 48" T8 32W: Electronic	3	3	88	264	
Linear Fluorescent 3: S: 8' Strip: 48" T8 32W: Electronic	4	15	118	1770	
LED 2: W: 2' Mirror Bracket: Other	1	2	18	36	
LED 3: W: 4' Wraparound: Other	1	3	40	120	
Warehouse (57310 sq.ft.)					
Linear Fluorescent 4: H: Fluorescent High Bay: 46" T5 HO 54W: Electronic	6	99	354	35046	
<b>Total Proposed Watts =</b>				<b>39888</b>	

**Section 4: Requirements Checklist**  
 Interior Lighting PASSES: Design 21% better than code.  
**Lighting Wattage:**  
 1. Total proposed watts must be less than or equal to total allowed watts.  

Watts	Allowed	Proposed	Complies
50354	39888	YES	

**Controls, Switching, and Wiring:**  
 2. Daylight zones under skylights more than 15 feet from the perimeter have lighting controls separate from daylight zones adjacent to vertical fenestration.  
 3. Daylight zones have individual lighting controls independent from that of the general area lighting.  
**Exceptions:**  
 Contiguous daylight zones spanning no more than two orientations are allowed to be controlled by a single controlling device.  
 Daylight spaces enclosed by walls or ceiling height partitions and containing two or fewer light fixtures are not required to have a separate switch for general area lighting.  
 4. Independent controls for each space (switch/occupancy sensor).  
**Exceptions:**  
 Areas designated as security or emergency areas that must be continuously illuminated.  
 Lighting in stairways or corridors that are elements of the means of egress.  
 NA 5. Master switch at entry to hotel/motel guest room.  
 NA 6. Individual dwelling units separately metered.  
 NA 7. Medical task lighting or artistry display lighting claimed to be exempt from compliance has a control device independent of the control of the nonexempt lighting.  
 8. Each space required to have a manual control also allows for reducing the connected lighting load by at least 50 percent by either controlling all luminaires, dual switching of alternate rows of luminaires, alternate luminaires, or alternate lamps, switching the middle lamp luminaires independently of other lamps, or switching each luminaire or each lamp.  
**Exceptions:**  
 Only one luminaire in space.  
 An occupant-sensing device controls the area.  
 The area is a corridor, storeroom, restroom, public lobby or sleeping unit.  
 Areas that use less than 0.6 Watts/sq. ft.  
 9. Automatic lighting shutoff control in buildings larger than 5,000 sq. ft.  
**Exceptions:**  
 Sleeping units, patient care areas; and spaces where automatic shutoff would endanger safety or security.  
 10. Photocell/astronomical time switch on exterior lights.  
**Exceptions:**  
 Lighting intended for 24 hour use.  
 11. Tandem wired one-lamp and three-lamp ballasted luminaires (No single-lamp ballasts).  
**Exceptions:**  
 Electronic high-frequency ballasts; Luminaires on emergency circuits or with no available pair.

**Section 5: Compliance Statement**  
 Compliance Statement: The proposed lighting design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed lighting system has been designed to meet the 2009 IECC requirements in COMcheck Version 4.0.2.3 and to comply with the mandatory requirements in the Requirements Checklist.  
 David B. Kornacki - PE  
 David B. Kornacki 2-12-16  
 Name - Title Signature Date

Project Title: EMCO Chemical Distributors, Inc. Report date: 02/12/16  
 Data filename: M:\DWG\EMCO Chemical (15114) EMCO Warehouse Addition - Pleasant Prairie, WI\ComCheck\EMCO PP.cck Page 1

**Section 4: Requirements Checklist**  
 Interior Lighting PASSES: Design 21% better than code.  
**Lighting Wattage:**  
 1. Total proposed watts must be less than or equal to total allowed watts.  

Watts	Allowed	Proposed	Complies
50354	39888	YES	

**Controls, Switching, and Wiring:**  
 2. Daylight zones under skylights more than 15 feet from the perimeter have lighting controls separate from daylight zones adjacent to vertical fenestration.  
 3. Daylight zones have individual lighting controls independent from that of the general area lighting.  
**Exceptions:**  
 Contiguous daylight zones spanning no more than two orientations are allowed to be controlled by a single controlling device.  
 Daylight spaces enclosed by walls or ceiling height partitions and containing two or fewer light fixtures are not required to have a separate switch for general area lighting.  
 4. Independent controls for each space (switch/occupancy sensor).  
**Exceptions:**  
 Areas designated as security or emergency areas that must be continuously illuminated.  
 Lighting in stairways or corridors that are elements of the means of egress.  
 NA 5. Master switch at entry to hotel/motel guest room.  
 NA 6. Individual dwelling units separately metered.  
 NA 7. Medical task lighting or artistry display lighting claimed to be exempt from compliance has a control device independent of the control of the nonexempt lighting.  
 8. Each space required to have a manual control also allows for reducing the connected lighting load by at least 50 percent by either controlling all luminaires, dual switching of alternate rows of luminaires, alternate luminaires, or alternate lamps, switching the middle lamp luminaires independently of other lamps, or switching each luminaire or each lamp.  
**Exceptions:**  
 Only one luminaire in space.  
 An occupant-sensing device controls the area.  
 The area is a corridor, storeroom, restroom, public lobby or sleeping unit.  
 Areas that use less than 0.6 Watts/sq. ft.  
 9. Automatic lighting shutoff control in buildings larger than 5,000 sq. ft.  
**Exceptions:**  
 Sleeping units, patient care areas; and spaces where automatic shutoff would endanger safety or security.  
 10. Photocell/astronomical time switch on exterior lights.  
**Exceptions:**  
 Lighting intended for 24 hour use.  
 11. Tandem wired one-lamp and three-lamp ballasted luminaires (No single-lamp ballasts).  
**Exceptions:**  
 Electronic high-frequency ballasts; Luminaires on emergency circuits or with no available pair.

**Section 5: Compliance Statement**  
 Compliance Statement: The proposed lighting design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed lighting system has been designed to meet the 2009 IECC requirements in COMcheck Version 4.0.2.3 and to comply with the mandatory requirements in the Requirements Checklist.  
 David B. Kornacki - PE  
 David B. Kornacki 2-12-16  
 Name - Title Signature Date

Project Title: EMCO Chemical Distributors, Inc. Report date: 02/12/16  
 Data filename: M:\DWG\EMCO Chemical (15114) EMCO Warehouse Addition - Pleasant Prairie, WI\ComCheck\EMCO PP.cck Page 2

REVISIONS	
DATE	DESCRIPTION

PROJECT: **EMCO Chemical Distributors, Inc.**  
**Warehouse Addition**  
 8601 95th Street  
 Pleasant Prairie, WI 53158

Power • Lighting • Systems • Controls  
**Kornacki and Associates, Inc.**  
 Consulting Electrical Engineers  
 5420 S. Westridge Drive New Berlin, Wisconsin 53151 (262) 784-3323 Fax 784-5014

DATE ISSUED  
 02/12/16  
 PROJECT NO.  
 15114  
 PROJECT MANAGER  
 D.B.K.  
 DRAWN BY  
 S.M.B.  
 CHECKED BY  
 D.B.K.  
 APPROVED BY  
 D.B.K.

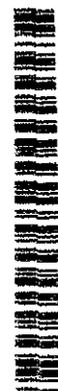
SHEET NO.  
**E3.2**





**VILLAGE OF PLEASANT PRAIRIE  
CONDITIONAL USE GRANT NO. 09-08**

Before the Village of Pleasant Prairie Plan Commission,  
Kenosha County, Wisconsin, in regard to the property  
located at **8601 95<sup>th</sup> Street.**



DOCUMENT

1614258

RECORDED  
At Kenosha County, Kenosha, WI 53140  
Louise J. Principe, Register of Deeds  
on 4/01/2010 at 2:27PM \$41.00  
100010773

JENF

RECEIVED

**Return to:**

Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

**Parcel Number:**

92-4-122-212-0354

41-

**Legal Description:** Parcel 14 of CSM #1361 (Document #944571, Volume 1398, Pages 893-896 and recorded on June 13, 1990), located in a part of the Northwest ¼ of Section 21 Township 1 North, Range 22 East of the Fourth Principal Meridian in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

**WHEREAS**, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provides that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

**WHEREAS**, such petition having been made on behalf of the property owner, to use the existing site and building for an industrial chemical distribution facility and public hearing held thereon, and the Village Plan Commission having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance. Specifically, based upon the information presented at the public hearing, in particular the memorandum from the Village Fire & Rescue Department that the projects meet the following standards for granting a Conditional Use Permit in that the projects:

- the projects do not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services;
- the projects do not impair an adequate supply of light and air to the adjacent properties;
- the projects do not increase danger of fire -- in so far as the danger of fire does not exceed the capabilities of the Village Fire & Rescue Department as noted in the comments dated December 9, 2009 from the Village Fire Chief;
- the projects do not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare;
- have no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use;

- the proposed and applied for use on this particular parcel is not inherently inconsistent with either the M-2 – Heavy Manufacturing District in which it is located or the surrounding industrial zoned districts and surrounding neighborhood; and
- the proposed and applied for use will comply with all applicable Village ordinance requirements and all other applicable Federal, State or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection.

**NOW THEREFORE**, a Conditional Use Permit is granted, subject to compliance with the terms and conditions hereinafter stated to use the existing site and building for an industrial chemical distribution facility. Specifically, the operations of the industrial distribution business consists of receiving chemicals in bulk, typically via railcar or tanker truck, unloading these chemicals into dedicated storage tanks and then repackaging these chemicals into smaller containers, storing and distributing to their customers. Part of the distribution process also includes blending the chemicals per a customer's requirements and then packaging these blends into desired containers. These blends include both solvent-based and water-based formulas. EMCO also buys a multitude of items in pre-packaged drums, bags, pails and other various containers. These items are unloaded and stored at the facility in appropriate storage areas and containers until required for shipment to a customer. To insure prompt deliveries, EMCO utilizes a combination of their own fleet of tanker and box trailers as well as common carriers. On a typical day, EMCO will send out their fleet of 25 trucks to make deliveries in the area within a 100 mile radius of this facility.

EMCO will utilize common carriers to deliver to points outside of this delivery zone. Shipment sizes range from a single pail of a product to a tank truck of chemical.

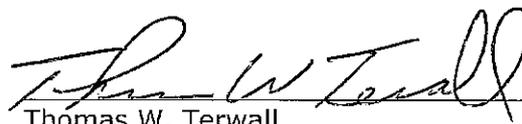
1. All previous approvals and Conditional Use Permits approved on this property prior to December 1, 2009 shall be null and void. If the property owner would like the Village to prepare documents to release these recorded documents, a list of all recorded Conditional Use Permit numbers and the recording information shall be submitted to the Village for the proper release to be prepared. The petitioner would be responsible for any cost associated with preparing and recording the release of the document(s).
2. Compliance with the attached Village Fire & Rescue Department Chief's comments dated December 9, 2009.
3. Subject to the attached comments from the Village Building Inspector dated December 7, 2009.
4. If an Air Quality Permit from the DNR is required, a copy of such permit shall be submitted to the Village.
5. A temporary use permit application, including a written narrative related to the temporary storage of no more than six (6) rail cars shall be submitted for final review and issuance of the temporary use permit.
6. Proper sign permits shall be submitted prior to installation of any new signs or modifications to any existing signs. Sign changes shall be completed prior to occupancy.
7. Prior to occupancy the required building permit shall be obtained, building and zoning permits shall be issued (including the execution of the required conditional use grant document) and all required inspections shall be completed.

8. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the Conditional Use Permit or zoning violation prosecution, or both.
9. All plans shall conform to applicable Village ordinance requirements, and to all other applicable local, state and federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.
10. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 12.12 of the Village Zoning Ordinance.
11. All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well-cared-for and attractive condition.
12. No changes to the site or buildings shall be made without the Village's approval. In addition, any addition, alteration, extension, expansion, repair or other proposed change in the approved operation shall be subject to the Village's Conditional Use Permit procedures as if such use were being established anew.
13. The Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.

**Granted by the action of the Village of Pleasant Prairie Plan Commission the 14<sup>th</sup> day of December 2009.**

ATTEST:

  
Donald Hackbarth  
Secretary

  
Thomas W. Terwall  
Plan Commission Chairman

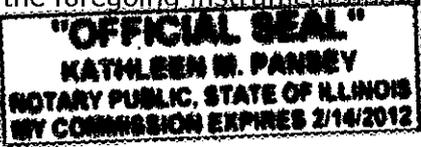
OWNER: Brems Realty. LLC

[Signature]  
Edward Polen  
Partner

[Signature]  
Randy Polen  
Partner

ACKNOWLEDGMENT  
STATE OF ILLINOIS  
LAKE<sup>SS</sup> COUNTY)

Personally came before me this 15th day of February, 2010, the above named to me known to be the person (**Edward Polen, Partner, Brems Relaty, LLC**) who executed the foregoing instrument and acknowledge the same.



[Signature]  
Print Name: KATHLEEN M. PANSEY  
Notary Public, IL County, LAKE  
My Commission Expires: 2-14-2012

ACKNOWLEDGMENT  
STATE OF ILLINOIS  
LAKE<sup>SS</sup> COUNTY)

Personally came before me this 15th day of February, 2010, the above named to me known to be the person (**Randy Polen, Partner, Brems Relaty, LLC**) who executed the foregoing instrument and acknowledge the same.



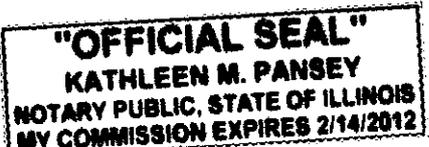
[Signature]  
Print Name: KATHLEEN M. PANSEY  
Notary Public, IL County, LAKE  
My Commission Expires: 2-14-2012

TENANT: EMCO Chemical Distribution Inc.

[Signature]  
Edward Polen  
President

ACKNOWLEDGMENT  
STATE OF ILLINOIS  
LAKE<sup>SS</sup> COUNTY)

Personally came before me this 15th day of February, 2010, the above named to me known to be the person (**Edward Polen, President of EMCO Chemical Distribution, Inc.**) who executed the foregoing instrument and acknowledge the same.



[Signature]  
Print Name: KATHLEEN M. PANSEY  
Notary Public, IL County, LAKE  
My Commission Expires: 2-14-2012

THIS INSTRUMENT WAS DRAFTED BY:  
Jean M. Werbie-Harris, Community Development Director  
Village of Pleasant Prairie, 9915 39th Avenue  
Pleasant Prairie, Wisconsin 53158



## VILLAGE STAFF MEMORANDUM

TO: Jean Werbie, Community Development Director  
FROM: Paul G. Guilbert, Jr., Chief, Fire & Rescue Department  
CC: Peggy Herrick, Assistant Planner, Community Development  
Lt. Thomas Clark, Fire & Rescue Department  
SUBJECT: Review of the Site and Operational Plan for EMCO Chemical  
Distributors, Inc., 8601 95<sup>th</sup> Street  
DATE: December 9, 2009

This is a review of the Site and Operational Plan for a proposed new tenant within the existing, vacant, facility formerly used by Lawter and Hexion, 8601 95<sup>th</sup> Street.

The building will be used to receive, store, re-package from large containers (rail cars, tank trucks, totes) into smaller containers. EMCO will then ship product from this facility as well.

EMCO has identified approximately 45 chemicals, in large quantities, that will be brought onto the property for some type of storage and handling. Of the 45 identified chemicals, 5 are classified non-flammable, 24 are classified as Hazard II and 21 as Hazard III. For the purposes of the document we have received, EMCO wanted to delineate between material that flashes at or below 140 degrees F. (Class II), those that flash above 140 degrees F. (Class III) and non-flammable material. This was intended to describe the "flammables", "combustibles" and "non-flammable" material that they propose for the tank farm. NOTE: The tank farm is protected by fire sprinklers.

This review is based upon the limited materials submitted for review, two meetings with the President and two Vice Presidents, correspondence via e-mails and a telephone conference call with Ron Kaplan on 12/07/2009. EMCO has been quite forthcoming with the answers to questions we have asked.

The Facilities are classified under the Wisconsin Administrative Code and the Wisconsin Enrolled Commercial Building Code.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of these facilities, twice annually.

The concerns of the Fire & Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. The building shall be constructed in accordance with the State of Wisconsin, COMM. 61, the IBC as Modified by Chapter COMM 62, the IECC as Modified by Chapter COMM 63, the IMC as Modified by Chapter COMM 64, the IFC as Modified by Chapter COMM 65, applicable NFPA codes, Village of Pleasant Prairie Ordinance Chapter 180 Fire and Rescue and in particular those items that pertain to fire protection and life safety.
4. The building and storage must comply with the requirements of NFPA 30 and WI Department of Commerce (code) 10.
5. In the event a conflict in code(s) is identified or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State.

Upon review of the plans submitted and based upon information gathered, we have the following concerns:

- EMCO has stated they will not perform any controlled reactions, there will be no milling operations and there will be no thermal oxidizers, as was the case with the previous tenant.
- EMCO has stated they intend to 'fill-in' the existing pit, located on the south center of the building.
- EMCO has provided us with a floor plan indicating storage arrangements, and has also identified the contents of future and or existing storage tanks. Those storage tanks will be located within the existing building (typically the southwest corner) and within a remote tank farm (within the southwest corner of the property, near the rail yard).
- EMCO has stated they will use and maintain the existing fire sprinkler protection, including the foam fire suppression system.
- The Fire & Rescue Department will need EMCO to submit a revised floor plan, indicating where product will be stored, the Hazard Classification of

that product, the capability of the fire sprinkler in the respective storage area, and a plan to address any deficiencies in fire protection. The submission of MSDS may be necessary. The Fire & Rescue Department will use a sub-contractor to assist in this evaluation.

- The Fire & Rescue Department and EMCO will need to discuss the requirements for maintaining 'fire foam' reserve on site.
- Containment System: There are some containment systems in place, EMCO will need to identify the need for modification to the existing systems as well as the need for additional containment systems.
- EMCO has an internal HAZMAT team consisting of 41 members, all of which have had extensive practical and classroom training. Pleasant Prairie Fire & Rescue will need to meet with the EMCO Haz Mat team leaders to become familiar with EMCO capabilities and to become familiar with the EMCO Haz Mat / Emergency Plans.
- EMCO will transfer product from large containers to small, we will need to discuss 'bonding' to prevent the discharge of static electricity. Such bonding shall be in place prior to operations beginning.
- Rail cars containing flammable liquids will be brought onto the site. The Emergency Plan for fires and spills must be agreed upon by both Fire & Rescue and EMCO.
- At this time, EMCO does not plan to fill aerosol cans at this site. At such time EMCO proposes to begin this type of operation, coordination of fire protection must occur before that operation begins.
- Aerosols must be stored in compliance with NFPA Codes as adopted by the Village of Pleasant Prairie.
- Air Exchange: Fire & Rescue and EMCO will need to discuss the need to move or 'exchange' air. Air exchange is a method to prevent flash fires and or explosions. The amount of air movement anticipated shall be evaluated to determine the need for an interface with the fire alarm system and the possible need to shut down any air movement in the event of a fire. Reference: The International Mechanical Code, 2006, Chapters 3 and 4.
- A fire alarm system is in place and may require additional audiovisual devices. A component of the existing fire alarm system is infrared fire detection devices. The need to maintain or add such devices must also be evaluated.
- Steel Columns: Some of the existing steel columns are protected by fire sprinklers; this too must be re-evaluated before occupancy.
- MSDS: The Owner and Fire & Rescue Department will need to develop a procedure that will allow Fire & Rescue rapid access to MSDS in the event of an emergency.
- MSDS Knox Box: The Fire & Rescue Department needs to discuss the need and location of MSDS Knox Box(s) with the Owner to determine if this information should be placed on the exterior of the building, so the Fire & Rescue Department does not have to enter the building to retrieve this information.

- NFPA 704: Signs meeting this standard shall be placed in locations mutually agreeable to the Owner and the Fire & Rescue Department. This becomes an important safety feature for Fire & Rescue, and mutual aid in particular.
  - The Fire & Rescue Department requires an annual test and inspection of the fire pump, fire sprinkler and fire alarm systems respectively. These inspections shall be performed in accordance with NFPA 25 (sprinkler) and NFPA 72 (fire alarm) as found in Village Ordinance 180.16. The tests for this complex are currently overdue and shall be brought into compliance before occupancy.
  - Fire Main: The Owner needs to be aware that the existing fire main, is not a looped system, with a 'dead end' on both the east and west sides of the building.
  - Fire hydrants: Shall always be visible and accessible, in particular in any area where trailer trucks will be parked or staged.
  - Truck staging shall not decrease the width of the required fire lanes.
  - EMCO has indicated on the plan submitted for review, their desire to store or conduct other activity between the existing rail car building and the remote tank farm. Such activity will block the existing access to these structures. The access shall be maintained as it currently exists.
  - AED. Because of the overall building size the owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee use in the event of a sudden cardiac arrest. The Fire & Rescue Department can provide the training necessary to perform CPR and to operate the AED.
  - Rack storage: If it is the intent to use rack storage, that rack storage configuration must be reviewed by the fire protection contractor to assure adequate fire sprinkler protection. Rack storage shall not adversely effect the maximum exit distance requirements. This process needs to begin immediately to assure no interruption in the construction timeline and to assure the opening date will be met.
  - Place of Refuge: The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a "place of refuge" or "safe haven" during severe weather such as a tornado.
  - The building will need to be re-evaluated in regards to fire and life safety protection prior to occupancy by the proposed tenant.
6. **Fire and Rescue Department Review and Comments:**
7. **Plan Review, Permits and Fees:** In the event any modifications will be made to fire mains, the fire sprinkler system, the fire alarm system, five (5) sets of plans shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for the review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.

8. **Hazardous Occupancies:** The Fire & Rescue Department will need more than the typical four week time period to review proposed Hazardous Occupancies. The owner must contact the Fire & Rescue Department as soon as possible to begin the review process.
9. **The following information must be submitted with any sprinkler plans for review:**  
 Building height:  
 Number of stories/floors:  
 Mezzanines:  
 Clear space:  
 Elevators:  
 Hazard class:  
 Commodity:  
 Maximum storage height:  
 Square footage, office space:  
 Square footage, Manufacturing including maintenance and equipment:  
 Square footage, receiving space:  
 Square footage, shipping space:  
 Square footage, warehouse space:  
 Exterior storage:  
 Fire protection:
10. **The following Fees and Permits are generated directly from the Fire & Rescue Department.**
- o Water Usage, water used during any flushing and or testing.
  - o Fire Protection Plans for Underground and Aboveground
  - o Fire Alarm System Plans
  - o Kitchen Hood Systems Plans
  - o Occupancy Permit & Re-Inspection fees

An invoice for permit fees will be issued upon achieving a satisfactory review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.

11. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.
12. **Pre-Construction Meeting:** In the event modifications are made to this complex, a pre-construction meeting shall take place with the general contractor, the respective fire protection sub-contractors, the Fire & Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a

Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Commerce.

13. **Site Access:** Access around the site must comply with COMM 62.0500, Chapter 5 of the Enrolled Code for all Fire Department apparatus and NFPA 1 Chapter 18 2006 edition. A minimum wall-to-wall turning radius of 45'-0" is required for apparatus movement.
  - a. All exterior exit pathways as well as access to the Fire Pump Room shall have a hard surface, leading to a hard surface.
  - b. All roadways around the proposed building must be a minimum of 30 feet.
14. **Sprinkler System:** The building shall is equipped with an "automatic fire sprinkler system". Any changes to the existing systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.
15. **Storage:** EMCO must be aware of the restrictions that apply to the storage of pallets, cardboard, finished products, etc. Maximum height, width and aisle ways must be maintained and will be enforced. The same concerns apply to the storage of large quantities of combustibles (plastics, plastic wrap and cardboard) such as those used in packaging and storage.

**NOTE:** Dependant upon storage configurations and the possible use of in rack storage; in rack sprinkler protection may be required.
16. **Water Service:** If it is determined that the building will be serviced by a combination municipal water and fire protection main, and or any modifications to the fire main are needed, that main must be sized by the fire protection (sprinkler) contractor. No main is allowed to travel underground, under the building.
17. **Fire Flow Tests:** In the event changes are made to the fire mains and or fire sprinkler system, current water flow test results must be provided when the fire protection plans are submitted for review. Fire protection contractors must schedule water flow tests with Pleasant Prairie Water Utility Department by calling 262-694-1403.
18. **Plan Review (Underground):** In the event changes are made to the fire main, a review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire & Rescue Department. This requirement is in addition to any reviews and

permitting by the Village of Pleasant Prairie Building Department. Underground plans shall be submitted a minimum of four (4) weeks before installation begins.

19. **Fire Hydrant Acceptance:** Completed, in place.
20. **Standpipes:** Some standpipes are currently in place, changes to the fire protection may require additional standpipes. At such time a portion of the building or the entire building is used for storage fire standpipes are required. In lieu of 1.5 inch hose stations, the building shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve, when supplied by the fire department pumper, in the event no fire pump is needed. The standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob. See note above, about painting.
21. **Fire Hydrants:** In place, however, please read. Fire hydrant locations have been discussed previously in this document. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches. The Fire Department connections shall be located, and of sufficient height where typical snow fall or snow removal operations will not obstruct access. Fire hydrants supplied directly from municipal water shall be painted red, with reflective silver caps per the village water utility specification. Fire hydrants supplied by a private fire pump shall be painted all red.
22. **Pumper Pad:** In place. Pumper Pad (hydrant and FDC) must be provided for these buildings. There shall be dedicated space for a fire engine to have unobstructed access to the Pumper Pad.
23. **Bollards:** Shall be placed near new (additional) fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) to prevent damage. Bollards shall not obstruct charged fire hoses. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.
24. **Strobe Light:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16 K of the Sprinkler Ordinance.
25. **Fire Alarm System:** In place, see notes above.

- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
- b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
- c. **Smoke, Heat and Infrared Detection:** Shall be installed per NFPA.
- d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
- e. **Fire Alarm Control Panel: Shall be addressable. In place.** The annunciator panel type shall be approved by the Fire & Rescue Department. The Fire Alarm Control Panel shall be located within the Fire Pump Room. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
- f. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.

- 1) The central station shall be provided with this information regarding the geographical location of this alarm:

Village of Pleasant Prairie, County of Kenosha, State of Wisconsin

Fire: Pleasant Prairie Fire & Rescue  
 Medical: Pleasant Prairie Fire & Rescue

Phone numbers:  
**Emergency: (262) 694-1402**

Non-emergency: (262) 694-7105  
 Business: (262) 694-8027

26. **Knox Box:** In place. Knox Boxes shall be provided for the building, a determination of the exact number required will need to be made. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm

pull station, annunciator panel, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.

27. **MSDS Knox Box:** See notes above. A minimum of One (1) Knox Box(s) designed for Material Safety Data Sheet storage shall be provided for each tenant to contain the data sheets on all products that are considered hazardous within the facility. The MSDS Box(s) shall be installed within the Fire Pump Room.
28. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
29. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. The Fire & Rescue Department will evaluate this lighting prior to occupancy during the evening hours after sunset. An Emergency light shall be placed within the fire pump room. Reference: Pleasant Prairie Village Ordinance, 180.
30. **Final Inspection:** For each building the General Contractor shall provide the following documentation to the Fire & Rescue Department at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
- a. In the event modifications are made to the existing fire sprinkler system, the fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
  - b. A copy of contract with fire alarm central monitoring station.
  - c. A copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
  - d. Copies of the fire protection underground flushing documents, if modified.

- e. Copies of the underground and fire sprinkler hydrostatic test certificates, if modified.
  - f. Copies of the fire sprinkler operational test certificates.
  - g. Copies of the fire alarm test documents.
  - h. Copies of other test documents such as, hood/duct, smoke, infrared, etc.
  - i. The Pleasant Prairie Fire & Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
  - j. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition. The disks shall be in AutoCAD rev 14 format.
  - k. Place of Refuge: The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a "place of refuge" or "safe haven" during severe weather such as a tornado.
  - l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
  - m. AED, in place at such time a tenant takes occupancy.
  - n. All emergency contact information needed for after hours use.
  - o. Copy of the EMCO Emergency Plan for this building.
  - p. Documentation that contact has been made with Kenosha County Emergency Management, their contact number: 262-605-7900.
  - q. Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.
31. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.

MEMORANDUM

TO: Tom Shircel, Assistant Planner

FROM: Jeff Sorensen, Building Inspection Superintendent

SUBJECT: Site and Operational Plans comments/conditions for EMCO Chemical Distribution, located at 8601 95<sup>th</sup> Street.

DATE: December 7, 2009

The following are my comments/conditions:

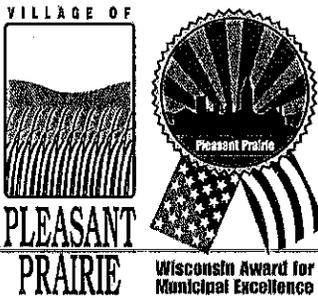
- 1) All building, plumbing, and HVAC plans will need to be designed to the IBC Codes, Wisconsin Plumbing Code for any additions or alterations to a building. Depending on the size of the addition/alteration the Village is a Certified Municipality and may be able to perform the State review.
- 2) Lighting plans are reviewed at the state level. The Lighting Worksheets L-1 through L-5 are required for municipal level review.
- 3) Halls, corridors, stairways, passageways, work aisles and other means of egress from factories, offices and mercantile buildings shall have emergency lighting and exit lighting per Article 700 of the NEC, Comm 16.46, 51.15(5), 54.06(2), and 54.11. The Village Fire & Rescue Department should be contacted for further information and requirements. Contact Fire Chief Paul Guilbert at 262-694-8027.
- 4) This parcel and building must comply with all requirements of Barrier-Free Design.
- 5) The architect(s)/ professional engineer(s) shall submit, to the Village and State, the compliance statement, Form SBD 9720, **prior to the final inspection with the Village Building and Fire & Rescue Departments for any additions or alterations.**
- 6) The electrical contractor will be required to be licensed by the Village of Pleasant Prairie. The electrical contractor shall obtain a permit from the Village prior to beginning work.
- 7) Building plans will need to show detail on fire stopping of all penetrations through fire rated walls and fire separation walls as required by emergency rule that took affect on January 28, 1998.
- 8) Sprinkler plans are required to be submitted to, and reviewed by the Village Fire & Rescue Department.

9) Any and all fire alarm installations require plan review and permit from the Village Fire & Rescue Department.

10) Any installation of HVAC units or unit heaters requires State of Wisconsin Dept. of Commerce approval prior to applying for a Village permit.

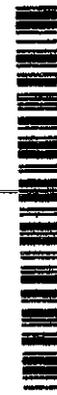
Should you have any questions, please contact me directly.

\* \* \* \*



**VILLAGE OF PLEASANT PRAIRIE  
CONDITIONAL USE GRANT NO. 11-02**

Before the Village of Pleasant Prairie Plan Commission,  
Kenosha County, Wisconsin, in regard to the property  
located at **8601 95<sup>th</sup> Street.**



DOCUMENT

1644028

RECORDED  
At Kenosha County, Kenosha, WI 53140  
Louise I. Principe, Register of Deeds  
on 4/21/2011 at 2:32PM  
1100013090 \$30.00

BARD

RECEIVED3

**Return to:**

Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

**Parcel Number:**

92-4-122-212-0354

**Legal Description:** Parcel 14 of CSM #1361 (Document #944571, Volume 1398, Pages 893-896 and recorded on June 13, 1990), located in a part of the Northwest ¼ of Section 21 Township 1 North, Range 22 East of the Fourth Principal Meridian in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

**WHEREAS**, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provides that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

**WHEREAS**, such petition having been made on behalf of the property owner, for the site and building modifications outlined in **Exhibit 1** for EMCO Chemical Distributors, Inc. to use the existing site and building for an industrial chemical distribution facility and public hearing held thereon, and the Village Plan Commission having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance. Specifically, based upon the information presented at the public hearing, in particular the memorandum from the Village Fire & Rescue Department that the projects meet the following standards for granting a Conditional Use Permit in that the projects:

- the projects do not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services;
- the projects do not impair an adequate supply of light and air to the adjacent properties;
- the projects do not increase danger of fire -- in so far as the danger of fire does not exceed the capabilities of the Village Fire & Rescue Department as noted in the comments dated February 19, 2011 from the Village Fire Chief (**Exhibit 2**);
- the projects do not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare;
- have no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use;

- the proposed and applied for use on this particular parcel is not inherently inconsistent with either the M-2 – Heavy Manufacturing District in which it is located ~~or the surrounding industrial-zoned districts and surrounding neighborhood; and~~
- the proposed and applied for use will comply with all applicable Village ordinance requirements and all other applicable Federal, State or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection.

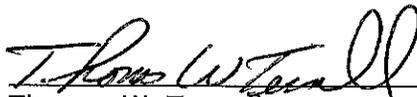
**NOW THEREFORE**, a Conditional Use Permit is granted for the modifications outlined in **Exhibit 1** and subject to compliance with the terms and conditions hereinafter stated for the above noted modifications to the building and site:

1. Compliance with the Conditional Use Grant Document #09-08 including Site and Operational Plans conditionally approved by the Village Board on December 14, 2009.
2. All previous approvals and Conditional Use Permits approved on this property prior to December 1, 2009 shall be null and void. If the property owner would like the Village to prepare documents to release these recorded documents, a list of all recorded Conditional Use Permit numbers and the recording information shall be submitted to the Village for the proper release to be prepared. The petitioner would be responsible for any cost associated with preparing and recording the release of the document(s).
3. Compliance with the Site and Operational Plans as conditionally approved by the Plan Commission on March 14, 2011. A copy of said plans are on file with the Village.
4. Compliance with the comments from the Village Fire & Resuce Department dated February 19, 2011 (See **Exhibit 2**).
5. Compliance with the comments from the Village Building Inspector dated February 7, 2011 (See **Exhibit 3**).
6. Compliance with the executed "Agreement for Private Siding" between the Soo Line Railroad Company (d/b/a Canadian Pacific), the Village of Pleasant Prairie and EMCO Chemical Distributors, Inc., as approved by the Village Board on February 7, 2011.
7. A "Purchase Agreement" or a "Facility Use Agreement" between EMCO, Brems Realty, LLC (owner) and the Village shall be finalized and presented to the Village Board. The owners have the option to purchase the rail spur of enter into a Facility Use Agreement" that would grant EMCO the right to use the Railroad spur for the purpose of shipping and receiving materials from and at EMCO's plant, provided EMCO complies with the terms and conditions set forth in the Agreement. **One of the aforementioned Agreements shall be approved and executed by all parties within two months (by May 14, 2011) and prior to use of the rail siding.**
8. Repairs may be needed to CTH H due to railway spur crossing. *EMCO has agreed to discuss any concerns with the Village if and when work needs to be done.*
9. Copies of the **approved and executed** WI DNR air quality construction and operation permits shall be provided to the Village prior to occupancy of the facility. A copy of the draft permits were submitted to the Village in February.
10. No empty drums shall be stored or located outside of an enclosed structure or trailer. *EMCO has indicated that there will be no drums stored outside of a trailer or structure.*
11. No trailers shall be used for the ongoing product/raw material storage.

12. A site inspection to check for any potential violations, dead landscaping, parking lot issues, etc still needs to be done by the Village. **Agreed by EMCO, appropriate EMCO personnel will work with Village for meeting date and time when appropriate.** Any violations found shall be remedied prior to occupancy of the facility.
13. Proper sign permits shall be submitted prior to installation of any new signs or modifications to any existing signs.
14. Prior to occupancy the required building permit shall be obtained, building and zoning permits shall be issued (including the execution of the required conditional use grant document) and all required inspections shall be completed.
15. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
16. All plans shall conform to applicable Village ordinance requirements, and to all other applicable local, state and federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.
17. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
18. All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well-cared-for and attractive condition.
19. No changes to the site or buildings shall be made without the Village's approval. In addition, any addition, alteration, extension, expansion, repair or other proposed change in the approved operation shall be subject to the Village's Conditional Use procedures as if such use were being established anew.
20. The Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.

**Granted by the action of the Village of Pleasant Prairie Plan Commission the 14<sup>th</sup> day of March 2011.**

ATTEST:

  
 Thomas W. Terwall  
 Plan Commission Chairman

  
 Donald Hackbarth  
 Secretary

OWNER: Brems Realty, LLC

*Edward Polen*

Edward Polen  
Partner

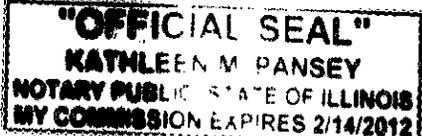
*Randy Polen*

Randy Polen  
Partner

ACKNOWLEDGMENT  
STATE OF ILLINOIS  
LAKE<sup>SS</sup> COUNTY)

Personally came before me this 28th day of MARCH, 2011, the above named to me known to be the person (**Edward Polen, Partner, Brems Realty, LLC**) who executed the foregoing instrument and acknowledge the same.

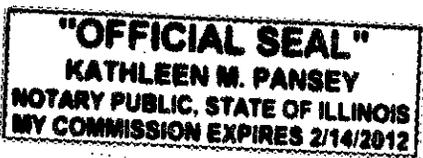
*Kathleen M. Pansey*  
Print Name: KATHLEEN M. PANSEY  
Notary Public, ILLINOIS County, LAKE  
My Commission Expires: 2-14-2012



ACKNOWLEDGMENT  
STATE OF ILLINOIS  
LAKE<sup>SS</sup> COUNTY)

Personally came before me this 28th day of MARCH, 2011, the above named to me known to be the person (**Randy Polen, Partner, Brems Realty, LLC**) who executed the foregoing instrument and acknowledge the same.

*Kathleen M. Pansey*  
Print Name: KATHLEEN M. PANSEY  
Notary Public, ILLINOIS County, LAKE  
My Commission Expires: 2-14-2012



TENANT: EMCO Chemical Distribution Inc.

*Edward Polen*

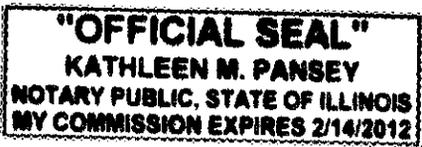
Edward Polen  
President

ACKNOWLEDGMENT  
STATE OF ILLINOIS  
LAKE<sup>SS</sup> COUNTY)

Personally came before me this 28th day of MARCH, 2011, the above named to me known to be the person (**Edward Polen, President of EMCO Chemical Distribution, Inc.**) who executed the foregoing instrument and acknowledge the same.

*Kathleen M. Pansey*  
Print Name: KATHLEEN M. PANSEY  
Notary Public, ILLINOIS County, LAKE  
My Commission Expires: 2-14-2012

THIS INSTRUMENT WAS DRAFTED BY:  
Jean M. Werbie-Harris  
Community Development Director  
Village of Pleasant Prairie, 9915 39th Avenue  
Pleasant Prairie, Wisconsin 53158



**EXHIBIT 1**

~~The following site and building modifications included with this approval includes:~~

- Phase 1 (*estimated start May 2011 to be completed in December 2011*): Provide the infrastructure to move products from the existing unloading/loading areas to the new Tank farm. This phase includes installation of piping, the piping structure, storage tanks, pumps and other miscellaneous equipment.
- Phase 2 (*estimated start April 2011 to be completed in June 2011*): Construction of the truck shop to be used for general maintenance and repair of all EMCO owned vehicles.
- Phase 3 (*estimated start May 2011 to be completed in August 2011*): Construction of an exterior tanker cleaning area and an exterior unloading/loading area on the south side of the existing facility as well as a water treatment area.
- Phase 4 (*estimated start June 2011 to be completed in Dec 2011*): Construction of a production area used to fill product into its saleable package. Walls to separate the different production areas, ventilation systems and fire protection will be added as needed or required.
- Phase 5 (*estimated start July 2011 to be completed in November 2011*): Exterior trailer parking lot, tanker parking area and diesel fuel station and nitrogen unit.



EXHIBIT 2

Office of the Village  
Fire & Rescue Chief  
Paul Guilbert, Jr.

### VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director  
 FROM: Paul G. Guilbert, Jr., Chief, Fire & Rescue Department  
 CC: Peggy Herrick, Assistant Planner, Community Development  
 Lt. Thomas Clark, Fire & Rescue Department  
 SUBJECT: Review of the Site and Operational Plan for EMCO Chemical  
 Distributors, Inc., 8601 95<sup>th</sup> Street  
 DATE: February 19, 2011

This is a review of the Site and Operational Plan for EMCO Chemical Distributors, internal modifications, exterior canopies and other modifications.

The Facilities are classified under the Wisconsin Administrative Code and the Wisconsin Enrolled Commercial Building Code.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of these facilities, twice annually.

The concerns of the Fire & Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. The building and modifications shall be constructed in accordance with the State of Wisconsin, COMM. 61, the IBC as Modified by Chapter COMM 62, the IECC as Modified by Chapter COMM 63, the IMC as Modified by Chapter COMM 64, the IFC as Modified by Chapter COMM 65, applicable NFPA codes, Village of Pleasant Prairie Ordinance Chapter 180 Fire and Rescue and in particular those items that pertain to fire protection and life safety.

4. The building and storage must comply with the requirements of NFPA 30 and WI Department of Commerce (code) 10.
5. In the event a conflict in code(s) is identified or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State.

Upon review of the plans submitted and based upon information gathered, we have the following concerns:

- Unloading/Loading Area #1- This area must comply with all applicable codes for the handling of flammable material. EMCO must submit documentation from a fire protection engineer that the area is properly protected. EMCO will need to identify the need for modification to the existing systems as well as the need for additional containment systems.
- Unloading/Loading Area #2- This area must comply with all applicable codes for the handling of flammable material. EMCO must submit documentation from a fire protection engineer that the area is properly protected. EMCO will need to identify the need for modification to the existing systems as well as the need for additional containment systems.
- Unloading/Loading Area #3- This area must comply with all applicable codes for the handling of flammable material. EMCO must submit documentation from a fire protection engineer that the area is properly protected; this will need to address the canopy fire protection also. EMCO will need to identify the need for modification to the existing systems as well as the need for additional containment systems.
- Outdoor Tank Farm- This area must comply with all applicable codes for the handling of flammable material. EMCO must submit documentation from a fire protection engineer that the area is properly protected. EMCO will need to identify the need for modification to the existing systems as well as the need for additional containment systems.
- Indoor Tank Farm #1- This area must comply with all applicable codes for the handling of flammable material. EMCO must submit documentation from a fire protection engineer that the area is properly protected. EMCO will need to identify the need for modification to the existing systems as well as the need for additional containment systems.
- Indoor Tank Farm #2- This area must comply with all applicable codes for the handling of flammable material. EMCO must submit documentation from a fire protection engineer that the area is properly protected. EMCO will need to identify the need for modification to the existing systems as well as the need for additional containment systems.
- Warm Room- This area will be used as a tank farm and for filling non-flammable materials. This area must comply with all applicable codes.

EMCO must submit documentation from a fire protection engineer that the area is properly protected. EMCO will need to identify the need for modification to the existing systems as well as the need for additional containment systems.

- Main Fill Room- This area must comply with all applicable codes for the handling of flammable material. EMCO must submit documentation from a fire protection engineer that the area is properly protected. EMCO will need to identify the need for modification to the existing systems as well as the need for additional containment systems.
- White Room- This area must comply with all applicable codes for the handling of material designated for this area. EMCO must submit documentation from a fire protection engineer that the area is properly protected. EMCO will need to identify the need for modification to the existing systems as well as the need for additional containment systems.
- Compound/Silicone Room- This area must comply with all applicable codes for the handling of material designated for this area. EMCO must submit documentation from a fire protection engineer that the area is properly protected. EMCO will need to identify the need for modification to the existing systems as well as the need for additional containment systems.
- Water Treatment Area- This area must comply with all applicable codes. EMCO must submit documentation from a fire protection engineer that the area is properly protected.
- Tanker Cleaning Area- This area must comply with all applicable codes for the handling of flammable material. EMCO must submit documentation from a fire protection engineer that the area is properly protected; this will need to address the canopy fire protection also. EMCO will need to identify the need for modification to the existing systems as well as the need for additional containment systems.
- Drum Unloading Area- This area must comply with all applicable codes for the handling of material designated for this area. EMCO must submit documentation from a fire protection engineer that the area is properly protected. EMCO will need to identify the need for modification to the existing systems as well as the need for additional containment systems.
- Nitrogen System Area- This area must comply with all applicable codes for the handling of material designated for this area. EMCO must submit documentation from a fire protection engineer that the area is properly protected.
- Truck Shop/Maintenance Area- This area must comply with all applicable codes concerning vehicle repair in this area. EMCO must submit documentation from a fire protection engineer that the area is properly protected.
- Diesel Fuel Tank Area- This area must comply with all applicable codes for the handling of material designated for this area. EMCO must submit documentation from a fire protection engineer that the area is properly protected, if necessary. EMCO will need to identify the need for

- modification to the existing systems as well as the need for additional containment systems.
- Tanker Storage- This area must comply with all applicable codes for the handling of material designated for this area. EMCO must submit documentation from a fire protection engineer that the area is properly protected, if necessary. EMCO will need to identify the need for modification to the existing systems as well as the need for additional containment systems.
  - Trailer Storage- This area must comply with all applicable codes for the handling of material designated for this area. EMCO must submit documentation from a fire protection engineer that the area is properly protected, if necessary. EMCO will need to identify the need for modification to the existing systems as well as the need for additional containment systems.
  - Finished Good Storage Areas- This area must comply with all applicable codes for the handling of material designated for this area. EMCO must submit documentation from a fire protection engineer that the area is properly protected. EMCO will need to identify the need for modification to the existing systems as well as the need for additional containment systems.
6. The Fire & Rescue Department will need EMCO to submit a revised floor plan, indicating where product will be stored, the Hazard Classification of that product, the capability of the fire sprinkler in the respective storage area, and a plan to address any deficiencies in fire protection. The submission of MSDS may be necessary. The Fire & Rescue Department will use a sub-contractor to assist in this evaluation.
  7. EMCO will transfer product from large containers to small, we will need to discuss 'bonding' to prevent the discharge of static electricity. Such bonding shall be in place prior to operations beginning.
  8. Steel Columns: Some of the existing steel columns are protected by fire sprinklers; this too must be re-evaluated before occupancy.
  9. MSDS: The Owner and Fire & Rescue Department will need to develop a procedure that will allow Fire & Rescue rapid access to MSDS in the event of an emergency.
  10. MSDS Knox Box: The Fire & Rescue Department needs to discuss the need and location of MSDS Knox Box(s) with the Owner to determine if this information should be placed on the exterior of the building, so the Fire & Rescue Department does not have to enter the building to retrieve this information.
  11. NFPA 704: Signs meeting this standard shall be placed in locations

mutually agreeable to the Owner and the Fire & Rescue Department. This becomes an important safety feature for Fire & Rescue, and mutual aid in particular.

- 
12. Fire hydrants: Shall always be visible and accessible, in particular in any area where trailer trucks will be parked or staged.
  13. Truck staging shall not decrease the width of the required fire lanes.
  14. EMCO has indicated on the plan submitted for review, their desire to store or conduct other activity between the existing rail car building and the remote tank farm. Such activity will block the existing access to these structures. The access shall be maintained as it currently exists.
  15. AED. Because of the overall building size the owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee use in the event of a sudden cardiac arrest. The Fire & Rescue Department can provide the training necessary to perform CPR and to operate the AED.
    - Rack storage: If it is the intent to use rack storage, that rack storage configuration must be reviewed by the fire protection contractor to assure adequate fire sprinkler protection. Rack storage shall not adversely effect the maximum exit distance requirements. This process needs to begin immediately to assure no interruption in the construction timeline and to assure the opening date will be met.
    - The building will need to be re-evaluated in regards to fire and life safety protection prior to occupancy by the proposed tenant.

#### **Fire and Rescue Department Review and Comments:**

1. **Plan Review, Permits and Fees:** In the event any modifications will be made to fire mains, the fire sprinkler system, the fire alarm system, five (5) sets of plans shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for the review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
2. **Hazardous Occupancies:** The Fire & Rescue Department will need more than the typical four week time period to review proposed Hazardous Occupancies. The owner must contact the Fire & Rescue Department as soon as possible to begin the review process.
3. **The following information must be submitted with any sprinkler**

**plans for review:**

Building height:

Number of stories/floors:

Mezzanines:

Clear space:

Elevators:

Hazard class:

Commodity:

Maximum storage height:

Square footage, office space:

Square footage, Manufacturing including maintenance and equipment:

Square footage, receiving space:

Square footage, shipping space:

Square footage, warehouse space:

Exterior storage:

Fire protection:

**4. The following Fees and Permits are generated directly from the Fire & Rescue Department.**

- Water Usage, water used during any flushing and or testing.
- Fire Protection Plans for Underground and Aboveground
- Fire Alarm System Plans
- Kitchen Hood Systems Plans
- Occupancy Permit & Re-Inspection fees

An invoice for permit fees will be issued upon achieving a satisfactory review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.

**5. Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.

**6. Pre-Construction Meeting:** In the event modifications are made to this complex, a pre-construction meeting shall take place with the general contractor, the respective fire protection sub-contractors, the Fire & Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Commerce.

7. **Sprinkler System:** The building shall is equipped with an "automatic fire sprinkler system". Any changes to the existing systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.
8. **Storage:** EMCO must be aware of the restrictions that apply to the storage of pallets, cardboard, finished products, etc. Maximum height, width and aisle ways must be maintained and will be enforced. The same concerns apply to the storage of large quantities of combustibles (plastics, plastic wrap and cardboard) such as those used in packaging and storage.  
  
**NOTE:** Dependant upon storage configurations and the possible use of in rack storage; in rack sprinkler protection may be required.
9. **Water Service:** If it is determined that the building will be serviced by a combination municipal water and fire protection main, and or any modifications to the fire main are needed, that main must be sized by the fire protection (sprinkler) contractor. No main is allowed to travel underground, under the building.
10. **Fire Flow Tests:** In the event changes are made to the fire mains and or fire sprinkler system, current water flow test results must be provided when the fire protection plans are submitted for review. Fire protection contractors must schedule water flow tests with Pleasant Prairie Water Utility Department by calling 262-694-1403.
11. **Plan Review (Underground):** In the event changes are made to the fire main, a review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire & Rescue Department. This requirement is in addition to any reviews and permitting by the Village of Pleasant Prairie Building Department. Underground plans shall be submitted a minimum of four (4) weeks before installation begins.
12. **Standpipes:** Some standpipes are currently in place, changes to the fire protection may require additional standpipes. At such time a portion of the building or the entire building is used for storage fire standpipes are required. In lieu of 1.5 inch hose stations, the building shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve, when supplied by the fire department pumper, in the event no fire pump is needed. The standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob.

**13. Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA.10.

**14. Final Inspection:** For each building the General Contractor shall provide the following documentation to the Fire & Rescue Department at the time the Final Inspection takes place and before a building occupancy certificate will be issued.

- a. In the event modifications are made to the existing fire sprinkler system, the fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
- b. Copies of the fire protection underground flushing documents, if modified.
- c. Copies of the underground and fire sprinkler hydrostatic test certificates, if modified.
- d. Copies of the fire sprinkler operational test certificates.
- e. Copies of other test documents such as, hood/duct, smoke, infrared, etc.
- f. The Pleasant Prairie Fire & Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
- g. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
- h. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
- i. Copy of the EMCO Emergency Plan for this building.

- j. Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.

15. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.

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## MEMORANDUM

TO: Peggy Herrick, Assistant Planner

---

FROM: Ken Robers, Senior Building Inspector

SUBJECT: Site and Operational Plans comments/conditions for EMCO at 8601 95<sup>th</sup> Street.

DATE: February 7, 2011

The following are my comments/conditions:

- 1) All building, plumbing, and HVAC plans will need to be designed to the IBC Codes, Wisconsin Plumbing Code and NEC prior to submitting (4 sets) for building permits from the Village of Pleasant Prairie to review as a Certified Municipal Review. If altered area exceeds 100,000 cubic feet, State approved plans are required.
- 2) All storage tanks will require the approval of the Village of Pleasant Prairie Fire Department and must meet any State of Wisconsin requirements
- 3) Lighting plans are also reviewed. The Lighting Worksheets L-1 through L-5 are required for municipal level review.
- 4) Halls, corridors, stairways, passageways, work aisles and other means of egress from factories, offices and mercantile buildings shall have emergency lighting and exit lighting per Article 700 of the NEC, Comm 16.46, 51.15(5), 54.06(2), and 54.11. The Village Fire and Rescue Department should be contacted for further information and requirements. Contact Chief Paul Guilbert at 262-694-8027.
- 5) This parcel and building must comply with all requirements of Barrier-Free Design.
- 6) The architect(s)/ professional engineer(s) shall submit, to the Village, the compliance statement, Form SBD 9720, **prior to the final inspection with the Village Buildings and Fire departments.**
- 7) The electrical contractor will be required to be licensed by the Village of Pleasant Prairie. The electrical contractor shall obtain a permit from the Village prior to beginning work. All low voltage contractors shall obtain a permit from the Village prior to beginning work. All HVAC and Plumbing contractors shall obtain permits from the Village prior to beginning any work.
- 8) Building plans will need to show detail on fire stopping of all penetrations through fire rated walls and fire separation walls as required by emergency rule that took effect on January 28, 1998.

9) If required, Sprinkler plans are required to be submitted to, and reviewed by the Village Fire and Rescue Department.

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10) Any and all fire alarm installations require plan review and permit from the Village of Pleasant Prairie Fire and Rescue Department.

11) Access for emergency personnel must be maintained during the construction of the alteration.

Should you have any questions, please contact me directly.

\* \* \* \*

**THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME  
HOWEVER SEPARATE ACTION IS REQUIRED.**

**D. PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION  
RESOLUTION #16-09 FOR AN AMENDMENT TO THE VILLAGE**

**COMPREHENSIVE PLAN** for the request of Jeff Marlow, of Lexington Homes for the residential development of 3-49 unit apartment buildings, 10-8 unit apartment buildings and 19 single family lots on the vacant properties generally located west and north of Bain Station Road and CTH H (88<sup>th</sup> Avenue) to be known as Fountain Ridge. The amendments include: 1) to amend a portion of the Prairie Ridge Neighborhood Plan for the proposed development; 2) to amend the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to remove the urban reserve designation from the property and to change the area field identified as wetlands into the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designations from the Upper Medium Residential land use designation; and 3) to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan reference said changes to the Land Use Plan Map 9.9.

**Recommendation:** Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to conditionally approve the amendment to the Comprehensive Plan (Neighborhood Plan and Land Use Plan) subject to the comments and conditions of the June 13, 2016 Village Staff Report.

E. Consider approval of a **Conceptual Plan** for the request of Jeff Marlow, of Lexington Homes for the residential development of 3-49 unit apartment buildings, 10-8 unit apartment buildings and 19 single family lots on the vacant properties generally located west and north of Bain Station Road and CTH H (88<sup>th</sup> Avenue) to be known as Fountain Ridge.

**Recommendation:** Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to conditionally approve the Conceptual Plan subject to the comments and conditions of the June 13, 2016 Village Staff Report.

**VILLAGE STAFF REPORT OF JUNE 13, 2016**

**CONSIDERATION OF PLAN COMMISSION RESOLUTION #16-09 FOR AN AMENDMENT TO THE VILLAGE COMPREHENSIVE PLAN**

for the request of Jeff Marlow, of Lexington Homes for the residential development of 3-49 unit apartment buildings, 10-8 unit apartment buildings and 19 single family lots on the vacant properties generally located west and north of Bain Station Road and CTH H (88<sup>th</sup> Avenue) to be known as Fountain Ridge. The amendments include: 1) to amend a portion of the Prairie Ridge Neighborhood Plan for the proposed development; 2) to amend the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to remove the urban reserve designation from the property and to change the area field identified as wetlands into the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designations from the Upper Medium Residential land use designation; and 3) to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan reference said changes to the Land Use Plan Map 9.9.

Consider approval of a **Conceptual Plan** for the request of Jeff Marlow, of Lexington Homes for the residential development of 3-49 unit apartment buildings, 10-8 unit apartment buildings and 19 single family lots on the vacant properties generally located west and north of Bain Station Road and CTH H (88<sup>th</sup> Avenue) to be known as Fountain Ridge.

**THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME HOWEVER SEPARATE ACTION IS REQUIRED.**

*The petitioner is requesting several approvals to develop the vacant properties generally located west and north of Bain Station Road and CTH H (88<sup>th</sup> Avenue) to be known as Fountain Ridge. The items being considered at the meeting for approval include an amendment to the Comprehensive Plan (which includes Prairie Ridge Neighborhood Plan) and to amend the Land Use Plan) and a Conceptual Plan.*

**COMPREHENSIVE PLAN AMENDMENTS (PC Resolution #16-09):** The following amendments are being considered:

1. **Neighborhood Plan Amendment:** The petitioner is requesting an amendment of a portion of the Prairie Ridge Neighborhood Plan in Appendix 9-3 as a result of the proposed development of the vacant properties generally located west and north of Bain Station Road and CTH H (88<sup>th</sup> Avenue) (the project is referred to as Fountain Ridge).

The entire Prairie Ridge Neighborhood is bounded by STH 50 (75<sup>th</sup> Street) on the north, Union Pacific Rail on the east, Bain Station Road and CTH C on the south and 104<sup>th</sup> Avenue on the west and is comprised of about 1 ½ square miles. This amendment is only for a portion of the south central portion of the Neighborhood.

Neighborhood Plans, which are a component of the Village's Comprehensive Plan, are intended to provide the community with a means of reviewing the patterns of existing and probable future development in and around the area proposed for land development, evaluating access to the land development and the feasibility of developing certain land uses and lot layouts, roadways and parkways, open green spaces and preservation areas, schools, municipal facilities and municipal services to serve the neighborhood. The Neighborhood Plan sets forth a guide for future development when a willing landowner wishes to develop his land.

The Prairie Ridge Neighborhood Plan that was originally adopted in 2004 indicated that this 34.5 acres of land be developed with approximately 96 residential units (8-3 unit buildings, 29-2-unit buildings and 14-1 unit buildings). The amendment proposes to allow for the development of the properties with 246 units (3-49 unit buildings, 10-8 unit buildings and 19 single family lots) to be known as Fountain Ridge. This represents an increase of 150 residential units. The amendment to the Neighborhood Plan alters the 472 net residential acres within the neighborhood to 468 net residential acres (removing 4.09 acres for the proposed public streets and the field delineated wetlands for the proposed Fountain Ridge Development).

In accordance with the Village 2010 Comprehensive Plan, the Prairie Ridge Neighborhood is classified as Upper-Medium Residential land use category which requires the average lot area per dwelling unit fall within the range of 6,200 square feet and 11,999 square feet per dwelling unit. This allows for areas of the Neighborhood to have larger lots while some areas have smaller lots. Since adoption of the 2004 Neighborhood Plan including the 2005 and 2006 amendments, the existing number of dwelling units has changed.

The Neighborhood Plan includes the following existing (1,643 units) and proposed (574 units) residential units for a total of 2,217 total residential units within the Neighborhood including the proposed Fountain Ridge development:

Single Family existing (754 units) and proposed (19 units) for a total of 773 units:

- 215 single family lots in Prairie Ridge and Prairie Ridge Addition #1 Subdivisions
- 81 single family lots in Ashbury Creek Subdivision
- 43 single family lots in the Settlement at Bain Station Crossing Subdivision
- 344 single family units in Westwood Manufactured Home Park
- 71 other single family lots with the neighborhood
- **19 proposed single Family lots (Fountain Ridge)**

Apartments-existing (668 units) and proposed (224 units) for a total of 892 units:

- 324 apartment units at Hidden Oak (9-36 unit buildings)
- 120 apartment units at Lexington Village ( 9 12 unit buildings and 2-6 unit buildings)
- 164 apartment units at Cobblestone Creek (1-36 unit building, 1-40 unit building and 2-44 unit buildings)
- **224 proposed apartment units at Fountain Ridge (3-49 units and 8-10 condo-style unit apartment buildings)**

Senior Housing-existing (191 units) and proposed (161 units) for a total of 352 units:

- 191 existing senior housing apartment units in Prairie Ridge Senior Campus (2 buildings) at 94<sup>th</sup> Avenue and Prairie Ridge Boulevard
- 95 proposed senior housing apartment units (Bain Station Crossing)
- 66 proposed senior housing apartment units (Addison 2<sup>nd</sup> Phase)

Condominium units –existing (30 units) and proposed (170 units) for a total of 200 units

- 98 proposed condominium units in Prairie Ridge located at 97<sup>th</sup> Court between Prairie Ridge Boulevard and 94<sup>th</sup> Avenue known as Arbor Ridge and specifically including: 15-2 unit buildings, 5-4 unit buildings; and 8- 6 unit buildings
- 90 proposed condominiums units (3-8t unit buildings, 1-6 unit building and 15-4 unit buildings and 60 apartment units (5 12 unit buildings) to be known as Bain Station Condominiums and Bain Station Apartments
- 12 proposed condominium units at either 4-3 unit buildings or 3-4 unit buildings located at east of 88<sup>th</sup> Avenue at Wilmot Road

The net density of the Neighborhood with the proposed amendment will be increased to approximately 9,194 square feet per dwelling unit (467.91 net residential acres multiplied by 43,560 square feet in an area divided by 2,217 dwelling units). This density is in compliance with the Village Comprehensive Plan.

**Population and school age children:**

**Current population** within the Neighborhood is 3,951 persons with 1,023 school age children with 610 public school age children (assumes that each existing living unit is occupied on all properties).

- 2,021 persons (754 single family units x 2.68 persons per household); plus
- 81 persons (30 condo units x 2.68 persons per household); plus
- 1,564 persons (668 apartment units x 2.34 persons per household); plus
- 287 persons (191 Senior Apartments x 1.5 person per household)
- 1,023 school age children (27.9% of 3,665 persons with school age children)
- 610 public school age children (42% of 1,452 dwelling units)

**Projected population** within the Neighborhood is 5,223 persons which include 1,310 school age children wherein 784 are estimated to attend public schools (based on the number of units proposed for this Neighborhood when fully developed).

- 2,072 persons (773 single family units x 2.68 persons per household); plus
- 536 persons (200 condo units x 2.68 persons per household); plus
- 2,088 persons (892 apartment units x 2.34 persons per household); plus
- 528 persons (352 Senior Apartments x 1.5 person per household)
- 1,310 school age children (27.9% of 4,695 persons with school age children)
- 784 public school age children (42% of 1,865 dwelling units)

[*Note:* Based on the 2010 Census information for the Village of Pleasant Prairie the average number of persons per household is 2.68 (a decrease from 2.73 in 2000) and the average number of person per rental housing is 2.34 and school age children between the ages of 5 and 19 make up 27.9% of the population (an increase from 23% in 2000). In addition, the Village is assuming 1.5 persons per unit in the senior housing apartments within the neighborhood. Pursuant to the information provided by the Kenosha Unified School District for Pleasant Prairie the number of students that will attend public school is 42% of the number of dwelling units.]

2. **Comprehensive Land Use Map Amendments:**

The petitioner is also requesting to amend the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9. Specifically the amendments include:

- To remove the urban reserve designation from the properties and to change the area field identified as wetlands into the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designations from the Upper Medium Residential land use designation; and
- To update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan reference said changes to the Land Use Plan Map 9.9.

**CONCEPTUAL PLAN:** The petitioner is requesting approval of a Conceptual Plan for the vacant properties west of 88<sup>th</sup> Avenue and north of Bain Station Road. The proposed development will include 19 single family lots and 5 lots for the development of 3-49 unit buildings and 10-8 unit condo-style apartment buildings on the 34.5 acre property. There is a small portion of the property (5,554 square feet) that has been field delineated as wetlands in October 2015 by James Havel, a Wisconsin Department of Natural Resources Assured Wetland Delineator. The wetlands will remain unchanged on the property.

**SINGLE FAMILY RESIDENTIAL DEVELOPMENT:** The western portion of the site is proposed to be platted as a single family subdivision with 19 single family lots that meet the minimum requirements of the R-4.5 Urban Single Family Residential District, which is the same zoning designation as the Ashbury Creek Subdivision. The single family lots range in size from 12,500 square feet to 36,443 square feet per lot with the average lot size of 15,899 square feet. The R-4.5 district requires each lot to be a minimum of 12,500 square feet with a minimum of 80 feet of frontage (the frontage can be reduced to 45 feet on a curve or cul-de-sac). All lots shall have a lot depth of at least 125 feet.

84<sup>th</sup> Place which is already dedicated in Ashbury Creek between Lots 2 and 3 is proposed to be constructed and continued east into the single family portion of the development. Public roads are proposed to be extended both north and south and terminate in a cul-de-sac in the proposed single family subdivision area. Outlot 1 in the proposed single family area, which abuts Outlot 3 in the Ashbury Creek Subdivision will be used for storm water management facilities for the proposed 19 single family lots. The new public streets will be required to be constructed with the Village's new construction specifications, which will require public concrete sidewalks on both sides of the public roadways.

It is recommended that the south 75 feet of the single family Lots 8 and 9 be a part of Lot 2 of the multifamily area and be included in a Dedicated Landscape, Access and Maintenance Easement area. Placing this area into an Easement will ensure that this area is consistently maintained and protected from future development such as fences, sheds, play equipment, or other structures that may be part of an abutting single family home site development.

**APARTMENT DEVELOPMENT:** The Developer is proposing to develop the remainder of the site with 3-49 unit, 2 story market rate apartment buildings, 10-8 unit condo-style market rate apartment buildings (227 units) and a private club house.

Each 49 unit building will provide 60 underground parking spaces. Some residents will have 2 parking stalls. Additional 60 surface parking spaces available for each building for a total of 120 parking spaces for each 49 unit building. Storage lockers are available internally in the underground parking area as well as on each floor. The lighting of the parking areas will be done by a pole system with LED fixtures (same as Cobblestone). Additionally, the parking lots will be monitored via an exterior camera monitoring system pursuant to the Village Digital Security Imaging System (DSIS) requirements of Chapter 410 of the Village

Municipal Code.

The **49 unit buildings** will offer an array of floor plans ranging from an efficiency style to a luxurious 1400+ sq. ft. unit with 2 bedrooms and 2.5 baths. The building apartment unit types will breakdown as follows:

**First Floor**

- 5- 2 bedroom units with 2.5 bathrooms that range in size from 1,200-1,370 sq. ft.
- 5- 2 bedrooms units with 2 bathrooms that range in size from 1,132-1,260 sq. ft.
- 1- Luxury 1 bedroom unit with 1.5 bathrooms that is 1,173 sq. ft.
- 8- 1 bedroom units with 1 bathroom that range in size from 820-980 sq. ft.
- 4- Efficiency units with 1 bathroom that are 617 sq. ft.

**Second Floor**

- 6- 2 bedroom lofts with 2.5 bathrooms that range in size from 1,370-1,400 sq. ft.
- 4- 2 bedrooms units with 2.5 bathrooms that range in size from 1,200-1,218 sq. ft.
- 2- 2 bedroom units with 2 bathrooms that range in size from 1,132-1,260 sq. ft.
- 6- 1 bedroom loft with 2.5 bathrooms that are 1,000 sq. ft.
- 1- Luxury 1 bedroom loft with 1.5 bathrooms that are 980 sq. ft.
- 5- Lofts with 1.5 bathrooms that are 1,032 sq. ft.
- 1- Efficiency unit with 1 bathroom that are 617 sq. ft.

In **each 8 unit building**, each residence will have an attached individual private garage with remote, six (6) of the units in each building will have double stalls and two (2) of the units in each building will be single stalls, with an additional 16 surface parking spaces for each building. The lighting of the parking areas will be done by a pole system with shoebox LED fixtures. Additionally, the parking lots will be monitored via an exterior camera system pursuant to the Village DSIS requirements of Chapter 410 of the Village Municipal Code.

All units are condo-style as they will have a private individual entrances from the outside of the building and from within their attached garage. In addition all units will have individual high efficiency top load washers/front load dryers along with built in microwaves, smooth top ranges and refrigerators.

Each 8 – unit building will breakdown as follows:

- 2- 2 story 2 bedroom units with 2.5 bathrooms
- 2- 1 bedroom units with 1.5 bathrooms on the first floor
- 2- 2 bedroom units with 2 bathrooms on second floor
- 2- 2 bedroom units with den with 2.5 bathrooms on second floor

The units range in size from 937 sq. ft. to 1,594 sq. ft.

**Population:** Based upon the current projections of 2.34 persons per household (rental pphh) in Pleasant Prairie, a maximum total of 532 persons are intended to live at this apartment development. The Developer anticipates less than 10% of the occupants will be children or less than 5% being school age children.

**Site Access:** The apartment development area will not have any public or private roadway connections to the single family homes proposed to the west. In the multifamily area, new public roadways will be constructed that will connect to Bain Station Road and 88<sup>th</sup> Avenue (CTH H). In addition, private parking areas, fire lanes and access will connect to the new public roads within the development. No direct driveway access will be provided to Bain Station Road and 88<sup>th</sup> Avenue (CTH H).

Based upon a recent Traffic Impact Analysis which evaluated other Village developments approved in the area, existing traffic count information for the nearby intersection and proposed traffic from this development, Kenosha County is proposing to reconstruct the intersection of Bain Station Road and CTH H in 2017. A round-about has been approved by the County and is in the design phase for the intersection. In anticipation of the new highway improvements, the Developer is required to dedicate additional land for the widening of the Bain Station and CTH H adjacent roadways via Certified Survey Map. The Village and Kenosha County will need a dedication of 50 feet from roadway centerline to be dedicated by the Developer for both roadways. Continued coordination and additional information from the Developer will be required between the Village, County and the Developer as the project moves forward.

**Site Amenities:** The site provides for over 45% green space and includes a clubhouse, which will be centrally located next to the middle 49 unit buildings. The club house will house the staff of the property management team from Lexington Management, which is the management arm of Lexington Homes, Inc. The club house will have security monitoring via cameras and an access key system. In addition, the club house will provide a gathering and patio area for residents to rent out for events.

**Construction Practices:** Lexington Homes, Inc. prides itself on creating communities built of high quality and intricate architectural design. Highlighted below is a listing of some of their construction practices:

- Buildings will have an internal fire sprinkler system for fire safety
- 2x6 construction on the external walls of the buildings
- High performance vinyl windows and patio doors with low E glass and argon gas
- Partial stone façade blended with maintenance free products
- Aluminum frame and full glass front entry doors for security and aesthetics
- Complete intercom system for entry
- Custom plastered interior walls (this is not a drywall board system)
- Individual sound walls divide each unit
- Sound insulation between the floors and RC-1 channel is added to the underside of the floor truss for additional reduction of sound transfer
- ¾ inch gypcrete poured on all floors for another sound barrier and it also acts as another fire preventative
- Individual unit entry doors have a deadbolt and peephole
- Postal service is accommodated inside the building for convenience and also as another security measure
- 30 year dimensional shingle roofs

**Property Management/Maintenance:** Lexington Management understands that the real success to any community lies within the long term management and maintenance of the site. They operate under a very structured process. They have included a copy of their management forms pertaining to these areas.

**Leasing:** Information prepared by Lexington - "Every potential resident that tours the site is required to fill out a "Welcome to the Community" form. This ensures the safety of the staff before each tour occurs. This form requires that they see a valid ID and gives them current living information. When the tour results in someone wanting to reside within the community they are given the "Rental Process" form along with a "Standard Application for Occupancy". The rental process form clearly highlights what the qualifications are to reside at the property. The application is a more detailed document that allows Lexington to further qualify every potential resident.

With the receipt of the application, security deposit and signed rental process form, the potential tenant starts a detailed approval process. This includes a credit check, which

requires a score of 600 or higher, their gross monthly income shall be 2.5 times the amount of the monthly rent and a criminal background check is run. Lexington Management, as a standard allows only two (2) people per bedroom and two (2) vehicles per unit. There are variables to this approval process which are also outlined on the rental process form.

Residents are required to sign a one year lease with variable terms after that one year period depending on the individual situation. It is management's goal to always try to secure one year leases continually with a built in parameter that does not allow anyone to move out October- April. In addition, dogs are not allowed".

**Management Structure:** "As one of the principal owners of Lexington Homes, Michelle Stimpson has a genuine focus on the day to day operations of the entire management division. Overseeing just under 1,700 units she believes in treating every resident as she would like to be treated. She physically reviews every resident file and signs every single lease that occurs within the entire company. With 20 years of experience in this industry and having both a real estate and broker's license, she knows that on the management side of things the difference is always the details. Weekly she meets with her district staff to review every property that they oversee. In these meetings site suggestions along with marketing and maintenance are discussed in great detail with implementation plans to be carried out and reported each week. The district staff is required to be at each property working with the site management. Monthly reports are clearly documented (provided) to ensure the continued success of each site. The management operates on the principal that this is "someone's home". They focus on the presentation not only to our prospective and current residents but to their guests as well. Additionally, they will have property staff which will include a Property Manager, Assistant Manager, Cleaning staff and Maintenance. Their goal is always to have as many of their staff physically living at the property so that someone is always available.

They are very centered on routine inspections. Monthly they do property inspection reports along with exterior and interior building inspection reports. Yearly they inspect the interior of every single apartment and complete a full report as to the interior condition of that unit. At that time an annual property review is also completed to help plan for upcoming projects".

**Rents:** The anticipated market rate rents based on a thorough market study will range from the mid- \$700 (for an efficiency unit) up to in excess of \$1,600 (for a 2 bedrooms/2.5 bathrooms unit). The residents will be responsible for their heat and water. The billing of the water will be accomplished by the building having one main water meter which will be billed to the property owner and paid. This water bill will then be split up and billed by the owner to the individual tenants.

**Site Construction Schedule:** The Developer would like to begin the site and excavation work for the apartment portion of the project by early fall 2016. If work begins that fall then anticipated completion time frame would be fall of 2018. The 19 residential single family homes would be built in the last phase and offer over a dozen plans for home buyers to choose from.

**PUBLIC IMPROVEMENTS:** All public and private improvements shall be made by the Developer at the Developer's expense. The entire development shall be provided with and serviced by municipal roadways, sanitary sewer, water and storm sewer. Public concrete sidewalks will be required adjacent to the public streets.

**CERTIFIED SURVEY MAP APPROVAL AND ZONING TEXT AND MAP AMENDMENTS:** The creation of Lots 1 through 6, the dedications of the public road rights-of-way and granted easements for the apartment development will be shown on a proposed Certified Survey Map. All of the Dedication and Easement Provisions and Restrictive Covenants

language as prepared by Village staff shall also be added on the Certified Survey Map. Further discussion is warranted.

The Developer shall request the rezoning of Lots 2-6 at the time the Certified Survey Map is submitted. Per the Conceptual Plan, Lots 2-6 shall be rezoned from the A-2, General Agricultural District into the R-11, Multi-Family Residential District with a (PUD) Planned Unit Development Overlay District and the wetlands on Lot 3 shall be rezoned into the C-1, Lowland Resource Conservancy District. The Zoning Map/Text Amendment application shall include the Development Plans (including all site civil, landscaping, building construction, architectural, lighting, and signage plans for the 49 unit buildings, 8 unit buildings and the club house). The Development Plans will be Exhibits to the Planned Unit Development.

Developing the apartment sites as a PUD will allow for flexibility with some requirements of the Village Zoning Ordinance provided there is a defined benefit to the community.

The following modifications from the Zoning Ordinance are proposed. (Additional changes may be requested when the detailed plans are submitted):

- To increase the net density from 9.6 dwelling units per net acre to 10.1 dwelling units per net acre.
- To increase the number of apartment units allowed per building from 24 per building to 3-49 unit buildings and 8-10 unit buildings with a mix of efficiencies, 1 and 2 bedroom units (no 3 bedroom units).
- To increase the building height of the 49 unit apartment building to increase from 35 feet to a maximum height of 40 feet.
- To allow for efficiency units to be reduced from a minimum of 700 square feet to 617 square feet.

In consideration of these PUD modifications to the Village Zoning Ordinance, the following community benefits are being imposed by the Developer:

- A minimum one (1) parking space per unit shall be provided in an enclosed garage attached to the building for the condo-style apartment buildings.
- Three (3) bedroom units for all apartment buildings will be prohibited.
- All of the units will be offered at market rate rents.
- Additional secured storage spaces for each unit will be provided in the underground parking area of the 49 unit buildings (approximately 20 sq. ft. per unit is proposed).
- The side yard setback to the west abutting the proposed single family development will be increased from 30 feet minimum to 75 feet minimum abutting the 8 unit buildings and 100 feet minimum abutting the 49 unit buildings
- The exterior building materials and design of the apartment building will be a combination of stone and cement board with a 30 year architectural shingle.
- The site will provide a minimum of 45% of the sites as open space, instead of the required 25% open space.
- All apartment buildings will be fully sprinklered and will comply with the requirements set forth in the Fire & Rescue Department memorandums.
- The landscaping and exterior turf will be irrigated.
- The height of the Multifamily Residential Development Identification Sign will be a maximum height of six (6) feet rather than eight (8) feet.
- The Developer will install an on-site security system and enter into a Digital Security Imaging System (DSIS) Agreement and provide the Village with the required Access Easement which meets the Village Security Ordinance requirements for all apartments.
- The Developer will not allow any dogs to occupy the multi-family apartments in the development.
- Additional landscaping/berming will be installed pursuant to the staff's direction.

**PRELIMINARY AND FINAL PLATS/ZONING MAP AMENDMENT:** At the time that Lot 1 is to be further subdivided for 19 single family lots and 1 Outlot a Preliminary and Final Plat will be required. A separate Development Agreement, along with the associated obligations for the public roads and related infrastructure within the single family subdivision will be required. Lot 1 shall be rezoned at the time of the Preliminary Plat. The single family lots shall be rezoned from the A-2 General Agricultural District into the R-4.5 District and Outlot 1 shall be rezoned into the PR-1, Park and Recreational District.

**The Village staff recommends approval of the Comprehensive Plan Amendments as presented in Plan Commission Resolution #16-09.**

**The Village staff recommends conditional approval of the Conceptual Plan subject to the above comments and the following conditions:**

1. **The Conceptual Plan approval shall be valid for a period of one (1) year. Prior to the expiration of the Conceptual Plan, the Certified Survey Map and Preliminary Plat, which satisfies the conditions of the Conceptual Plan approval shall be submitted and considered by the Plan Commission and Village Board.**
2. The following changes shall be incorporated into the plans prior to submittal:
  - a. In the multifamily area, new public roadways will be constructed that will connect to Bain Station Road and 88th Avenue (CTH H). In addition, private parking areas, fire lanes and access will connect to the new public roads within the development. No direct driveway access will be allowed to Bain Station Road and 88th Avenue (CTH H)-show restricted access on the CSM and civil plans. Based upon a recent Traffic Impact Analysis which evaluated other Village developments approved in the area, existing traffic count information for the nearby intersection and proposed traffic from this development, Kenosha County is proposing to reconstruct the intersection of Bain Station Road and CTH H in 2017. A round-about has been approved by the County and is in the design phase for the intersection. In anticipation of the new highway improvements, the Developer is required to dedicate additional land for the widening of the Bain Station and CTH H adjacent roadways via Certified Survey Map. The Village and Kenosha County will need a dedication of 50 feet from roadway centerline to be dedicated by the Developer for both roadways. Continued coordination and additional information from the Developer will be required between the Village, County and the Developer as the project moves forward.
  - b. The south 75 feet of the proposed single family Lots 8 and 9 shall be part of Lot 2 of the proposed multi-family area and be located in a Dedicated and Landscape, Access and Maintenance Easements. That will ensure that this area is maintained and protected for future development of fences, sheds or other structures that may be part of a single family home site.
  - c. All buildings need to be setback a minimum of 25 feet from any wetlands. Show setback on the plans.
  - d. See **attached** comments from the Village Engineering Department dated May 23, 2016.
  - e. See **attached** comments from the Village Public Works Department dated June 1, 2016.

- f. See **attached** comments from the Village Fire & Rescue Department dated June 8, 2016
  - g. See **attached** comments from the Village Building Inspection Department dated May 24, 2016.
3. The exact location and size of utility easements shall be verified with We Energies and included on the Certified Survey Map/Preliminary and Final Plats. All utility easements shall be labeled as **"Dedicated Utility Easements"**. The Homeowners are collectively responsible for the ongoing maintenance and facility usage charges as imposed by We Energies for public and private street lighting. Pursuant to current Village procedures, the Village will coordinate billing for these charges to the Association/homeowners.
  4. A public street lighting plan for the multi-family streets shall be submitted as discussed with the Village staff.
  5. Address assignments for the apartment buildings will be prepared by the Inspection Superintendent.
  6. **Upon approval of the Conceptual Plan** the following documents and electronic (pdf) copies of the following documents shall be submitted to the Village for staff review for the **development of the apartments** on Lots 2-6:
    - a. Three (3) copies of the draft CSM, application and application fee.
    - b. Zoning Text and Zoning Map Amendment application with a written narrative explaining the proposed PUD modifications and written narrative for the community benefit and the application fee.
    - c. Three (3) full size copies of the Site and Civil Engineering Plans, Landscape Plans, Architectural Plans, Building Plans for the 49 unit buildings, the 8 unit buildings and the club house.
    - d. Site Plan showing location of DSIS camera locations, head room location and detailed specifications for the system.
    - e. Street Lighting Plan.
    - f. Parking lot Photometric Plans.
    - g. On-site private Signage Plans and public roadway Signage Plans.
    - h. Public Street Tree Plan (and planting details, sizes, locations).
    - i. Sample board materials and paint colors.
  7. **Upon approval of the Conceptual Plan** the following documents and electronic (pdf) copies of the following documents shall be submitted to the Village for staff review for the development of the **single family subdivision**:
    - a. Three (3) copies of the draft Preliminary Plat.
    - b. Three (3) copies of the Declarations of Restrictions, Covenants and Easements.
    - c. Three (3) copies of Subdivision By-Laws.
    - d. Three (3) copies of Articles of Incorporation.
    - e. Three (3) copies of Landscaping Plans for street trees and cul-de-sac island plantings.

- f. Three (3) copies of Street Signage Plan.
- g. Three (3) copies of Street Lighting Plan.
- h. Three (3) copies of the detailed Site and Civil Engineering Plans for the single family portion.

The draft documents will be reviewed by staff prior to submittal of the required application and application fees for the Preliminary Plat and the required Zoning Map Amendment.

8. **The following comments relate specifically to the Preliminary and Final Plat for the single family portions:**

- a. Upon approval of the **Preliminary Plat for the single family** portion of the development, the following documents shall be submitted to the Village for staff review prior to the Village accepting the Final Plat application and application fee.
  - i. Three (3) draft copies of the Final Plat.
  - ii. A revised draft of the Declarations of Restrictions, Covenants and Easements, By-Laws, Articles of Incorporation, Association budget. This document shall be in final form prior to consideration of the Final Plat by the Plan Commission.
  - iii. Three (3) revised copies of the Site and Public Street Lighting Plan, including a copy of the We Energies electrical distribution system plan and contract.
  - iv. Three (3) revised copies of the Site and Street Signage Plan.
  - v. Three (3) revised draft copies of the Site and Street Landscaping Plans.
  - vi. Three (3) revised copies of the Site and Civil Engineering Plans, Profiles and Specifications.
- b. Upon Village staff review of the draft **Final Plat** and other documents as specified above, the Final Plat application, application fee and related documents shall be submitted to the Village so that the required hearing can be scheduled. In addition, a colored rendering shall be submitted to the Village of the Final Plat and Landscaping Plan. The colored renderings shall clearly show the wetlands to be preserved, the wetlands to be filled, the location of retention basins, the trees proposed to be preserved, the trees proposed to be removed. This colored drawing shall be submitted to the Village staff on a disc. The drawings shall be submitted in a tif or jpeg format for the Village's use in the PowerPoint presentation at the Plan Commission and Village Board meetings.

9. **The following comments relate to the CSM and the Final Plat:**

- a. The exact location and size of Utility Easements shall be verified with We Energies prior to CSM/Final Plat consideration.
- b. All easements shall be shown on the CSM, Preliminary and Final Plats, Site and Civil Engineering Plans and Landscaping Plans.
- c. Upon Village's approval of the Site and Civil Engineering Plans, Profiles and Specifications, the Developer shall submit two (2) copies of the final Village approved plans and specifications so that the Village can request approval

- from the Kenosha Water Utility (KWU).
- d. Upon written utility plan approval from the KWU, the Developer shall obtain written sewer and water approval from the WI DNR.
  - e. Upon written utility plan approval from the KWU, the Developer shall obtain written 208 approval from SEWRPC.
  - f. Upon Village approval of the Final Site and Civil Engineering Plans and Specifications, Landscaping Plans and Site and Public Street Lighting Plan **the following shall be submitted (paper copies as indicated and a pdf of each items) to the Village for staff review so that the Development Agreement can be prepared by the Village:**
    - i. A copy of the required wetland fill, N.O.I. Chapter 30 permits from the WI DNR and ACOE.
    - ii. A copy of the Public sanitary sewer and water approval letters from the KWU, WI DNR, and SEWRPC.
    - iii. Ownership verification documents.
    - iv. Copies of the signed contracts, certificates of insurance, and performance and payment bonds. The contracts shall have the Developer's name as shown on the title of the property. The certificates of insurance shall also list the Village of Pleasant Prairie as an insured party. (All contractors performing public work shall be pre-approved by the Village).
    - v. A Policy of Title Commitment equal to the cost of public improvements. The title policy shall indicate that the right-of-way is being dedicated free and clear of any encumbrance liens or judgments.
    - vi. Copies of the signed public street tree/landscaping contract, Street Tree/Landscaping Plan and certificate of insurance.
    - vii. Copies of the signed We Energies contract and Street Lighting Plan.
    - viii. The Erosion Control Permit application, plans and application/permit fees.
    - ix. Work in the Right-of-Way application, plans and related application/permit fees.
    - x. The Street Sweeping Cash Deposit.
    - xi. Three (3) paper copies of the Final Engineering Plans, Profiles and Specifications and.
    - xii. Three (3) paper copies of the Landscaping Plan.
    - xiii. Three (3) paper copies of the Street Signage Plan.
    - xiv. Three (3) paper copies of the Street Lighting Plan, including a copy of the We Energies electrical distribution system plan.
    - xv. A "draft" LOC shall be provided to the Village for staff review. (See comment below related to the LOC.)
  - g. Upon staff review and approval of all of the requirements listed above, the CSM/Final Plat application, application materials and application fee shall be

- submitted for Village to schedule the required public hearing before the Village Plan Commission.
- h. At least two weeks prior to Village Board consideration of the CSM or the Final Plat, Development Agreement and related documents the following shall be finalized and submitted:
- i. The Original CSM/Final Plat, 3 full-size copies and a pdf copy with a copy and the State DOA approval letter.
  - ii. Final Memorandum of Development Agreement (to be drafted by the Village and reviewed by the Developer).
  - iii. Final Development Agreement (to be drafted by the Village and reviewed by the Developer).
  - iv. Recorded Articles of Incorporation for the Homeowner's Association.
  - v. Final Declaration of Restrictions, Covenants and Easements.
  - vi. Final Homeowner's Association By-Laws.
  - vii. Title Report Commitment, updated the day before closing and again within seven (7) days after closing and recording of the documents.
  - viii. Verification of taxes and outstanding special assessments being paid. Any outstanding taxes, special assessments or invoices shall be paid prior to recording the Final Plat and Memorandum of Development Agreement.
- i. A one year minimum Irrevocable Letter of Credit (LOC) to the Village, in the amount of 115% of the total cost of public related improvements, including street trees, street lights, street signs, field staking, inspections and construction related services (including sanitary sewer, and storm sewer cleaning and televising), shall be submitted to the Village. The Itemized Cost Breakdown Exhibit will be prepared by the Village staff to determine the amount of the Letter of Credit and the cash payments. *IMPORTANT: A draft Letter of Credit equal to the cost breakdown analysis (need to verify proper format and dollar amount of Letter of Credit prior submitting the Original Letter of Credit).* The Cash payments and the "Final" LOC shall be provided prior to the Village at the closing.
- j. The Final Engineering Plans and CSM/Final Plat shall be submitted to the Village in electronic format which satisfies the following acceptance criteria. Exceptions will be considered to these rules on a case-by-case basis by the Village. Written approval for any exceptions must be obtained from the Village of Pleasant Prairie at the start of the project. If you have any questions contact Matt Fineour, Village Engineer at (262) 925-6778.
- k. Upon Village Board approval of the CSM/Final Plat and within seven (7) days of said approval the Village will host a closing to have the CSM/Final Plat and all of the Development Agreement documents signed. The Developer shall be responsible for recording all required documents at the Kenosha County Register of Deeds Office and providing a recorded copy (PDF) of all documents to the Village within 72 hours of closing with the Village.
- l. Following the closing, the Developer's engineer shall conduct a pre-construction meeting at a Village Municipal Building with all of the contractors, utilities and Village on-site inspectors (meeting is required prior

to public improvement field work commencing). Contact Jean Werbie-Harris to coordinate the pre-con meeting.

- m. This development shall be in compliance with the Village Land Division and Development Control Ordinance, the Village Municipal and Zoning Codes, the Village Construction Site Maintenance and Erosion Control Ordinance and the State of Wisconsin Statutes.
- n. All Village fees incurred by the Village Engineering Department or Community Development Department and/or expert assistant required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.
- o. Impact fees are due at the time building permits are issued. Currently, these fees are \$1,490 per housing unit.
- p. All public and private improvements shall be completed, inspected, and Village approved including having sanitary sewer and storm sewer televised, water sampled with safe samples, roadways completed, electric and gas utilities installed, signage installed and as-built utility and grading plans submitted prior to the issuance of any building permits in accordance with the Development Agreements on file with the Village.

**Other Comments:**

- 1. Bain Station Road is anticipated to be improved in the future to a collector street as a result of this development. The development's cost share responsibility for these future improvements needs to be discussed/evaluated and made part of the development terms of approval. (Discuss with Kenosha County and Village Engineering).
- 2. Access to CTH H shall be approved by Kenosha County. Kenosha County will need to review and approve the proposed drive connection and geometrics on CTH "H".
- 3. Kenosha County is proceeding with developing plans for a round-about at CTH H and Bain Station Road. The cost of the intersection improvements and the Development's contribution needs to be evaluated. Dedication of 50 foot from C/L is required for both CTH H and Bain Station Road.
- 4. The Sewer D sanitary sewer assessment was based on estimated density from the area neighborhood plan. The proposed density is greater than the neighborhood plan; therefore the assessment for the property will need to be evaluated and additional costs determined.
- 5. All outstanding special assessments, rights of recovery and contributions for future improvements to Bain Station Road and round-about shall be paid prior to development approval. Outstanding fees, assessment and costs shall be verified with the Village's Finance Department.
- 6. Detailed cost estimates will need to be evaluated with widening of Bain Station Road. (Forthcoming from Village Engineer).
- 7. Impact Fees are due and payable at the time of building permit for each new unit created.

**VILLAGE OF PLEASANT PRAIRIE PLAN COMMISSION  
RESOLUTION #16-09  
TO AMEND THE VILLAGE OF PLEASANT PRAIRIE, WISCONSIN  
2035 COMPREHENSIVE PLAN**

**WHEREAS**, on December 19, 2009 the Village Board adopted the *Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan* (Comprehensive Plan); and

**WHEREAS**, the 2035 Comprehensive Land Use Plan Map 9.9 sets forth the generalized land use designations of the Village and shall be consistent with other components of the Comprehensive Plan including Neighborhood Plans and the Village Zoning Map; and

**WHEREAS**, Neighborhood Plans serve as a refinement to the 2035 Comprehensive Land Use Map and identify the location of future lot and roadway configurations, proposed floodplain boundary adjustments, future stormwater facilities and access to roadways pursuant to the land uses identified on the 2035 Comprehensive Land Use Plan Map; and

**WHEREAS**, the Village has received a request to amend the Prairie Ridge Neighborhood Plan and the Comprehensive Land Use Plan related to the vacant properties generally located west and north of Bain Station Road and CTH H (88<sup>th</sup> Avenue) and further identified as Tax Parcel Numbers 91-4-122-084-0203 and 91-4-122-084-0342; and

**WHEREAS**, the entire Prairie Ridge Neighborhood is generally bounded The entire Prairie Ridge Neighborhood is bounded by STH 50 (75<sup>th</sup> Street) on the north, Union Pacific Rail on the east, Bain Station Road and CTH C on the south and 104<sup>th</sup> Avenue on the west in a part of U.S. Public Land Survey Section 8 and a part of Sections 9, 16 and 17 Township 1 North, Range 22 East; and

**WHEREAS**, the Prairie Ridge Neighborhood Plan is proposed to be amended to include the proposed layout of the Fountain Ridge development on the aforementioned properties; and

**WHEREAS**, the Village 2035 Land Use Plan Map 9.9 is proposed to be amended to remove the urban reserve designation from the properties and to change the area field identified as wetlands into the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designations from the Upper Medium Residential land use designation. In addition, Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan is proposed to be updated to reflect the above noted changes to the 2035 Land Use Plan Map 9.9; and

**WHEREAS**, on May 13, 2016 the required 30-day notice was published in the Kenosha News for the June 13, 2016 public hearing to be held by the Village Plan Commission and on May 13, 2016 notices were sent to property owners within 300 feet of the proposed Neighborhood Plan amended area; and

**NOW THEREFORE, BE IT RESOLVED**, that pursuant to Sections 62.23 (3) (b) and 66.1001 (4) (b) of the Wisconsin Statutes, the Village of Pleasant Prairie Plan Commission hereby recommends approval of the following amendments to the Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan:

1. To amend the Village 2035 Land Use Plan Map 9.9 to remove the urban reserve designation from the properties (Tax Parcel Numbers 91-4-122-084-0203 and 91-4-122-084-0342) and to change the area field identified as wetlands into the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designations from the Upper Medium Residential land use designation (wetlands are shown and legally described on **Exhibit 1**).
2. To amend a portion of the Pleasant Farms Neighborhood Plan to include the proposed layout of the Bethany Church Campus development as presented at the December 14, 2015 public hearing and shown and described in **Exhibit 2**.
3. Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan is proposed to be updated to reflect the above noted changes to the 2035 Land Use Plan Map 9.9.

**BE IT FURTHER RESOLVED** that the Plan Commission does hereby recommend that the Village Board enact an Ordinance adopting said amendments, as referenced above, to the *Village of Pleasant Prairie 2035 Comprehensive Plan*.

**Adopted this 13<sup>th</sup> day of June 2016.**

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

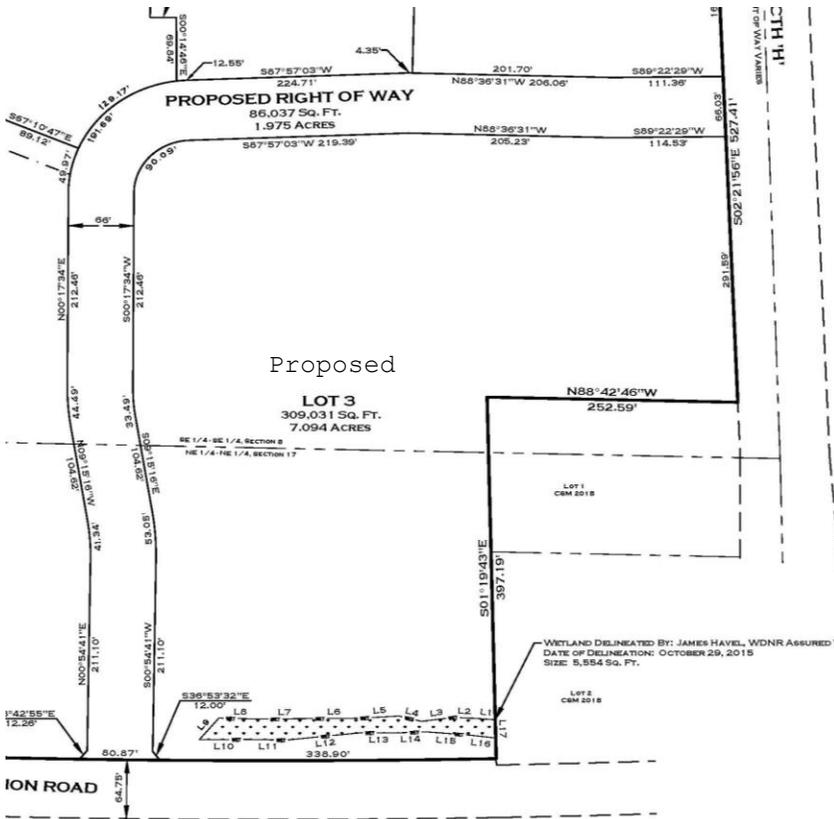
\_\_\_\_\_  
Thomas W. Terwall  
Plan Commission Chairman

\_\_\_\_\_  
Michael Serpe  
Vice Plan Commission Chairman

Date Posted: \_\_\_\_\_

09-Comp Plan Amend- Prairie Ridge NP and LU amend-Fountain Ridge

CODE1605-001



**WETLAND LEGAL DESCRIPTION AND NOTE**

PART OF OUTLOT 2, ASHBURY CREEK SUBDIVISION, BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T1N, R22E, VILLAGE OF PLEASANT FRANK, KENOSHA COUNTY, WISCONSIN MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID OUTLOT 2; THENCE NO 11°19'43"W, 22.67 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NO 11°19'43"W, 20.00 FEET; THENCE N85°25'31"W, 20.95 FEET; THENCE N87°34'26"W, 21.35 FEET; THENCE S82°32'43"W, 32.61 FEET; THENCE N75°30'32"W, 23.08 FEET; THENCE S86°34'46"W, 39.01 FEET; THENCE S59°30'13"W, 53.57 FEET; THENCE S89°24'00"W, 46.15 FEET; THENCE N89°42'19"E, 49.09 FEET; THENCE S88°49'57"E, 39.07 FEET; THENCE N83°52'11"E, 76.65 FEET; THENCE S89°24'35"E, 32.62 FEET; THENCE N87°40'56"E, 30.66 FEET; THENCE S85°28'51"E, 42.75 FEET; THENCE S83°08'18"E, 28.54 FEET TO THE POINT OF BEGINNING.

ONE ISOLATED WETLAND WAS IDENTIFIED ON THE PARCEL. REFERENCE THE WETLAND REPORT, PREPARED BY NES ECOLOGICAL SERVICES, DATED JANUARY 15, 2016. REMAINING 1,499,169 SQUARE FEET (34.417) OF THE PARCEL IS IDENTIFIED AS UPLAND.

**WETLAND LINE TABLE**

LINE #	LENGTH	DIRECTION
L1	20.95'	N85°25'31"W
L2	21.35'	N87°34'26"W
L3	32.61'	S82°32'43"W
L4	23.08'	N75°30'32"W
L5	39.01'	S86°34'46"W
L6	53.57'	S89°30'13"W
L7	46.15'	S89°24'00"W
L8	42.66'	N88°32'59"W
L9	30.61'	S39°48'08"W
L10	49.09'	N89°42'19"E
L11	39.07'	S88°49'57"E
L12	76.65'	N83°52'11"E
L13	32.62'	S89°24'35"E
L14	30.66'	N87°40'56"E
L15	42.75'	S85°28'51"E
L16	28.54'	S83°08'18"E
L17	20.00'	NO 11°19'43"W

**SURVEYOR:**

TROY E. HEWITT  
PROFESSIONAL LAND SURVEYOR #2831  
ROBERT E. LEE & ASSOCIATES, INC.  
1250 CENTENNIAL CENTRE BOULEVARD  
HOBART, WI 54155



**ROBERT E. LEE & ASSOCIATES, INC.**  
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
920-662-9641 WWW.RLEESINC.COM

### **Neighborhood Plan 21 of Appendix 9-3 Prairie Ridge Neighborhood**

The Prairie Ridge Neighborhood is generally located south of STH 50 (75<sup>th</sup> Street) west of the Union Pacific Railway, north of CTH C (Wilmot Road) and Bain Station Road and east of 104<sup>th</sup> Avenue in the Village. A Neighborhood Plan for the Prairie Ridge Neighborhood has been prepared adopted on May 10, 2004 by the Plan Commission by Resolution #04-07 and the Village Board adopted a resolution of support on May 17, 2004 by Resolution #04-24. Since 2004 ~~three (3)~~ four (4) amendments have been adopted including:

- An amendment approved by the Plan Commission on August 22, 2005 by Resolution 05-11 and the Village Board concurred and adopted a resolution of support on September 6, 2005 by Resolution #05-51.
- Two (2) amendments approved by the Plan Commission on December 11, 2006 by Resolutions #06-25 and #06-27 and the Village Board concurred and adopted a resolution of support for both amendments on December 18, 2006 by Resolutions #06-57 and #06-59.
- An amendment approved by Plan Commission on June 13, 2016 by Resolution #16-09 and the Village Board adopted Ord #16-\_\_\_ on June \_\_\_, 2016.

**The Prairie Ridge Neighborhood Plan (adopted May 10, 2004 by Plan Commission Resolution #04-07) includes:**

**COMMERCIAL AREAS:** Approximately 187 acres of land within the neighborhood is identified as commercial—these areas include a Community Commercial Area in the Prairie Ridge Development south of STH 50 and east of 88<sup>th</sup> Avenue on STH 50, and a Community Commercial area at the southwest corner of CTH C and CTH H which includes the existing Tri-Clover building currently being used as warehousing for Rust-Oleum Corporation and Kenosha Grounds Care operating south of the Village Fire Station #2.

**GOVERNMENT AND INSTITUTIONAL AREAS:** Approximately 102 acres of land within the neighborhood are identified as Government and Institutional Uses. These include St. Catherine’s Hospital, Extended Love Child Development Center, Grande Prairie, Hospice Alliance, Pleasant Prairie Elementary School, St. Anne Church, United Methodist Church and Pleasant Prairie Fire Station #2.

**RESIDENTIAL AREA:** Approximately 461.5 acres of land (excluding existing and future rights-of-way, commercial and government & institutional areas, wetlands and other open space) within the neighborhood are proposed to be developed as Residential. While a majority of this neighborhood is developed, the southeastern portion of the neighborhood has vacant land that could be developed with residential development. There are 628 existing single family units and 564 existing multi-family units within the Neighborhood and these existing residential developments in the Neighborhood include: Prairie Ridge Subdivision, residential development at Bain Station Road and 104<sup>th</sup> Avenue, Lexington Village Apartments, Westwood Estates Manufactured Home Park, Hidden Oaks Apartments and scatter residential along the arterial highways.

The Neighborhood Plan proposes 99 more single family units and 783 more multi-family units. The additional multi-family units include:

- 401 senior housing apartment units in Prairie Ridge at 94<sup>th</sup> Avenue and Prairie Ridge Boulevard (located in 4 additional buildings);
- 98 condominium units in Prairie Ridge located at 97<sup>th</sup> Court between Prairie Ridge Boulevard and 94<sup>th</sup> Avenue known as Arbor Ridge and specifically including: 15-2 unit



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buildings, 5-4 unit buildings; and 8- 6 unit buildings;

- 40 condominium units (10-four unit buildings) located south of CTH C at 94<sup>th</sup> Avenue.
- 96 condominium units (8-three unit buildings 29-two unit buildings and 14-one unit buildings) located at the north of Bain Station Road and west of 88<sup>th</sup> Avenue. (the 14 single unit condominiums are included in the proposed single family unit count)
- 90 condominiums units (3-eight unit buildings, 1-six unit building and 15-four unit buildings and 60 apartment units (5 12 unit buildings) to be known as Bain Station Condominiums and Bain Station Apartments.
- 12 units at either 4-three unit buildings or 3-four unit buildings located at east of 88<sup>th</sup> Avenue at Wilmot Road.

The two areas proposed for additional single family development with lots averaging about 20,000 square feet are located at Bain Station Road and 94<sup>th</sup> Avenue and Bain Station Road and 88<sup>th</sup> Avenue. Two (2) wooded areas within the Neighborhood are proposed to be preserved, while providing with limited development. The wooded area located south of 82<sup>nd</sup> Street east of 88<sup>th</sup> Avenue is currently zoned C-2, Upland Resource Conservancy District and pursuant to this district a minimum lot size for the development of a single family home is 5 acres; therefore two 5 acre parcels are proposed. The wooded area located east of 88<sup>th</sup> Avenue at Wilmot Road is also zoned C-2 and is proposed to be preserved, with the non-wetland areas west of the woods on 88<sup>th</sup> Avenue is proposed to be developed with no more than 12 units—either 4-three unit buildings or 3-four unit buildings.

In accordance with the Village 2010 Comprehensive Plan, the overall net density for the Prairie Ridge Neighborhood recommends that the Neighborhood be developed within the Upper-Medium Residential land use category with the average lot area per dwelling unit fall within the range of 6,200 square feet and 11,999 square feet per dwelling unit. This allows for areas of the neighborhood to have larger lots while some areas have smaller lots — however all new single family lots within the neighborhood are proposed to be a minimum of 15,000 square feet. The net density of the neighborhood as shown on Plan is 9,693 square feet per dwelling unit (461.4882 net residential acres multiplied by 43,560 square feet in an area divided by 2,074 dwelling units). This density is in compliance with the Village 2010 Comprehensive Plan.

**Alternative A:** This alternative at the northwest corner of Bain Station Road and 88<sup>th</sup> Avenue proposes that only the property occupied by St. Anne Parish Center be shown as Institutional and the other area shown as institutional be changed to residential. This alternative alters the density calculations slightly by adding approximately 1 acre to the residential land use category and subtracting an acre from the Institutional land use category.

**NEIGHBORHOOD PARK:** The Comprehensive Land Use Plan indicates that a five acre park be located adjacent to Pleasant Prairie Elementary School. This park area was constructed as part of the construction of Pleasant Prairie Elementary School.

**WETLAND AREAS:** The Neighborhood Plan identifies approximately 65 acres of land within wetlands. Prior to consideration of any proposed Conceptual Plans, wetlands shall be field verified by a certified biologist in accordance with the Village wetland regulations. Some of the wetlands within the undeveloped area have been field verified. Upon field verification of wetlands the plan may need to be altered in order to preserve the wetlands.

**RETENTION AREAS:** The Neighborhood Plan indicates areas within existing retention facilities and proposed areas for future storm water management facilities. At the time that any Conceptual Plans are to be considered for any portion of the neighborhood, the developer's engineer will be required to evaluate the development site, based on actual field



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conditions and shall present a storm water management facility plan which meets the Village requirements for Village review.

**ACCESS TO ARTERIAL ROADS:** The Neighborhood Plan indicates four (4) new street access points to Bain Station Road, two new access points to CTH H, one new access point to CTH C and no new access to STH 50. A third access may be required onto CTH H at 82<sup>nd</sup> Street and another new access to Wilmot Road for future Commercial Development at CTH C and CTH H. 94<sup>th</sup> Avenue, a local arterial is proposed to be extended south to Bain Station Road. At the time that any portion of the neighborhood is proposed to be developed, proper access will be required to adequately service the proposed development. In addition, the long-range transportation plan indicates that STH 50, CTH H, CTH C and Bain Station Road should be widened when traffic counts/new developments warrant such improvements.

**POPULATION PROJECTIONS FOR THE NEIGHBORHOOD:** The vacant portion of this neighborhood will not develop until the current property owners wish to develop there land; however, neighborhood planning is essential for the orderly growth of the community and establishes a framework as to how development should occur and, if and when it should occur. The neighborhood plan is a guide for property owners and developers—therefore the population will increase on an incremental basis as the neighborhood develops over time. Based on the 2000 census information for the Village of Pleasant Prairie the average number of persons per household is 2.73 and school age children between the ages of 5 and 19 make up 23% of the population. In addition, the Village is assuming 1.5 per unit in the senior housing apartments within the neighborhood.

**Current population** within the neighborhood:

- 628 dwelling units--assumes that each existing lot has an occupied dwelling unit
- 120 senior housing units
- 1,714 persons with school age children (which includes 394 school age children)
- 180 seniors at the Prairie Ridge Senior Campus
- Total existing population 1,894 persons and 394 school age children

**Projected populations** within the neighborhood based on the number of households proposed for this neighborhood when fully developed:

- 1,433 dwelling units
- 521 senior housing units
- 3,912 persons with school age children (which includes 899 school age children)
- 782 seniors at the Prairie Ridge Senior Campus
- Total proposed ~~populated~~ population with 4,694 person and 899 school age children.

The Village provides copies of proposed developments to the Kenosha Unified School District to assist in their planning. A KUSD Master Plan is being prepared by KUSD staff to be completed this spring, which is to address growth in the district. Pursuant to the information provided by the Kenosha Unified School District for Pleasant Prairie (.42 x number of dwelling units), 602 public school age children are likely to come from this neighborhood.

**The amendment approved by Plan Commission Resolution 05-11 and Village Board Resolution #05-51 included an amendment to the Prairie Ridge Neighborhood Plan for a 51.2 acre property generally located south of CTH C (Wilmot Road), north of Bain Station Road at 94<sup>th</sup> Avenue.**



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The Prairie Ridge Neighborhood Plan adopted in 2004 indicated that this land be developed with approximately 48 single family lots and 10 four (4) unit condominium buildings adjacent to CTH C and west of the existing manufacturing facility on the subject property. A detailed wetland staking was completed on the property and the location of the actual field delineated wetlands was different than what was shown on the Village interpolated wetland maps. As a result, the developer determined that the best use for the site would be for the entire site to be developed with single family lots. The amendment proposed 81 single family lots or 7 residential units less than Plan adopted in 2004

This amendment to the Neighborhood Plan has little effect on the overall density of the Prairie Ridge Neighborhood and complies with the Village 2010 Comprehensive Use Plan. Pursuant to the 2004 Plan, approximately 461.5 acres of land (excluding existing and future rights-of-way, commercial and government & institutional areas, wetlands and other open space) within the neighborhood are proposed to be developed as Residential and there are 628 existing single family units and 564 existing multi-family units within the Neighborhood including: Prairie Ridge Subdivision, residential development at Bain Station Road and 104<sup>th</sup> Avenue, Lexington Village Apartments, Westwood Estates Manufactured Home Park, Hidden Oaks Apartments and scatter residential along the arterial highways. The amendment increased the number of proposed single family lots in the Neighborhood from approximately 99 to 132 single family units and reduce the proposed number of multifamily units in the Neighborhood from 783 units to 743 multi-family units.

In accordance with the Village 2010 Comprehensive Plan, the Prairie Ridge Neighborhood is classified as Upper-Medium Residential land use category which requires the average lot area per dwelling unit fall within the range of 6,200 square feet and 11,999 square feet per dwelling unit. This allows for areas of the neighborhood to have larger lots while some areas have smaller lots. The net density of the neighborhood with the proposed amendment will be increased to approximately 9,725 square feet per dwelling unit (461.4882 net residential acres multiplied by 43,560 square feet in an area divided by 2,067 dwelling units) from approximately 9,693 square feet per dwelling unit (461.4882 net residential acres multiplied by 43,560 square feet in an area divided by 2,074 dwelling units). This density is in compliance with the Village Comprehensive Plan.

The population projections for the neighborhood will decrease slightly as a result of the proposed amendment as described below:

**Current population** within the neighborhood is 1,894 persons and 394 school age children (assumes that each existing lot has an occupied dwelling).

- 1,714 persons (628 dwelling units x 2.73 persons per household); plus
- 180 seniors at Prairie Ridge Senior Campus (120 senior housing units x 1.5 person per household)
- 394 school age children (23% of 1,714 persons with school age children)
- 263 public school age children (42% of 628 dwelling units)

**Projected populations** within the neighborhood based on reducing the total number of dwelling units in the neighborhood by seven units would adjust the projections down from 4,904 persons and 1,080 school age children to 4,885 persons and 944 school age children (based on the number of households proposed for this neighborhood when fully developed).

- 4,103 persons (875 proposed plus 628 existing dwelling units x 2.73 persons per household); plus



- 
- 782 seniors a Prairie Ridge Senior Campus (521 total senior housing units x 1.5 person per household)
  - 944 school age children (23% of 4,103 persons with school age children)
  - 631 public school age children (42% of 1503 dwelling units)

*[Note: Based on the 2000 Census information for the Village of Pleasant Prairie the average number of persons per household is 2.73 and school age children between the ages of 5 and 19 make up 23% of the population. In addition, the Village is assuming 1.5 persons per unit in the senior housing apartments within the neighborhood. The Village provides copies of proposed developments to the Kenosha Unified School District to assist in their planning. Pursuant to the information provided by the Kenosha Unified School District for Pleasant Prairie the number of students that will attend public school is 42% of the number of dwelling units.]*

**The amendment approved by Plan Commission Resolution #06-25 and the Village Board Resolution #06-57 amended the 2004 Neighborhood Plan for the land at the northeast corner of Bain Station Road and 88<sup>th</sup> Avenue (CTH H) as a result of a development of a mixed residential development.**

The 2004 Neighborhood Plan indicated that this area be developed with 152 multi-family units and 40 single family lots for a total of 192 dwelling units. The amendment to the Neighborhood Plan for this area included 44 new single family lots, razing 5 existing single family homes, 108 new condominium units (10-4 unit buildings, 6-6 unit buildings and 4-8 unit buildings) and 95 new multi-family senior condominium units and for a total of 242 new dwelling units (50 units more than approved on the 2004 Neighborhood Plan) which slightly exceeds the density for this property and would also increase the overall density of the neighborhood and projected population for the neighborhood; however due to the increase of senior housing the number of school age children slightly decreases as described below:

The projected population and density within the Neighborhood based on the increase of 50 dwelling units within this area includes:

- 1,501 existing and proposed dwelling units (excluding senior housing units)
- 616 senior housing units
- 2,117 total dwelling units
- 4,098 persons (1,501 proposed dwelling units x 2.73 persons per household);
- 924 seniors a Prairie Ridge Senior Campus (616 total senior housing units x 1.5 person per household)
- 5,022 persons is the total estimate of population
- 943 school age children (23% of 4,098 persons with school age children) or 630 public school age children (42% of 1501 dwelling units)
- The average lot size per dwelling unit for the neighborhood as amended is 9,506 square feet per dwelling unit (462 net residential acres multiplied by 43,560 square feet in an area divided by 2,117 total dwelling units—existing and proposed)

**The amendment approved by Plan Commission Resolution #06-27 and the Village Board Resolution #06-59 included an amendment to the 2004 Neighborhood Plan by changing the two (2) properties at the northwest corner of Bain Station Road and 88<sup>th</sup> Avenue (CTH H) from and Institutional use to a residential land use designation.**



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**The amendment approved by Plan Commission Resolution 16-09 and Village Board Ord. #16-\_\_\_ included an amendment to the Prairie Ridge Neighborhood Plan for a 34.5 acre properties generally located west and north of Bain Station Road and CTH H (88<sup>th</sup> Avenue) to be known as Fountain Ridge.**

The Prairie Ridge Neighborhood Plan that was originally adopted in 2004 indicated that this 34.5 acres of land be developed with approximately 96 residential units (8-3 unit buildings, 29-2-unit buildings and 14-1 unit buildings). The amendment proposes to allow for the development of the properties with 246 units (3-49 unit buildings, 10-8 unit buildings and 19 single family lots) to be known as Fountain Ridge. This represents an increase of 150 residential units. The amendment to the Neighborhood Plan alters the 472 net residential acres within the neighborhood to 468 net residential acres (removing 4.09 acres for the proposed public streets and the field delineated wetlands for the proposed Fountain Ridge Development).

In accordance with the Village 2010 Comprehensive Plan, the Prairie Ridge Neighborhood is classified as Upper-Medium Residential land use category which requires the average lot area per dwelling unit fall within the range of 6,200 square feet and 11,999 square feet per dwelling unit. This allows for areas of the Neighborhood to have larger lots while some areas have smaller lots. Since adoption of the 2004 Neighborhood Plan including the 2005 and 2006 amendments, the existing number of dwelling units has changed.

The Neighborhood Plan includes the following existing (1,643 units) and proposed (574 units) residential units for a total of 2,217 total residential units within the Neighborhood including the proposed Fountain Ridge development:

Single Family existing (754 units) and proposed (19 units) for a total of 773 units:

- 215 single family lots in Prairie Ridge and Prairie Ridge Addition #1 Subdivisions
- 81 single family lots in Ashbury Creek Subdivision
- 43 single family lots in the Settlement at Bain Station Crossing Subdivision
- 344 single family units in Westwood Manufactured Home Park
- 71 other single family lots with the neighborhood
- **19 proposed single Family lots (Fountain Ridge)**

Apartments-existing (668 units) and proposed (224 units) for a total of 892 units:

- 324 apartment units at Hidden Oak (9-36 unit buildings)
- 120 apartment units at Lexington Village ( 9 12 unit buildings and 2-6 unit buildings)
- 164 apartment units at Cobblestone Creek (1-36 unit building, 1-40 unit building and 2-44 unit buildings)
- **224 proposed apartment units at Fountain Ridge (3-49 units and 8-10 condo-style unit apartment buildings)**

Senior Housing-existing (191 units) and proposed (161 units) for a total of 352 units:

- 191 existing senior housing apartment units in Prairie Ridge Senior Campus (2 buildings) at 94<sup>th</sup> Avenue and Prairie Ridge Boulevard
- 95 proposed senior housing apartment units (Bain Station Crossing)
- 66 proposed senior housing apartment units (Addison 2<sup>nd</sup> Phase)



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Condominium units –existing (30 units) and proposed (170 units) for a total of 200 units

- 98 proposed condominium units in Prairie Ridge located at 97<sup>th</sup> Court between Prairie Ridge Boulevard and 94<sup>th</sup> Avenue known as Arbor Ridge and specifically including: 15-2 unit buildings, 5-4 unit buildings; and 8- 6 unit buildings
- 90 proposed condominiums units (3-8t unit buildings, 1-6 unit building and 15-4 unit buildings and 60 apartment units (5 12 unit buildings) to be known as Bain Station Condominiums and Bain Station Apartments
- 12 proposed condominium units at either 4-3 unit buildings or 3-4 unit buildings located at east of 88<sup>th</sup> Avenue at Wilmot Road

The net density of the Neighborhood with the proposed amendment will be increased to approximately 9,194 square feet per dwelling unit (467.91 net residential acres multiplied by 43,560 square feet in an area divided by 2,217 dwelling units). This density is in compliance with the Village Comprehensive Plan.

**Population and school age children:**

**Current population** within the Neighborhood is 3,951 persons with 1,023 school age children with 610 public school age children (assumes that each existing living unit is occupied on all properties).

- 2,021 persons (754 single family units x 2.68 persons per household); plus
- 81 persons (30 condo units x 2.68 persons per household); plus
- 1,564 persons (668 apartment units x 2.34 persons per household); plus
- 287 persons (191 Senior Apartments x 1.5 person per household)
- 1,023 school age children (27.9% of 3,665 persons with school age children)
- 610 public school age children (42% of 1,452 dwelling units)

**Projected population** within the Neighborhood is 5,223 persons which include 1,310 school age children wherein 784 are estimated to attend public schools (based on the number of units proposed for this Neighborhood when fully developed).

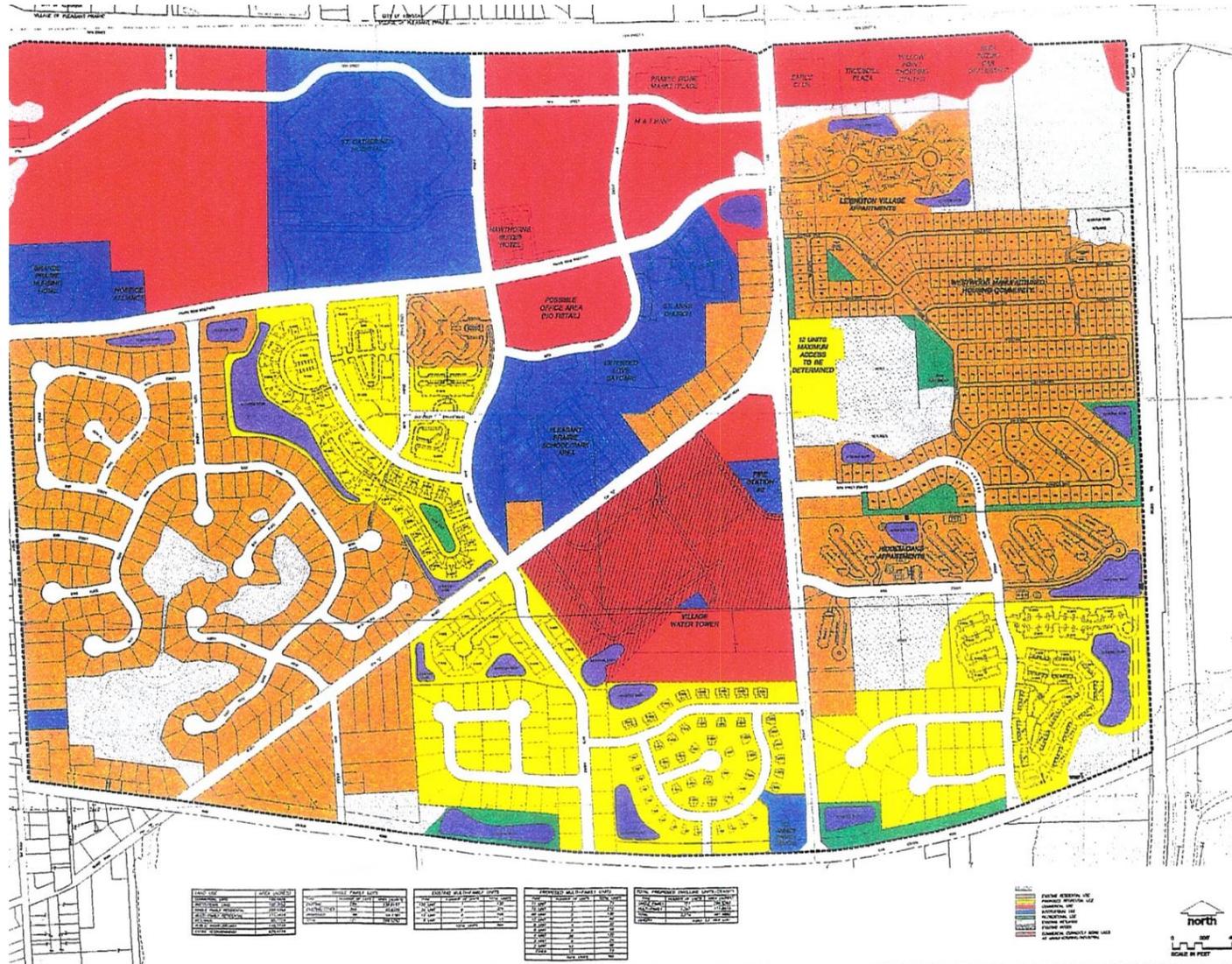
- 2,072 persons (773 single family units x 2.68 persons per household); plus
- 536 persons (200 condo units x 2.68 persons per household); plus
- 2,088 persons (892 apartment units x 2.34 persons per household); plus
- 528 persons (352 Senior Apartments x 1.5 person per household)
- 1,310 school age children (27.9% of 4,695 persons with school age children)
- 784 public school age children (42% of 1,865 dwelling units)

[Note: Based on the 2010 Census information for the Village of Pleasant Prairie the average number of persons per household is 2.68 (a decrease from 2.73 in 2000) and the average number of person per rental housing is 2.34 and school age children between the ages of 5 and 19 make up 27.9% of the population (an increase from 23% in 2000). In addition, the Village is assuming 1.5 persons per unit in the senior housing apartments within the neighborhood. Pursuant to the information provided by the Kenosha Unified School District for Pleasant Prairie the number of students that will attend public school is 42% of the number of dwelling units.]



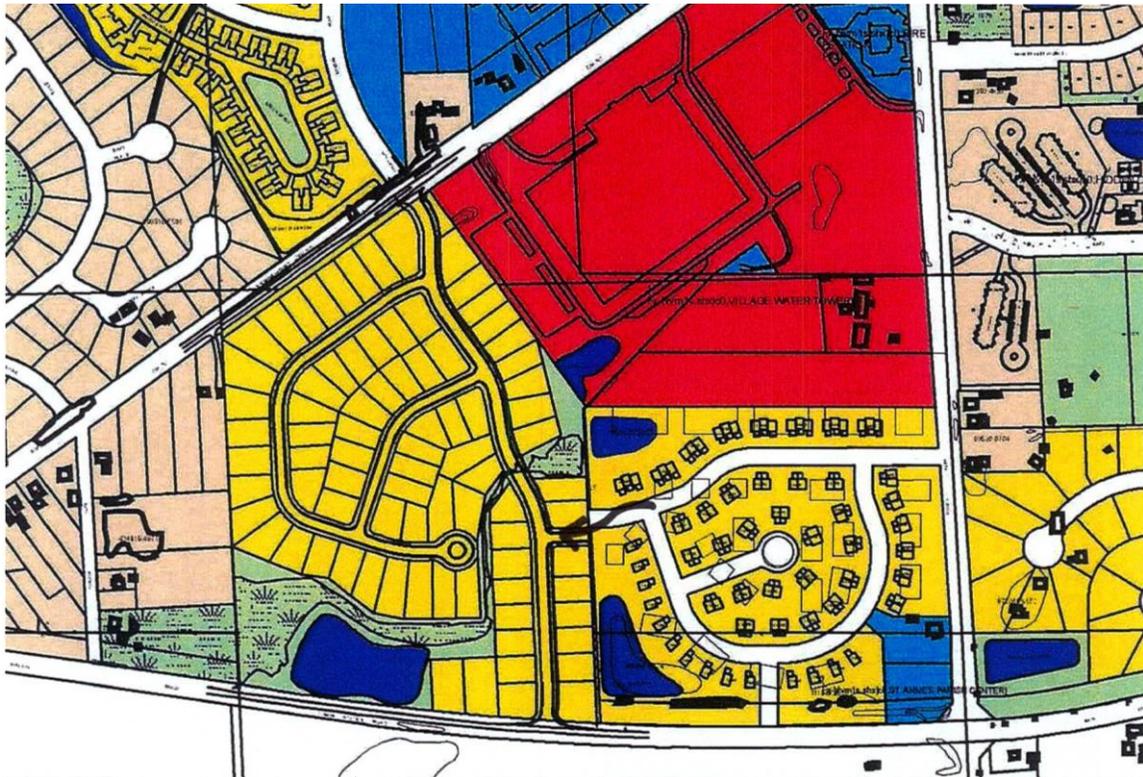
## Neighborhood Plan Map 21 Prairie Ridge Neighborhood

**Adopted by Plan Commission Resolution #04-07 and Village Board Resolution #04-24**



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**Neighborhood Plan Map 21  
Prairie Ridge Neighborhood  
Amendment adopted by Plan Commission Resolution #05-11 and Village Board  
Resolution #05-51**



**Neighborhood Plan Map 21  
Prairie Ridge Neighborhood**

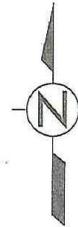
**Amendment adopted by Plan Commission Resolution #06-25 and Village Board Resolution #06-57**

**PRAIRIE RIDGE NEIGHBORHOOD PLAN  
BAIN STATION CROSSING AMENDMENT**



**Site Legend**

- EXISTING RESIDENTIAL USE
- PROPOSED RESIDENTIAL USE
- PROPOSED MULTI-FAMILY RESIDENTIAL
- OPEN SPACE
- TRANSPORTATION AND UTILITIES
- FLOODPLAIN
- RETENTION POND USE
- WETLANDS
- EXISTING WOODLANDS PRESERVED
- EXISTING WOODLANDS REMOVED
- EXISTING PUBLIC RIGHTS-OF-WAY
- PROPOSED PUBLIC RIGHTS-OF-WAY
- EXISTING LOT LINES
- PROPOSED LOT LINES
- PROPOSED PRIVATE ROADWAY



**NM  
& B**

**NIELSEN MADSEN & BARBER S.C.**

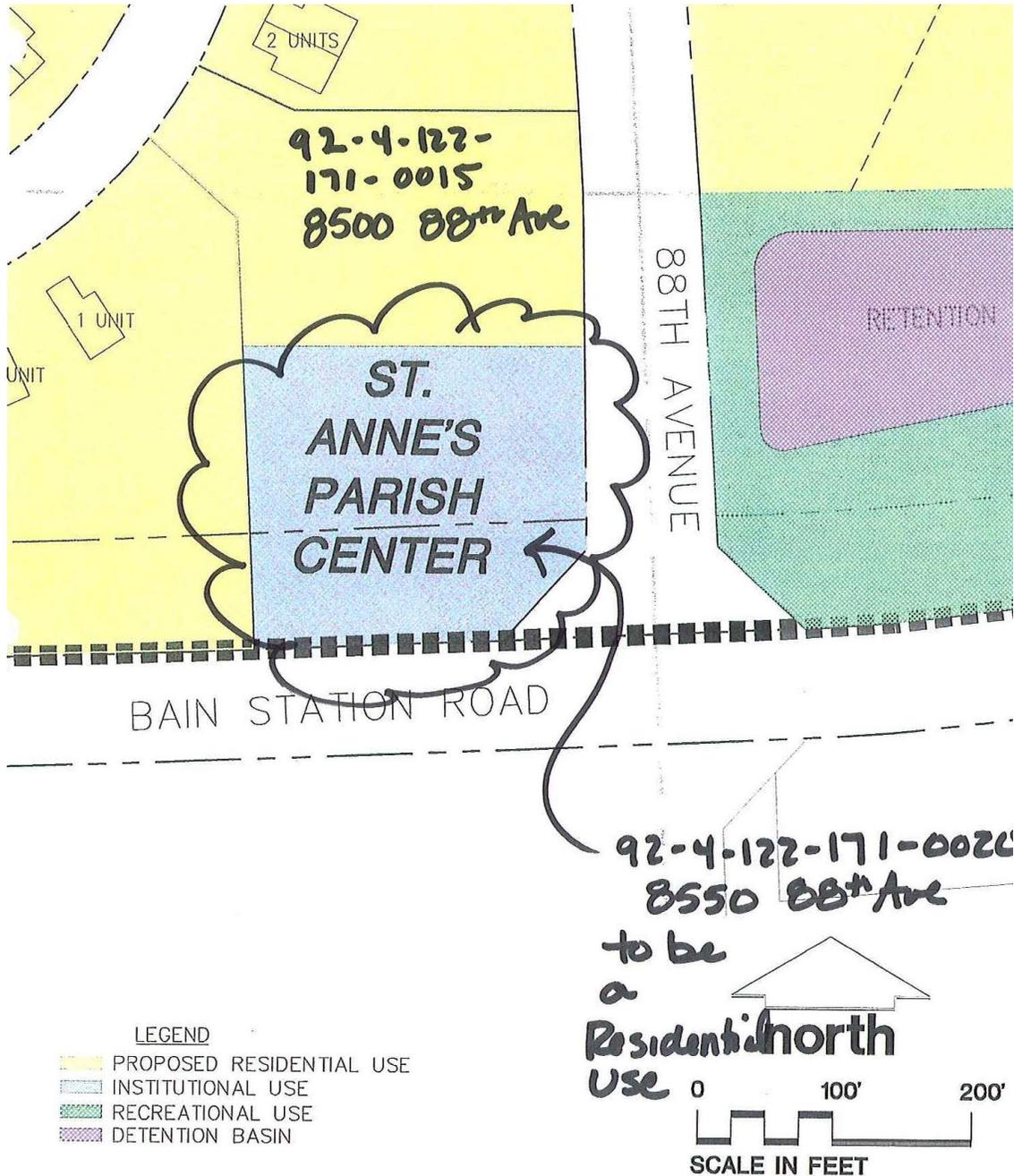
CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS  
1530 WASHINGTON AVE. RACINE, WI, 53403  
TEL: (414) 226-2000 FAX: (414) 226-2004 EMAIL: NM@NMBARC.NET

Prepared  
for

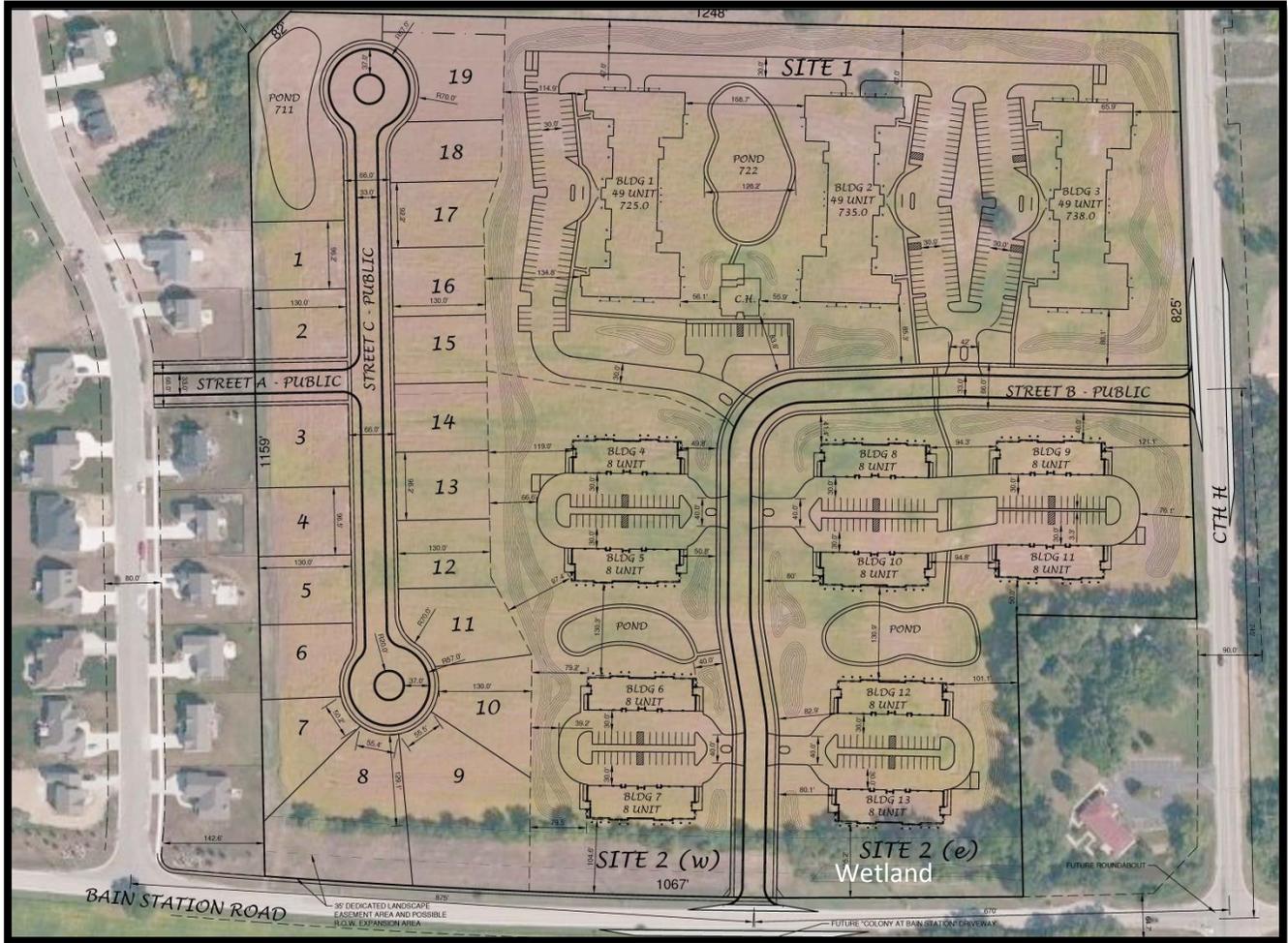
Settlement At Bain  
Stallion, LLC  
Michael D'worth 7500  
South 13th Street  
Oak Creek, WI 53154  
(414) 764-7600  
(414) 764-7800 (Fax)

Date: November 9, 2006

**Neighborhood Plan Map 21  
Prairie Ridge Neighborhood  
Amendment adopted by Plan Commission Resolution #06-27 and Village Board  
Resolution #06-59**



**Neighborhood Plan Map 21  
Prairie Ridge Neighborhood  
Amendment adopted by Plan Commission Resolution #16-09  
and Village Board Ord . #16-\_\_**





## MEMORADUM

Office of the Village Engineer  
**Matthew J. Fineour, P.E.**

TO: Peggy Herrick, Assistant Planner / Assistant Zoning Administrator

FROM: Matthew Fineour, P.E., Village Engineer

SUBJ: Fountain Ridge – 2016-05-10 Concept Plan  
Concept Plan Review  
DEV1605-002

DATE: May 23, 2016

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Dear Peggy,

The Engineering Department has completed a reviewed of the revised Fountain Ridge concept plan referenced above. Based on our review, we have the following comments listed below. As the concept plan is not very detailed, our review was cursory and further comments may be provided as detailed plans are provided.

1. The geometry of the cul-de-sac(s) shall be revised in accordance the Village's standard cul-de-sac dimensions. See attachment.
2. The concept plan shall show the planned "Colony at Bain Station" entrance for Outlot 2 of Bain Station Crossing. The distance between entrance drives shall be shown / labeled and evaluated by the County. An acceptable separation distance shall be maintained. (Reiterated Comment) – Note: The current concept plans shows this entrance off of Bain Station Road which is incorrect, it is located on CTH H.
3. Some of the buildings appear to have underground parking. No storm water will be allowed in the sanitary sewer. The plan will need to accommodate a storm water collection system near the parking entrance to collect storm water runoff and pump or gravity feed to the on-site storm water facilities. (Reiterated Comment)
4. Provide sidewalk pedestrian crossings on Street C to Street A at both the north and south intersection legs.
5. The Village has adopting new/updated design standards and construction specifications. This development will be subject to these specifications / standards. The Village of Pleasant Prairie 2016 Design Standards and Construction Specifications can be found on the Village's website:

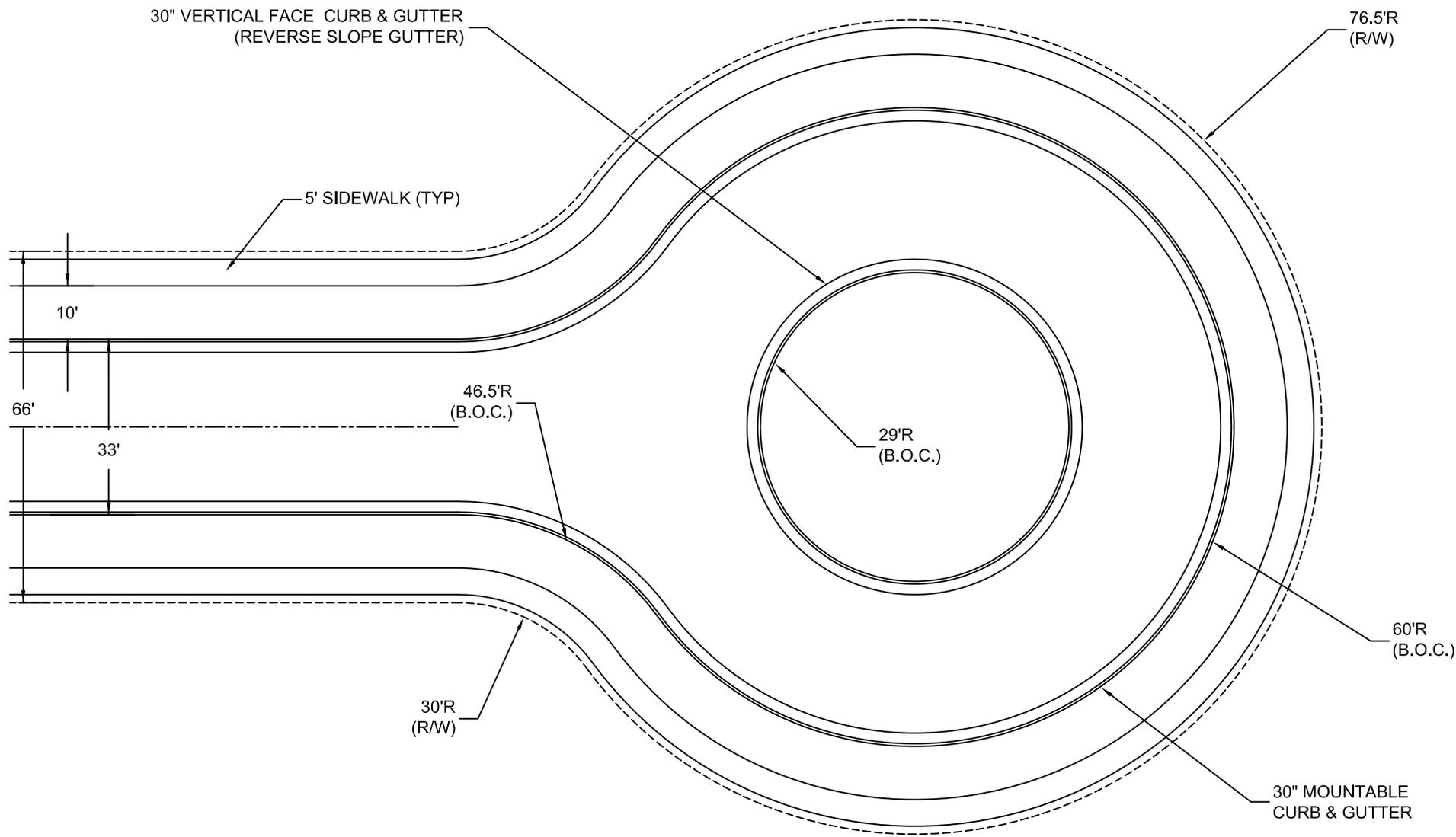
<http://www.pleasantprairieonline.com/services/engineering/index.asp>

6. Shift the sanitary and water utilities located north of building 4 further north to be located within the pavement area.

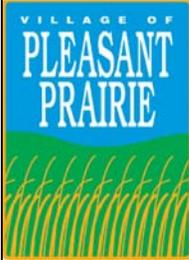
7. Adjust the utility alignment and or lot lines so water, sanitary, and storm utilities are parallel to the lot lines, wherever possible.
8. Consideration shall be given to adjusting Outlot 1 to include the private storm sewer located on the north side of lot 19.
9. Private vs. Public utilities (storm, water, sanitary) shall be designated on the plans for review.
10. Show Street A connecting to 94<sup>th</sup> Avenue. Also, label 94<sup>th</sup> Avenue on the plans.
11. Additional utility easements will need to be provided on the plat as the project design progresses.
12. The landscaping plan needs to include street trees along the public roadways.
13. A lighting plan shall be provided.
14. Bain Station is anticipated to be improved in the future to a collector street as a result of development. The development's cost share responsibility for these future improvements needs to be discussed / evaluated and made part of the development terms of approval. (Reiterated Comment)
15. A conceptual grading plan shall be provided. Currently no proposed topography is shown. It is noted that there is significant topographic relief on the site from west to east based on County topographic mapping. (Reiterated Comment)
16. A preliminary storm water management plan shall be submitted. The development shall meet storm water management requirements as set forth in Chapter 298 of the Village ordinances. (Reiterated Comment)
17. The 100-year overland flood route(s) shall be conveyed to the retention facilities. The proposed pond location(s) shall be reviewed to ensure that this criteria will be met. The ability to meet this requirement appears questionable based on the current layout. (Reiterated Comment)
18. Fire lanes and turning radii to service internal buildings shall be identified. Fire truck access and hydrant locations will need to be reviewed and approved by the Fire Department. (Reiterated Comment)
19. It is our understanding that Kenosha County is proceeding with developing plans for a round-about at CTH H and Bain Station Road. Intersection designs at Bain Station and CTH H will need to be coordinated with the roundabout design as the project progresses.

20. Kenosha County will need to review and approve the proposed drive connection and geometrics on CTH "H". (Reiterated Comment)
21. A phasing plan is required to be submitted and reviewed if the development will be constructed in phases. Engineering plans will need to show and incorporate the planned phasing. (Reiterated Comment)
22. Has a wetland delineation / evaluation been done for the property? It is noted that the property contains wetland indicator soils based on the WDNR data viewer mapping. (Reiterated Comment)
23. Show the existing wetland / wetland preservation, protection, access and maintenance easement located on Outlot 3 in Ashbury Creek. (Reiterated Comment)
24. The lot located at the north-west quadrant of the CTH H / Bain Station intersection shown on the concept plan is actually two lots owned by two different landowners. (Lot 1 and 2 of CSM 2018). The plan should accurately depict this. (Reiterated Comment)
25. The sewer extension from 84<sup>th</sup> Street through the development will need to evaluate service to lots 1 and 2 of CSM 2018 which is expected to be serviced from this extension. The current concept plan does not address this. (Reiterated Comment)
26. The Sewer D sanitary sewer assessment was based on estimated density from the area neighborhood plan. The proposed density appears greater than the neighborhood plan. The assessment for the property will need to be evaluated and additional costs determined.

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SCALE: NTS



**STANDARD RESIDENTIAL CUL-DE-SAC DETAIL**

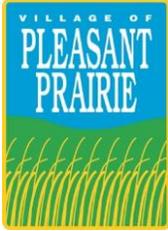
DETAIL: RD - 5

CREATED: 2-21-14

REVISED: 12-1-15

APPROVED BY: MATT FINEOUR



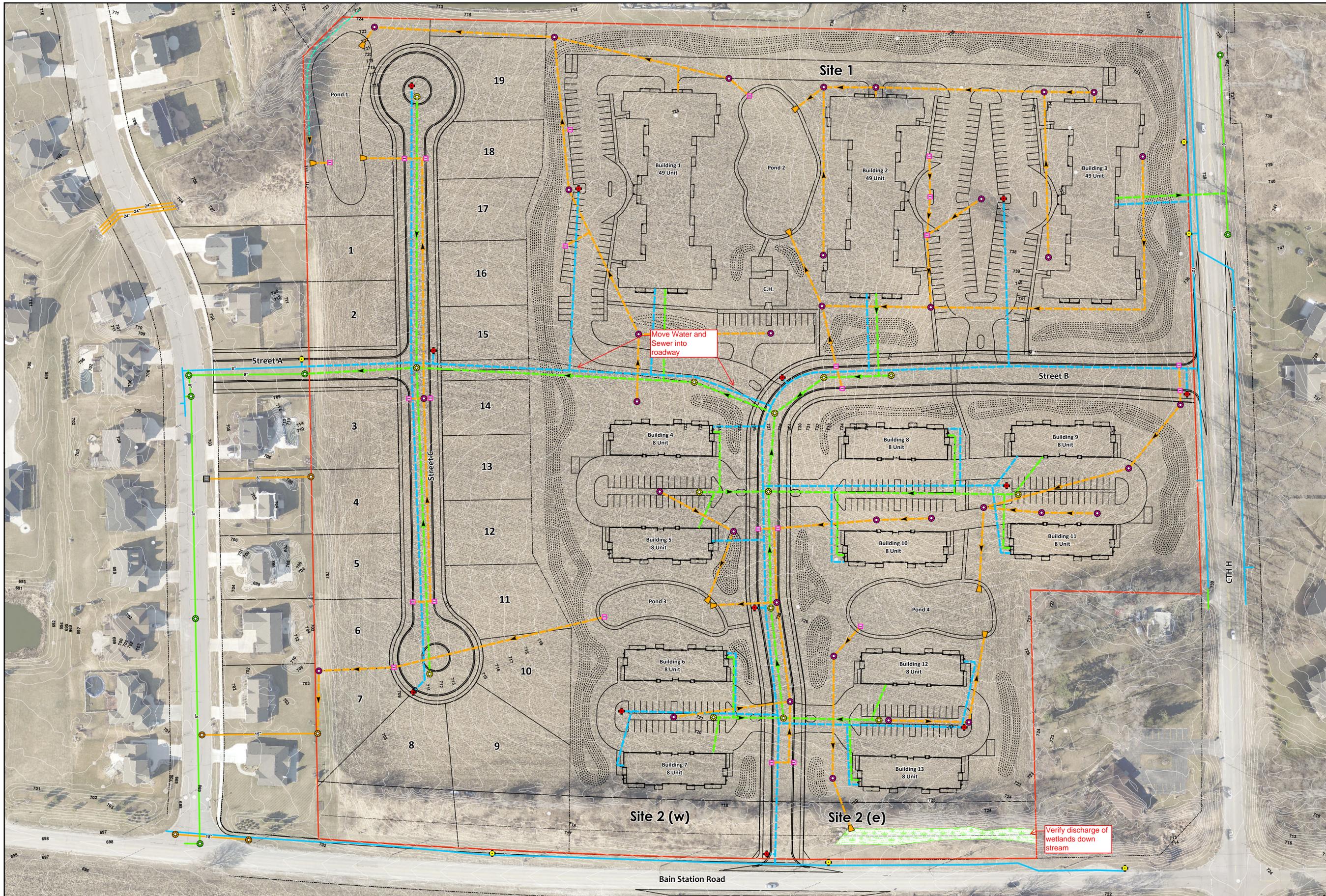


Office of the Director of Public Works  
**John Steinbrink Jr., P.E.**

TO: Peggy Herrick, Assistant Planner / Assistant Zoning Administrator  
FROM: John Steinbrink, Jr., P.E., Director of Public Works  
CC: Matthew Fineour, P.E., Village Engineer  
Jean Werbie-Harris, Community Development Director  
SUBJ: **DEV1605-002 Fountain Ridge Plan Review**  
DATE: May 23, 2016

The Department of Public Works has reviewed the submitted information for the above referenced project. Based on our review, we have the following comments listed below:

PAGE#	COMMENT
See attached Conceptual Utility Plan	Move water and sewer into roadway.
See attached Conceptual Utility Plan	Verify discharge of wetlands downstream.
General	Show details for bypass/decel lanes on CTH H and Bain St. Rd. (JH/5/23)
General	If the clubhouse will have a kitchen it will need a sampling manhole for the sewer. (TH-5/24)



<b>Site 1 - Lease Residence</b>
1 ~ Clubhouse
3 - 49 Unit Buildings
147 Total Leased Units
11.01 Acres
13.35 Units/Acre
<b>Site 2 - Townhomes</b>
(w) Site
4 - 8 Unit Buildings
32 Total Units
4.83 Acres
6.6 Units/Acre
(e) Site
6-8 Unit Buildings
48 Total Units
7.06 Acres
6.8 Units/Acre
<b>Total</b>
11.89 Acres
80 Units
6.7 Units/Acre
19 Single Family Lots
8.919 Acres
2.13 Units/Acre
<b>Total Development</b>
1 - Clubhouse
227 - Units
19 - Single Family Condo Lots
246 - Total Units
32.65 Acres
7.53 Units/Acre

Legend	
Storm Flow Direction	Proposed Storm Manhole
Proposed Storm Outfall	Existing Fire Hydrant
Proposed Storm Inlet	Proposed Sanitary Manhole
Bypass Offsite Pond	Existing Storm Inlet
Proposed Water Line	Existing Storm Manhole
Proposed Sanitary Line	Existing Storm Inlet
Existing Sanitary Line	Existing Storm Manhole
Existing Storm Line	Existing Storm Manhole
Existing Water Line	Existing Storm Manhole
Parcel Boundary	Berm
Existing Easement Line	Wetland
Existing ROW	



Office of the  
Chief of Fire & Rescue  
**Doug McElmury**

## VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director  
FROM: Doug McElmury, Chief Fire & Rescue  
CC: Craig Roepke, Deputy Chief Fire & Rescue  
Lt. Thomas Clark, Fire & Rescue Department  
Peggy Herrick, Assistant Planner, Community Development  
SUBJECT: Fire Department review of plans for Fountain Ridge Apartment Complex  
DATE: June 8, 2016

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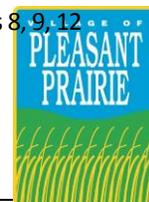
These are comments for the revised plans received for Fountain Ridge Apartment Complex to be located in the general field area on the Northwest corner of CTH H and Bain Station Rd. in Pleasant Prairie.

The Fire and Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. Based on the limited information and conceptual plans submitted, the Fire & Rescue Department have the following comments regarding the site:

### OVERALL SITE HYDRANT & FDC Locations

It was requested that a review be made based on a Conceptual Grading / Storm Sewer Plan drawing dated 5/9/2016. See the attached drawing (named 20160608-FD-REVISED-Conceptual Grading - All Utilities.pdf) to include Hydrant & FDC locations as described below:

1. ADD hydrant across from Pond #2 on North side
2. ADD hydrant along Street B, East of Building 2 & 3 South Driveway.
3. MOVE Hydrant located at Single Lot 7 & 8 into Cul-de-sac circle.
4. LOCATE FDC Dual for Building 2 & 3 at Hydrant location depicted on drawing. Note that size of island width will likely need to be increased consuming one parking space. See FDC spec detail. Placards identifying buildings served to be affixed to respective FDC connections
5. LOCATE FDC for Building 1 at hydrant location depicted on drawing. Note that size of island width may need to be increased consuming one parking space. See FDC spec detail.
6. ADD hydrant at Building 4 & 5 East end parking island.
7. ADD hydrant at Building 8 & 10 West end parking island.
8. MOVE hydrant at Building 6 & 7 to East end parking island.
9. MOVE hydrant at building 12 & 13 to West parking island.
10. LOCATE building wall mounted 2.5" FDC at the SOUTHEAST corner SOUTH side for buildings 4 & 6
11. LOCATE building wall mounted 2.5" FDC at the NORTHEAST corner NORTH side for buildings 5 & 7.
12. LOCATE building wall mounted 2.5" FDC at the NORTHWEST corner NORTH side for buildings 10, 11, 13
13. LOCATE building wall mounted 2.5" FDC at the SOUTHWEST corner SOUTH side for buildings 8, 9, 12
14. Final FDC locations to be approved on fire sprinkler plans.
15. Placards for FDC connection at each building to be reviewed and finalized at a later date.



**Distribution of Comments:** the person who obtains the building permit to all contractors and subcontractors affected by this document shall distribute copies of these comments. This document outlines critical times and deadlines. All recipients of this document must become familiar with the contents.

**IT IS CRITICAL THAT ALL CONTRACTORS SPECIFICALLY FIRE SPRINKLER & ALARM DESIGNERS AND INSTALLERS RECEIVE AND UNDERSTAND THE CONTENT OF THIS DOCUMENT.**

**Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.

**Conflicts:** In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State of Wisconsin and/or the Village of Pleasant Prairie where applicable.

**Fire Safety System Plans:** such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.

**FIRE ALARM AND SPRINKLER PLANS ARE A SEPARATE SUBMITTAL TO THE FIRE DEPARTMENT.**

**DUE TO CONSTRUCTION AND TIME CONSTRAINTS FIRE PROTECTION SUBMITTALS MAY AND ARE TYPICALLY BROKEN INTO AN UNDERGROUND SUBMITTAL AND AN ABOVE GROUND SUBMITTAL.**

**INFORMATION REGARDING PLAN SUBMITTAL CAN BE FOUND AT**

**<http://www.pleasantprairieonline.com/services/fireandrescue/ForContractors.asp>**

**Pre-Construction Meeting:** A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire and Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Safety and Professional Services.

1. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2009 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.
  - a. All entrances from public streets, as well as road and driveways around the proposed building must be a minimum of 30 feet wide.
  - b. All exterior exit pathways as well as access to the Fire Pump room shall have a hard surface, leading to a hard surface.
  - c. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.
  - d. A minimum clearance of 24 feet will be maintained in parking lot areas from rear of each vehicle or rear of vehicle to curb of building.
2. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.
3. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.
4. **Review and Comments:** At such time more information is provided for this project, the Fire Department will review and comment on the following areas outlined below.
  - A. Site and Operational Permits
    1. Site accessibility (Plans provided do not specific clearances or distances)
    2. Fire Pump Location
    3. Pumper Pad
    4. Fire hydrant spacing
  - B. Conditional Use and Operational
    1. Standpipe outlet locations
    2. Fire alarm pull stations
    3. Emergency and Exit Lighting
    4. Fire extinguishers
5. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
6. **Permit fees:** must be paid at time of submission for review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks  
The following fees and permits are generated directly from the Fire & Rescue Department.
  - a. Bulk water Usage
  - b. Fire Protection Plans for Underground and Aboveground
  - c. Fire Alarm System Plans
  - d. Kitchen Hood Systems Plans

*NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.*
7. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.
8. **Hazardous Occupancies:** Should there be identified hazard occupancies with this project, the Fire & Rescue Department will need more than the typical four week time period to review potential Hazardous Occupancies. The owner must contact the Fire & Rescue Department as soon as possible to begin the review process.

9. **Exterior Doors:** All outside doors must have access to the interior. Such as a lock and handle provided at each door.
10. **AED:** The owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee and public use in the event of a sudden cardiac arrest to be located in the clubhouse building. The Fire and Rescue Department can provide the training necessary to perform CPR and to operate the AED.
11. **Storage:** Maximum height, width and aisle ways and egress pathways must be maintained and will be enforced. The same concerns apply to the storage of quantities of combustibles (plastics and cardboard) and other storage of flammable liquids or chemicals must also be properly identified, placarded and stored.
12. **Elevators:** must comply with Village of Pleasant Prairie Ordinance 180-20, including acceptable minimum size and emergency notification.
13. **Severe Weather Shelter:** The architect shall identify the area within each building that can be used as a “severe weather shelter” or “safe haven” during severe weather such as a tornado. That area will be identified with signage.
14. **On Premise Secure Key System:** Knox Company Rapid Entry System, “Knox Boxes” shall be provided for each building. A determination of the exact number required will need to be made during the pre-construction meeting. One by each riser door, fire pump room and other needed access routes. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.
15. **SDS/MSDS Storage Box:** A minimum of one (1) Brady model JS1 designed for Material Safety Data Sheet storage box designed for Safety Data Sheets (SDS) (*formerly known as Material Safety Data Sheet-MSDS*) information shall be provided for each building to contain the data sheets on all products that are considered hazardous within the facility. The SDS/MSDS Box(s) shall be installed within the fire pump or sprinkler room.
16. **Fire Extinguishers:** Shall meet the current printed edition of NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire and Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
17. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. An Emergency light shall be placed within the fire pump room.
18. **Sprinkler System:** The building shall be equipped with an “automatic fire sprinkler system”. The systems shall be designed and constructed to the current printed edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers. Confirm NFPA edition with the Fire Department prior to system design.
19. **The following information must be submitted with the sprinkler plans for review:**
  - Building height:
  - Number of stories/floors:
  - Mezzanines:
  - Elevators:
  - Hazard class:
  - Commodity Class:
  - Exterior storage:
  - Fire protection:
20. **Plan Review (Underground):** A review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire and Rescue Department. Underground plans shall be submitted a minimum of four (4) weeks before installation begins.

21. **Water Service:** If it is determined that the building will be serviced by a combination municipal water and fire protection main, that main must be sized by the fire protection (sprinkler) contractor. No main is allowed to travel underground, under the building.
22. **Fire Hydrants:** The fire hydrants shall meet the current Village of Pleasant Prairie hydrant specification including the 5" storz connection. Fire hydrants shall be spaced no more than 350 feet apart, per Village Ordinance 180-16. The insurance carrier must agree in writing to the hydrant spacing. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches. The Fire Department connections shall be located, and of sufficient height where typical snow fall or snow removal operations will not obstruct access.
23. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA–National Fire Code) Standard 24 and witnessed by the Fire Chief and or the Chief's representative, the installing contractor and the fire sprinkler contractor at a minimum.
24. **Fire hydrant / water main flushing:** can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a 'clean water sample' on this site.  
**NOTE:** The Fire Protection Designer must meet with the Fire and Rescue Department before the underground drawings are submitted for review to finalize the placement of the hydrants.
25. **Pumper Pad:** There shall be dedicated space for a fire engine to have unobstructed access to the Pumper Pad. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant. The Fire Department connection shall be constructed along with an underground drain with access for inspection. Both the fire department sprinkler connection and the fire hydrant, (pumper pad), shall be installed remote from the building(s) and located a minimum distance from the building equal to the highest wall. At the time of fire sprinkler design we can discuss options for the 8 unit Pumper Pads.  
  
***NOTE:** The Fire Department Connection riser shall include a single five (5) inch Storz fitting.*
26. **Fire Pump:** Should a fire pump be required based on the design, There shall be sufficient room to maneuver within the fire pump room. There shall be direct ingress/egress from the fire pump room directly to the exterior of the building; a paved surface shall lead to the fire pump room. There shall be Emergency Lighting installed within the Fire Pump Room. The pump test header location shall comply with 180-16. There shall also be sufficient room for placement of the Fire Alarm Control Panel (FACP), along with the required maps of the fire protection systems.
27. **Standpipes:** If determined that hose valves or standpipes be required in areas of the building. In lieu of 1.5 inch hose stations, the building shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve. The standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob. Village Ordinance 180.16 G.
28. **Strobe Light:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16 K of the Sprinkler Ordinance. A strobe light(s) shall also be provided outside of the fire pump/riser room to indicate a fire pump run and/or a waterflow alarm, with signage installed under each strobe light.

29. **Bollards:** Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) to prevent damage. Bollards shall be 6 inches in diameter. Bollards shall not obstruct charged fire hoses. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.
30. **Fire Alarm System: The system shall be fully addressable so that detailed information will be received about the device in alarm.** Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system. The systems shall be designed and constructed to the current printed edition of NFPA 72. **Confirm NFPA edition with the Fire Department prior to system design.**
- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
  - b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
  - c. **Smoke and Heat Detection:** Shall be installed as required.
  - d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
  - e. **Fire Alarm Control Panel (FACP): Shall be addressable.** The main FACP will be placed in the fire pump room. Remote annunciator panel location(s) will also need to be determined during the pre-construction meeting. The annunciator panel type shall be approved by the Fire & Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
  - f. **FACP Nomenclature:** Confirmation of nomenclature shall be discussed between the Fire Department and the fire alarm program technician prior to any inspections.
  - g. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
  - h. **Transmission of Fire Alarms.** The method of transmission to central station must be approved by the Fire & Rescue Department. i.e. RF Radio, cellular, VOIP, or other approved technologies.
  - i. **FACP Main Panel:** There will be one main fire alarm panel within a building. The system will not be split into two or multiple fire alarm panels interconnected together. (Example: West wing is one panel, East wing is a different panel)
  - j. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.

Fire:	Pleasant Prairie Fire & Rescue
Medical:	Pleasant Prairie Fire & Rescue
<u>Phone numbers</u>	
<b>Emergency:</b>	<b>(262) 694-1402</b>
Non-emergency:	(262) 694-7105
Business:	(262) 694-8027

31. **Public Safety Radio Coverage:** Provide for adequate radio coverage to public safety service workers, including but not limited to firefighters, and law enforcement officers. For purpose of this section, adequate radio coverage shall include all of the following:

- a) The system must support both the Fire Department’s and Police Department’s main VHF repeated radio channels.
- b) a minimum signal strength of -101 dBm available in 95% of the area of each floor of the building when transmitted from the Public Safety Radio Communications System: and
- c) a minimum signal strength of -101 dBm received at the Public Safety Radio Communications System when transmitted from 95% of the area of each floor of the building, via portable radio with public safety microphone.
- d) Channel Performance Criterion (CPC): CPC is the minimum performance level in a faded channel, per TSB-88, clause 4.2. TSB-88 is a “Telecommunications Systems Bulletin” published by the TIA, Telecommunications Industry Association. The performance level is rated using “Delivered Audio Quality”. Industry standard DAQ definitions are shown in Table 1.
- e) DAQ level of three (3) is the minimum performance level which shall be attainable by public safety radio systems in 95% of the area of each floor of a building, via portable radio with public safety microphone

**Table 1 - Delivered Audio Quality Definitions**

DAQ Delivered Audio Quality	Subjective Performance Description
1	Unusable, speech present but unreadable.
2	Understandable with considerable effort. Frequent repetition due to noise / distortion.
3	Speech understandable with slight effort. Occasional repetition required due to noise / distortion.
3.5	Speech understandable with repetition only rarely required. Some noise / distortion.
4	Speech easily understood. Occasional noise / distortion.
4.5	Speech easily understood. Infrequent noise / distortion.
5	Speech easily understood.

**Testing Procedures:**

- a. Initial Tests. Public safety employees or their designees will perform initial tests. A certificate of occupancy shall not be issued to any new structure if the building fails to comply with this section.
- b. Annual Tests. Fire Department personnel in conjunction with inspection procedures will conduct annual tests.

**Amplification Systems Allowed**

Buildings and structures which cannot independently support the required level of radio coverage shall be equipped with any of the following in order to achieve the required adequate radio coverage; a radiating cable system or an internal multiple antenna system with or without FCC typed-accepted signal booster amplifiers as needed. If any part of the installed system or systems contains electrically powered components, the system shall be capable of operating on an independent battery and/or generator system for a period of at least twelve (12) hours without external power input. Any battery system employed shall automatically recharge in the presence of an external power input.

The installation of equipment as indicated above cannot be detrimental to the operation of the Public Safety Radio system. In the event that a signal booster is employed, it shall be fully encased within a dust and water resistant case.

**Field Testing**

Fire Department personnel, after providing reasonable notice to the owner or their representative, shall have the right to enter onto the property to conduct field-testing to be certain the required level of radio coverage is present.

32. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
- a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is “100% operational and built according to the design”, Village Ordinance, 180-16 N.
  - b. The fire alarm contractor shall provide the owner with a letter (upon completion of the fire alarm work) stating the fire alarm system, or portion thereof, is “100% operational and built according to the design”
  - c. Copy of contract with fire alarm central monitoring station.
  - d. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
  - e. Copies of the fire protection underground flushing documents.
  - f. Copies of the underground and fire sprinkler hydrostatic test certificates.
  - g. Copies of the fire sprinkler operational test certificates.
  - h. Copies of the fire alarm test documents.
  - i. Copies of other test documents such as, hood/duct, smoke, etc...
  - j. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
  - k. Provide two- (2) CD’s, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
  - l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
  - m. AED is in place at such time a tenant takes occupancy.
  - n. A copy of the tenants Emergency Plan must be submitted to the Fire & Rescue Department before occupancy.

## Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director  
From: Sandro Perez, Building Inspection Superintendent  
Subject: Fountain Ridge  
Date: May 24, 2016

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1. Building Inspection Department information:  
Hours: Mon-Fri, 8am-5pm.  
Phone# 262-694-9304  
Email: [buildinginspection@plprairiewi.com](mailto:buildinginspection@plprairiewi.com)
2. Provide required amount of accessible parking spaces.
3. Provide required amount of accessible units.
4. All exterior lighting recommended to be LED, 5000K color temperature and “Dark Sky” compliant.
5. Comply with all applicable energy codes per 2009 IECC.



Filed \_\_\_\_\_ 20 \_\_\_\_\_ Published \_\_\_\_\_ 20 \_\_\_\_\_  
 Public Hearing \_\_\_\_\_ 20 \_\_\_\_\_  
 Fee Paid \_\_\_\_\_ 20 \_\_\_\_\_ Approved \_\_\_\_\_ 20 \_\_\_\_\_  
 Notices Mailed \_\_\_\_\_ 20 \_\_\_\_\_ Denied \_\_\_\_\_ 20 \_\_\_\_\_

**VILLAGE OF PLEASANT PRAIRIE  
 CONCEPTUAL PLAN APPLICATION**

1. Development Name: Fountain Ridge
2. General Location of Development: NW CORNER OF BAN STATION RD & CTH H INTERSECTION
3. Tax Parcel Number(s): 91-4-122-084-0203 + 91-4-122-084-0342
4. Number of Lots: 24 (19 SINGLE-FAMILY 5-1/2 ACRE FARM) Number of Outlots: 1
5. Size of Development: 4-36.55 acres.
6. The Development is proposed to be constructed in Phases:  Yes  No
7. The Development abuts or adjoins a State Trunk Highway:  Yes  No
8. The Development abuts or adjoins a County Trunk Highway or a Kenosha County Park or the Kenosha County Bike Trail:  Yes  No
9. The following number and types of plans shall be submitted with this application:
  - 10 full size sets of Conceptual Plan
  - 1 copy of the Conceptual Plan reduced to 11" by 17"
  - Conceptual Plan application fee
  - 10 sets of Conceptual Engineering Plan
  - Phasing Plan, if applicable
  - Draft of Declarations, Covenant, Restrictions and any Easement Documents
  - Any other information as specified by the Village

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

**PROPERTY OWNER:**

Print Name: Steinbrink limited Partnership  
 Signature: [Signature] Member  
 Address: 8640 88th AVE  
Pleasant Prairie WI 53158  
 (City) (State) (Zip)  
 Phone: (262) 694-5863  
 Fax: \_\_\_\_\_  
 Date: 5-10-16

**OWNER'S AGENT:**

Print Name: JEFF MARLOW - LEXINGTON HOMES  
 Signature: [Signature]  
 Address: 1300 W KINGS CT  
GREEN BAY WI 54313  
 (City) (State) (Zip)  
 Phone: (920) 662-1630  
 Fax: \_\_\_\_\_  
 Date: 5/9/16



5/10/16

**Building Unit Mix:**

Fountain Ridge will consist of 3- 49 unit 2 story buildings, and 10 – 8 unit building along with 1 club house and 19 single family residential lots, all with architectural pleasing façade. Parking will be accommodated primarily follows, in the 49 units we will offer 60 underground parking spaces, some residence will have 2-stalls, with additional surface parking available. Additional storage lockers are available internally in the underground parking area as well as on each floor. In the 8 units each residence will have attached individual private garage stalls with remote, 6 units will have double stalls and 2 will be single stalls per building, along with surface parking for guests. All units will have individual high efficiency top load washers/front load dryers along with built in microwaves, smooth top ranges and fridges. The anticipated rents based on a through market study will range from the mid \$700 up to in excess of \$1,600. Our residents will be responsible for their heat and water. The billing of the water will be accomplished by the building having one main water meter which will be billed to the property owner and paid. This water bill will then be split up and billed to the individual units by owner. The club house will be used primarily to house our management staff and security monitoring center, there will be a gathering and patio area for residence to rent out for events.

The 49 unit buildings will offer an array of floor plans ranging from an efficiency style to a luxurious 1400+ sq ft. unit with 2bedrooms and 2.5 baths. The building will breakdown as follows:

**FIRST FLOOR**

- 5- 2 Bd 2.5 Ba 1200-1370 sq. ft.
- 5- 2 Bd 2 Ba 1132-1260 sq. ft.
- 1- Luxury 1 Bd 1.5 Ba 1173 sq. ft.
- 8- 1 Bd 1 Ba 820-980 sq. ft.
- 4- Efficiency 1 Ba 617 sq. ft.

**SECOND FLOOR**

- 6- 2 Bd loft 2.5 Ba 1370-1400 sq. ft.
- 4- 2 Bd 2.5 Ba 1200-1218 sq. ft.
- 2- 2 Bd 2 Ba 1132-1260 sq. ft.
- 6- 1 Bd Loft 2.5 Ba 1000 sq. ft.
- 1- Luxury 1 Bd loft 1.5 Ba 980 sq. ft.
- 5- Loft 1.5 Ba 1032 sq. ft.
- 2- Efficiency 617 sq. ft.

The 8 – unit building will breakdown as follows:



- 2- 2 story 2- bd 2.5 baths with private entrance
- 2- 1 bd 1.5 baths on first floor with private entrance
- 2- 2 bd 2 baths on second floor with private entrance
- 2- 2bd with den and 2.5 baths on second floor with private entrance

The 19 residential single family homes will be built in the last phase and offer over a dozen plans for home buyers to choose from.

#### **Site Amenities:**

Fountain Ridge will have an executive clubhouse which will be centrally located next to the middle 49 unit building. It will house the staff of the property management team from Lexington Management, which is the management arm of Lexington Homes, Inc. It is complete with security monitoring via cameras and access key system.

#### **Site Specifics:**

Site offers over 45% green space.

There are a total of 60 underground parking spaces in each of the 49 unit buildings with an additional 60 surface parking spaces for a total of 120 parking spaces per building. For the 8- unit building there will be 14 parking stalls in the garages (6-2 stalls and 2- single stalls) with an additional 16 surface spots per building. The lighting of the parking areas will be done by a pole system with shoebox LED fixtures. Additionally, the parking lots will be monitored via a camera monitoring system which will be a recorded DVR system.

#### **Construction Practices:**

Lexington Homes, Inc. prides itself on building communities in which are built of high quality and intricate conceptual design. Highlighted below you will find a list of some of our construction practices. Each building will have an internal sprinkling system for fire safety

- 2x6 construction on the external walls of the buildings
- High performance vinyl windows and patio doors with low E glass and argon gas
- Partial stone façade blended with maintenance free products
- Aluminum frame and full glass front entry doors for security and aesthetics
- Complete intercom system for entry
- Custom plastered interior walls (this is not a drywall board system)



- Individual sound walls divide each unit
- Sound insulation between the floors and RC-1 channel is added to the underside of the floor truss for additional reduction of sound transfer
- ¾ inch gypcrete poured on all floors for another sound barrier and it also acts as another fire preventative
- Individual unit entry doors have a deadbolt and peephole
- Postal service is accommodated inside the building for convenience and also as another security measure
- 30 yr dimensional shingle roofs

#### **Property Management/Maintenance:**

Lexington Management knows that the real success to any community lies within the long term management and maintenance of the site. We operate under a very structured process. We have included a copy of our management forms pertaining to these areas.

**Leasing:** Every potential resident that tours our site is required to fill out a "Welcome to the Community" form. This ensures the safety of our staff before each tour occurs. This form requires that we see a valid ID and gives us current living information. When the tour results in someone wanting to reside with us they are given our "Rental Process" form along with a "Standard Application for Occupancy". The rental process form clearly highlights what the qualifications are to reside at the property. The application is a more detailed document that allows us to further qualify every potential resident.

With the receipt of the application, security deposit and signed rental process form we start our detailed approval process. This includes a credit check which requires a score of 600 or higher, their gross monthly income shall be 2.5 times the amount of the monthly rent and a criminal background check is run. Lexington Management as a standard allows only 2 people per bedroom and 2 vehicles per unit. There are variables to this approval process which are also outlined on the rental process form.

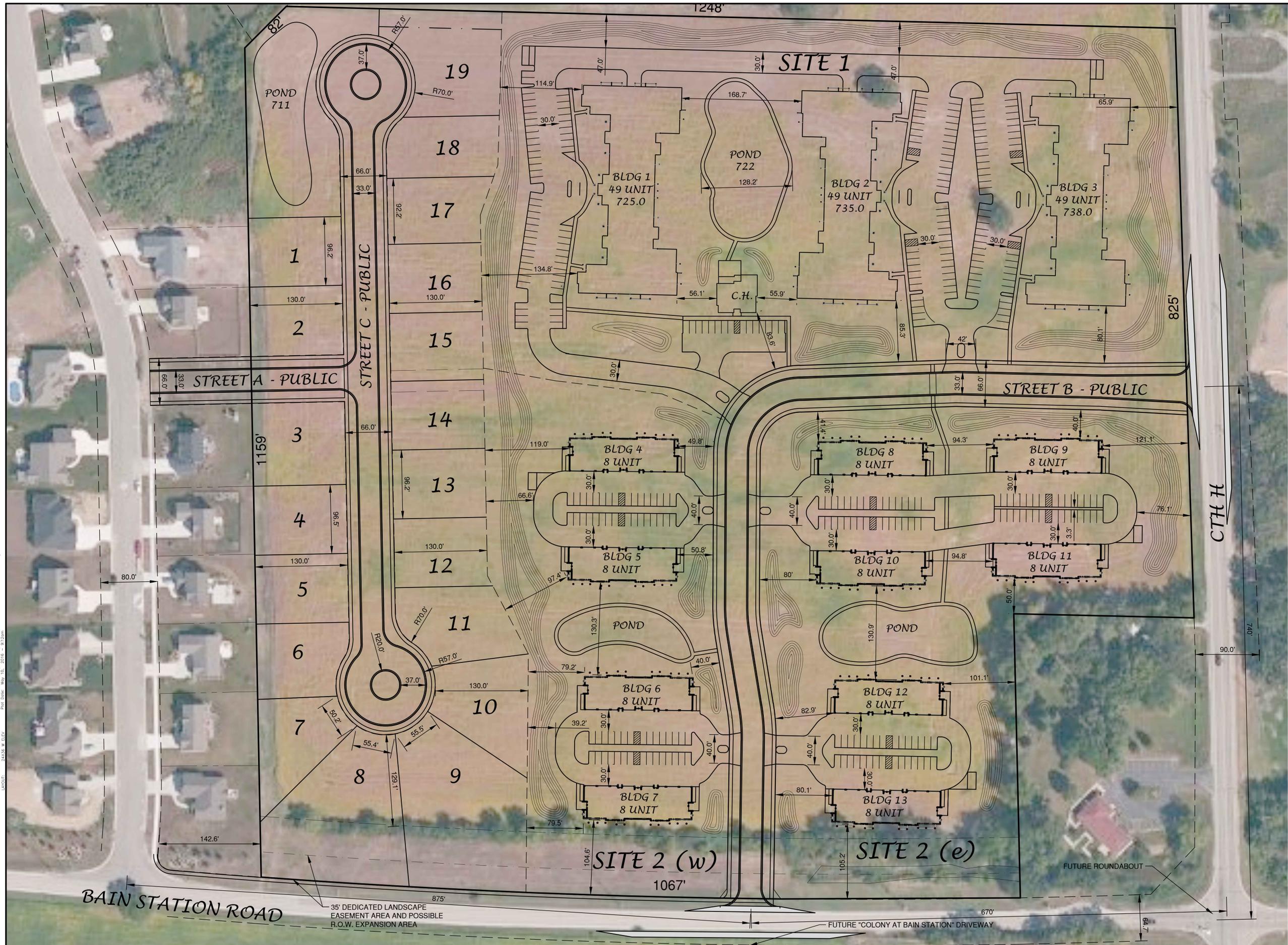
Residents are required to sign a one year lease with variable terms after that one year period depending on the individual situation. It is management's goal to always try to secure one year leases continually with a built in parameter that does not allow anyone to move out October-April. We do not allow dogs.



**Management Structure:** As one of the principal owners of Lexington Homes, Michelle Stimpson has a genuine focus on the day to day operations of the entire management division. Overseeing just under 1,700 units she believes in treating every resident as she would like to be treated. She physically reviews every resident file and signs every single lease that occurs within the entire company. With 20 years of experience in this industry and having both a real estate and broker's license, she knows that on the management side of things the difference is always the details. Weekly she meets with her district staff to review every property that they oversee. In these meetings site suggestions along with marketing and maintenance are discussed in great detail with implementation plans to be carried out and reported each week. Our district staff is required to be at each property working with the site management. Monthly reports are clearly documented (provided) to ensure the continued success of each site. Our management operates on the principal that this is "someone's home". We focus on the presentation not only to our prospective and current residents but to their guests as well. Additionally, we will have property staff which will include a Property Manager, Assistant Manager, Cleaning staff and Maintenance. Our goal is always to have as many of our staff physically living at the property so that someone is always available.

We are very centered on routine inspections. Monthly we do property inspection reports along with exterior and interior building inspection reports. Yearly we inspect the interior of every single apartment and complete a full report as to the interior condition of that unit. At that time an annual property review is also completed to help plan for upcoming projects.

**Site Construction Schedule:** Anticipated start date to be August of 2016 with site and excavation work. Anticipated completion date to be fall of 2018.



**SITE 1 - LEASE RESIDENCE**

1 ~ CLUBHOUSE  
 3 ~ 49 UNIT BUILDINGS  
 147 TOTAL LEASED UNITS  
 11.01 ACRES  
 13.35 UNITS/ACRE

**SITE 2 - TOWNHOMES**

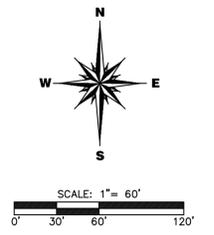
(w) SITE  
 4 - 8 UNIT BUILDINGS  
 32 TOTAL UNITS  
 4.83 ACRES  
 6.6 UNITS/ACRE  
 (e) SITE  
 6 - 8 UNIT BUILDINGS  
 48 TOTAL UNITS  
 7.06 ACRES  
 6.8 UNITS/ACRE  
**Total**  
 11.89 ACRES  
 80 UNITS  
 6.7 UNITS/ACRE

**SITE 3 - SINGLE FAMILY HOMES ~ 19 LOTS**

8.919 ACRES  
 2.13 UNITS/ACRE

**TOTAL DEVELOPMENT**

1 - CLUBHOUSE  
 227 - UNITS  
 19 - SINGLE FAMILY CONDO LOTS  
 246 - TOTAL UNITS  
 32.65 ACRES  
 7.53 UNITS/ACRE  
**STREET A - PUBLIC**  
 300 LF CL  
 970 SY PAVEMENT  
**STREET B - PUBLIC**  
 1,350 LF CL  
 4,800 SY PAVEMENT  
**STREET C - PUBLIC**  
 955 LF CL  
 4,225 SY PAVEMENT



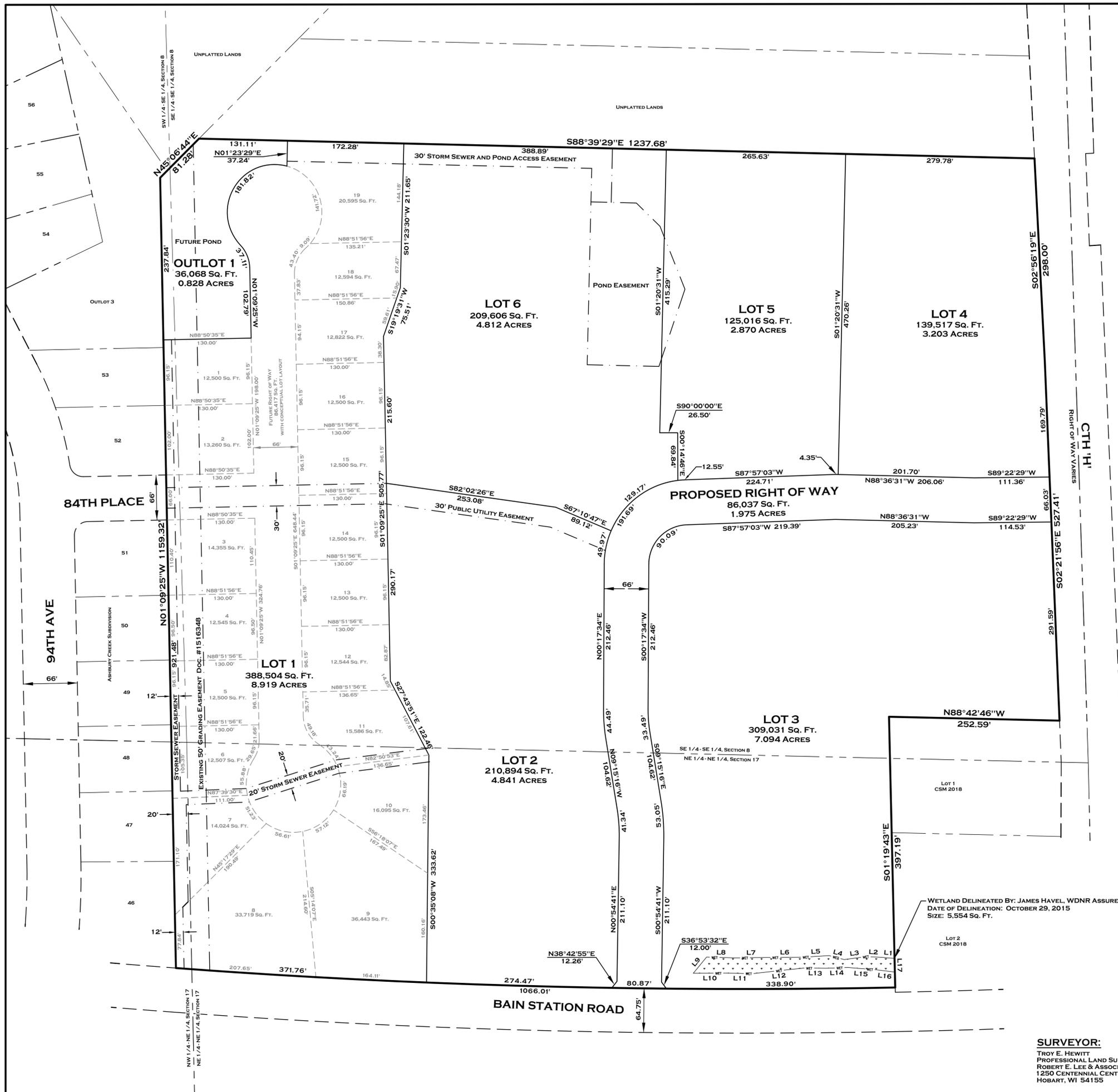
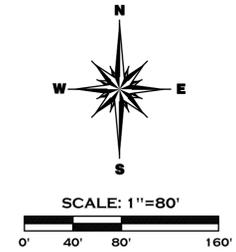
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 Plot Date: May 10, 2016 9:12:20am  
 24x36, W. REV.  
 LAYOUT

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	DATE	FILE	LAYOUT	JOB NO.	DATE	PROJECT	SHEET NO.
								AJB	4-2016	1250 CENTENNIAL CENTRE BOULEVARD		4229-077	4-2016	LEXINGTON HOMES PLEASANT PRAIRIE, WI	-
								JGS						FOUNTAIN RIDGE	
								AJB							

**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTENNIAL CENTRE BOULEVARD  
 HOBART, WI 54155  
 PHONE: (920) 662-9641  
 INTERNET: www.releeinc.com FAX: (920) 662-9141

# FOUNTAIN RIDGE

## CONCEPTUAL PLAT



### WETLAND LEGAL DESCRIPTION AND NOTE

PART OF OUTLOT 2, ASHBURY CREEK SUBDIVISION, BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T1N, R22E, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID OUTLOT 2; THENCE N01°19'43"W, 22.67 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N01°19'43"W, 20.00 FEET; THENCE N85°25'31"W, 20.95 FEET; THENCE N87°34'26"W, 21.35 FEET; THENCE S82°32'43"W, 32.61 FEET; THENCE N75°30'32"W, 23.06 FEET; THENCE S86°34'46"W, 39.01 FEET; THENCE S89°30'13"W, 53.57 FEET; THENCE S89°24'00"W, 46.15 FEET; THENCE N88°32'59"W, 42.86 FEET; THENCE S39°46'08"W, 30.81 FEET; THENCE N89°42'19"E, 49.09 FEET; THENCE S88°49'57"E, 39.07 FEET; THENCE N63°52'11"E, 76.65 FEET; THENCE S89°24'35"E, 32.62 FEET; THENCE N87°40'56"E, 30.66 FEET; THENCE S85°28'51"E, 42.75 FEET; THENCE S83°08'18"E, 28.54 FEET TO THE POINT OF BEGINNING.

ONE ISOLATED WETLAND WAS IDENTIFIED ON THE PARCEL. REFERENCE THE WETLAND REPORT, PREPARED BY NES ECOLOGICAL SERVICES, DATED JANUARY 15, 2016. REMAINING 1,499,189 SQUARE FEET (34.417) OF THE PARCEL IS IDENTIFIED AS UPLAND.

### WETLAND LINE TABLE

LINE #	LENGTH	DIRECTION
L1	20.95'	N85°25'31"W
L2	21.35'	N87°34'26"W
L3	32.61'	S82°32'43"W
L4	23.06'	N75°30'32"W
L5	39.01'	S86°34'46"W
L6	53.57'	S89°30'13"W
L7	46.15'	S89°24'00"W
L8	42.86'	N88°32'59"W
L9	30.81'	S39°46'08"W
L10	49.09'	N89°42'19"E
L11	39.07'	S88°49'57"E
L12	76.65'	N63°52'11"E
L13	32.62'	S89°24'35"E
L14	30.66'	N87°40'56"E
L15	42.75'	S85°28'51"E
L16	28.54'	S83°08'18"E
L17	20.00'	N01°19'43"W

### SURVEYOR:

TROY E. HEWITT  
PROFESSIONAL LAND SURVEYOR #2831  
ROBERT E. LEE & ASSOCIATES, INC.  
1250 CENTENNIAL CENTRE BOULEVARD  
HOBART, WI 54155



**ROBERT E. LEE & ASSOCIATES, INC.**  
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
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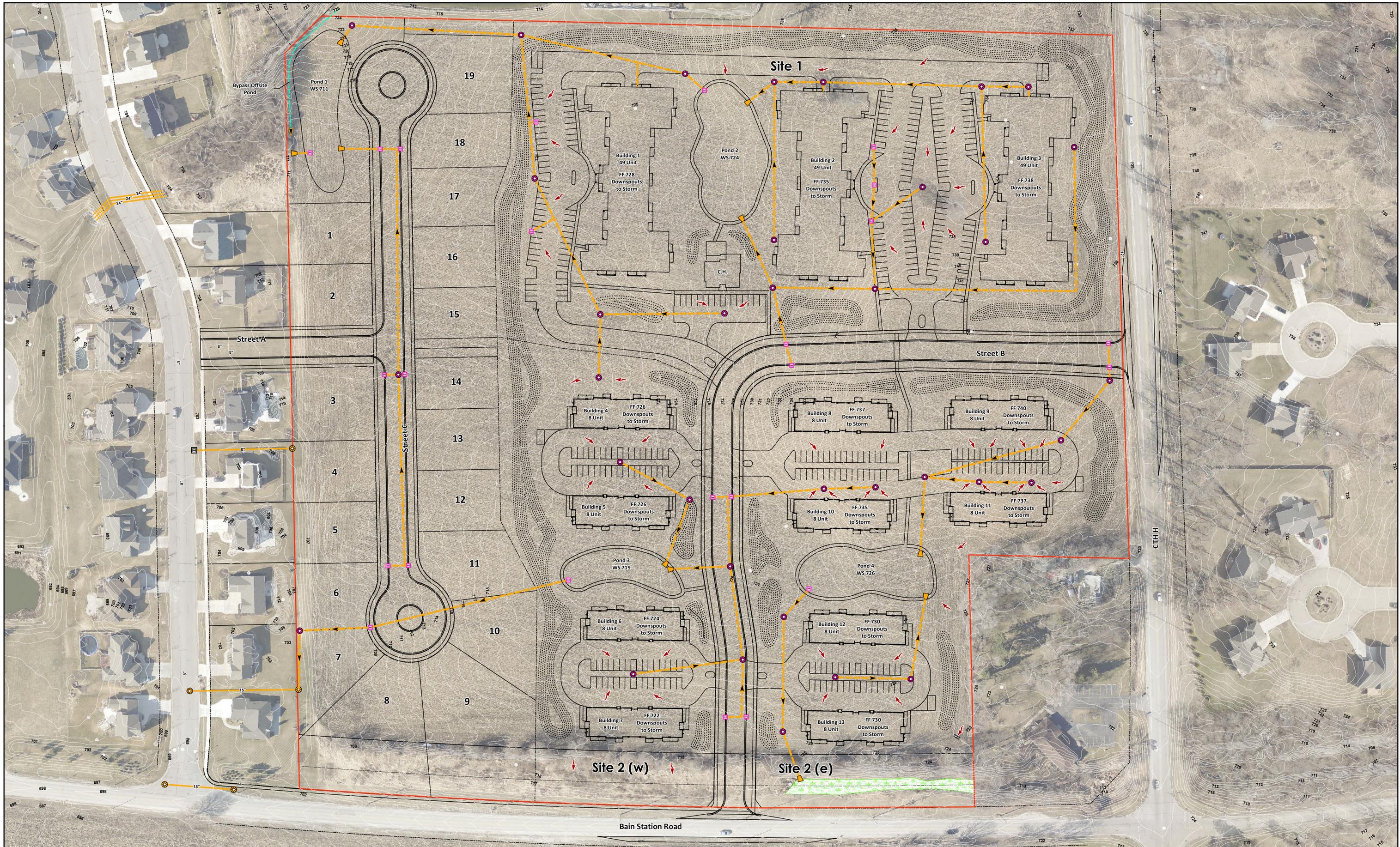
Legend	
	Existing Fire Hydrant
	Existing Sanitary Manhole
	Existing Storm Manhole
	Existing Storm Inlet
	Existing Water Line
	Existing Sanitary Line
	Existing Storm Line
	Parcel Boundary
	Existing Easement Line
	Parcel Lines
	Wetland



Source: Robert E. Lee & Associates, Inc.  
 ESRI, Kenosha County

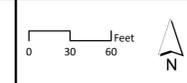
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**Robert E. Lee & Associates, Inc.**  
 Engineering, Surveying and Environmental Services  
 1250 Centennial Centre Boulevard, Hobart, WI 53155  
 Phone: (920) 662-9641 FAX: (920) 662-9141  
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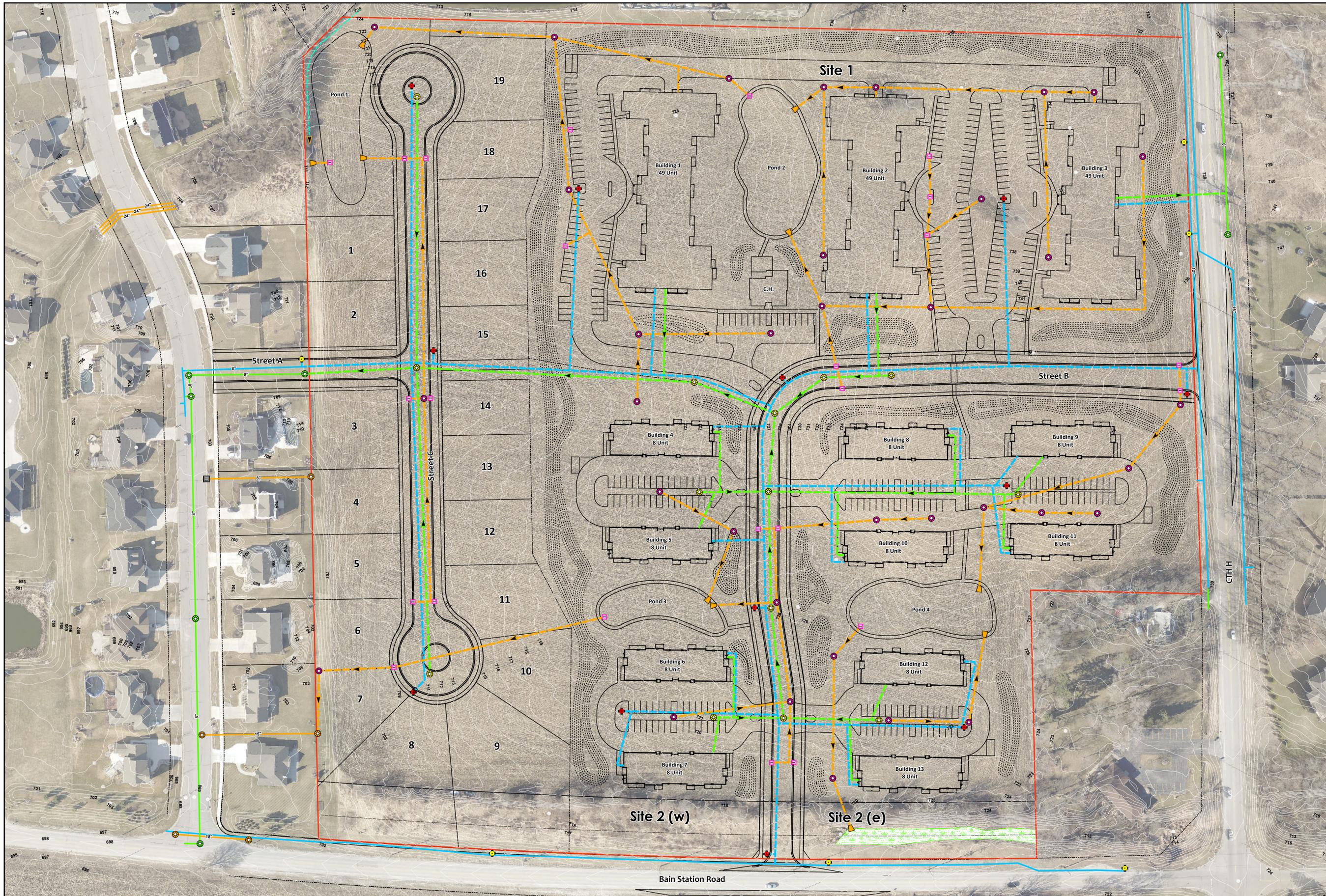
**Legend**

- Drainage Direction
- Proposed Storm Outfall
- Proposed Storm Line
- Existing Storm Manhole
- Existing Easement Line
- Wetland
- Bypass Offsite Pond
- Existing Storm Line
- Existing ROW
- Proposed Storm Manhole
- StormFlowArrow
- Existing Storm Inlet
- Parcel Boundary
- Berm



Source: Robert E. Lee & Associates, Inc.  
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<b>Site 1 - Lease Residence</b>
1 ~ Clubhouse
3 - 49 Unit Buildings
147 Total Leased Units
11.01 Acres
13.35 Units/Acre
<b>Site 2 - Townhomes</b>
(w) Site
4 - 8 Unit Buildings
32 Total Units
4.83 Acres
6.6 Units/Acre
(e) Site
6-8 Unit Buildings
48 Total Units
7.06 Acres
6.8 Units/Acre
<b>Total</b>
11.89 Acres
80 Units
6.7 Units/Acre
19 Single Family Lots
8.919 Acres
2.13 Units/Acre
<b>Total Development</b>
1 - Clubhouse
227 - Units
19 - Single Family Condo Lots
246 - Total Units
32.65 Acres
7.53 Units/Acre

Storm Flow Direction	Proposed Storm Manhole	Proposed Fire Hydrant	Existing Sanitary Manhole	Proposed Storm Line	Existing Sanitary Line	Parcel Boundary	Berm
Proposed Storm Outfall	Bypass Offsite Pond	Existing Fire Hydrant	Existing Storm Inlet	Proposed Water Line	Existing Storm Line	Existing Easement Line	Wetland
Proposed Storm Inlet	Sanitary Flow Direction	Proposed Sanitary Manhole	Existing Storm Manhole	Proposed Sanitary Line	Existing Water Line	Existing ROW	

**Proposed New 49 Unit Leased Residences  
with Underground Parking  
Presented by;**

***LEXINGTON HOMES***



FRONT ELEVATION  
SCALE: 3/32" = 1'-0"



EXTERIOR DOORS  
GLASS DOORS, ALUMINUM  
STOREFRONT FRAME, LOW PROFILE  
THRESHOLD, NO FIRE RATINGS, DOOR  
CLOSER  
CAN LIGHT IN SOFFIT

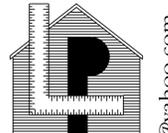
STONE BANDING  
EXTERIOR COLUMNS TREATED 6x6 WITH  
BRICK SURROUND

PATIO DOOR NOT SEEN AROUND CORNER  
(NO TRANSOM) (BOTH FLOORS)  
SURFACE MOUNTED LED LIGHT AT EVERY  
FIRST FLOOR PATIO MOUNTED TO CENTER OF  
DECK CEILING ABOVE

GENERAL NOTE:  
EXTERIOR MATERIAL ON FACE OF BUMP  
OUT BELONGS ON RETURN SURFACES NOT  
SEEN IN ELEVATION  
HORIZONTAL SIDING

EXTERIOR MATERIAL ON FACE OF BUMP  
OUT BELONGS ON RETURN SURFACES NOT  
SEEN IN ELEVATION  
HORIZONTAL SIDING

DETAIL OF  
FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



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Architecture, LLC

OFFICE: 926 WILLARD DRIVE  
GREEN BAY, WISCONSIN  
MAILING: 1592 RUSTIC WAY  
GREEN BAY, WISCONSIN 54313  
Telephone: (920) 737-9769  
EMAIL: [laplantarchitecture@yahoo.com](mailto:laplantarchitecture@yahoo.com)  
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DATE  
5/9/2016

PROJECT NO.  
461482

SHEET  
**A**  
**1.1**

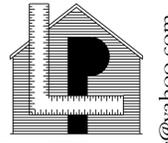




GARAGE ENTRANCE ELEVATION  
SCALE: 3/16" = 1'-0"



STREET ELEVATION  
SCALE: 3/16" = 1'-0"



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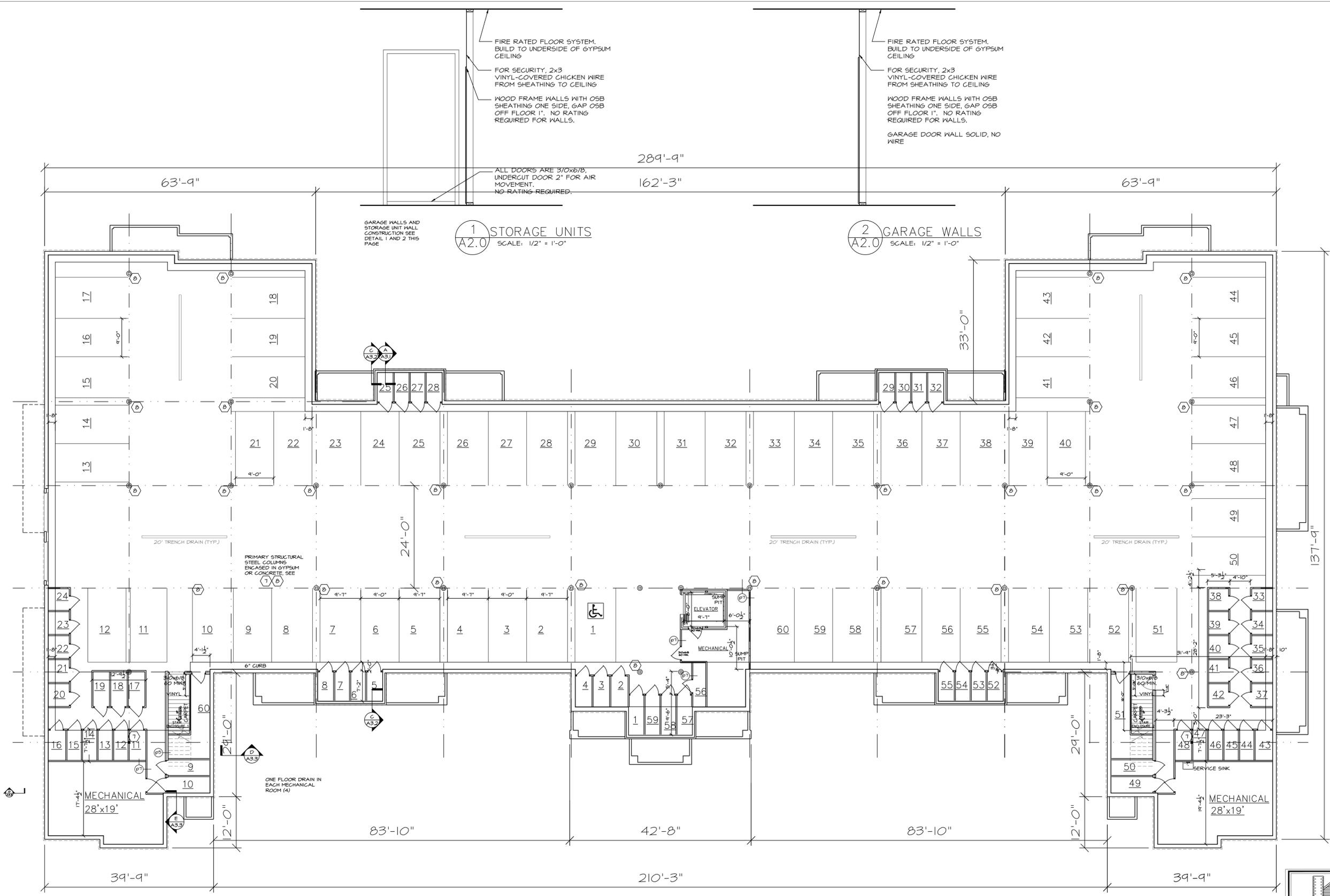
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SHEET **A**

**1.3**

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Telephone: (920) 737-9769

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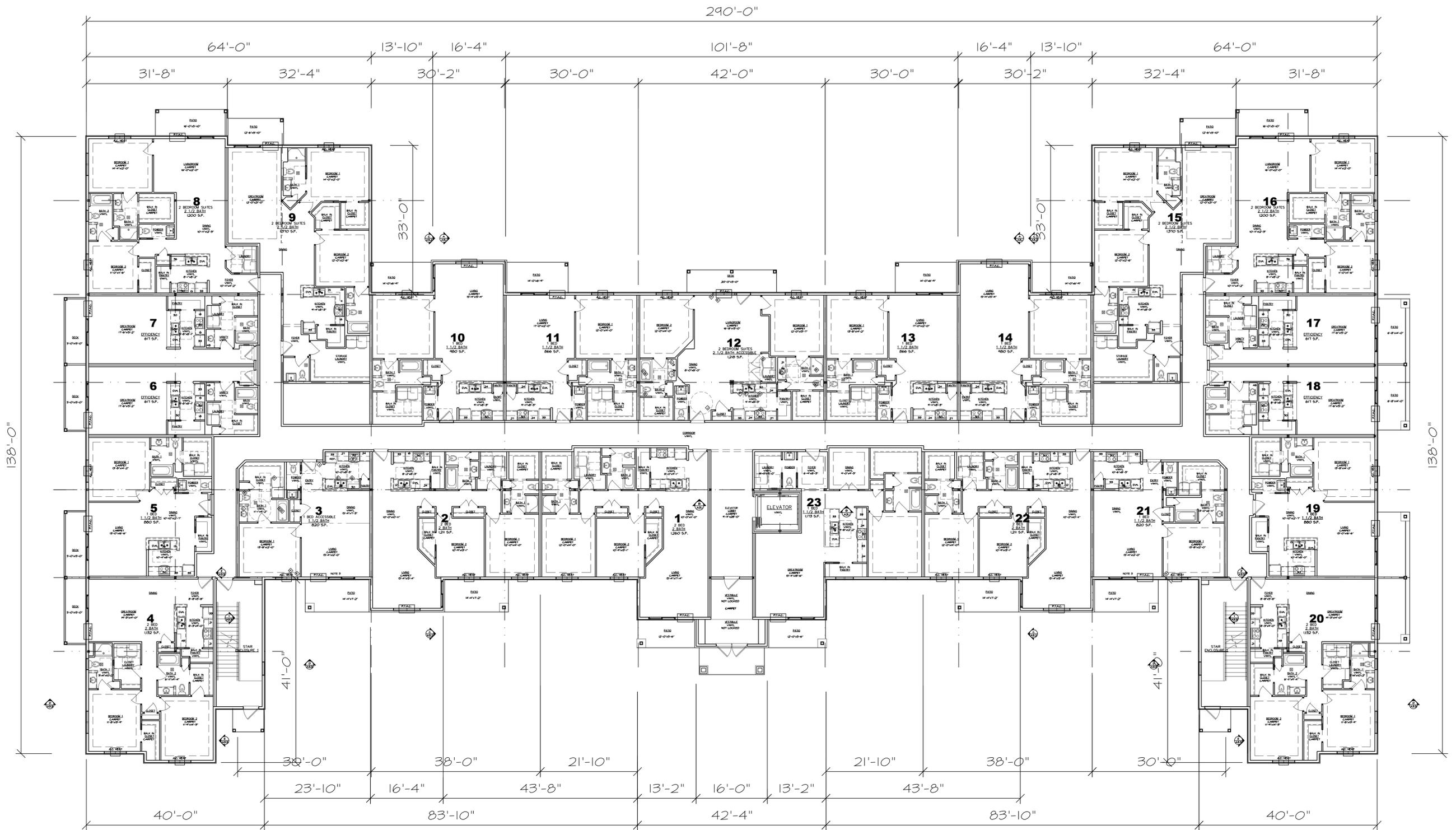
**PARKING LEVEL PLAN**  
 SCALE: 3/32" = 1'-0"

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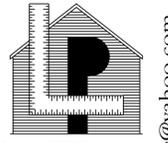
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 PROJECT NO.: 461462  
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 GREEN BAY, WISCONSIN  
 MAILING: 1592 RUSTIC WAY  
 GREEN BAY, WISCONSIN 54313  
 Telephone: (920) 737-9769  
 EMAIL: laplantarchitecture@yahoo.com  
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UNIT COUNT	
UNIT STYLE	NUMBER OF UNITS PER FLOOR
2 BEDROOM 2 1/2 BATH	5
2 BEDROOM 2 BATH	5
LUXURY 1 BEDROOM 1 1/2 BATH	1
1 BEDROOM 1 1/2 BATH	8
EFFICIENCY 1 BATH	4

FIRST FLOOR PLAN  
SCALE: 3/32" = 1'-0"



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Telephone: (920) 737-9769  
EMAIL: [laplantarchitecture@yahoo.com](mailto:laplantarchitecture@yahoo.com)

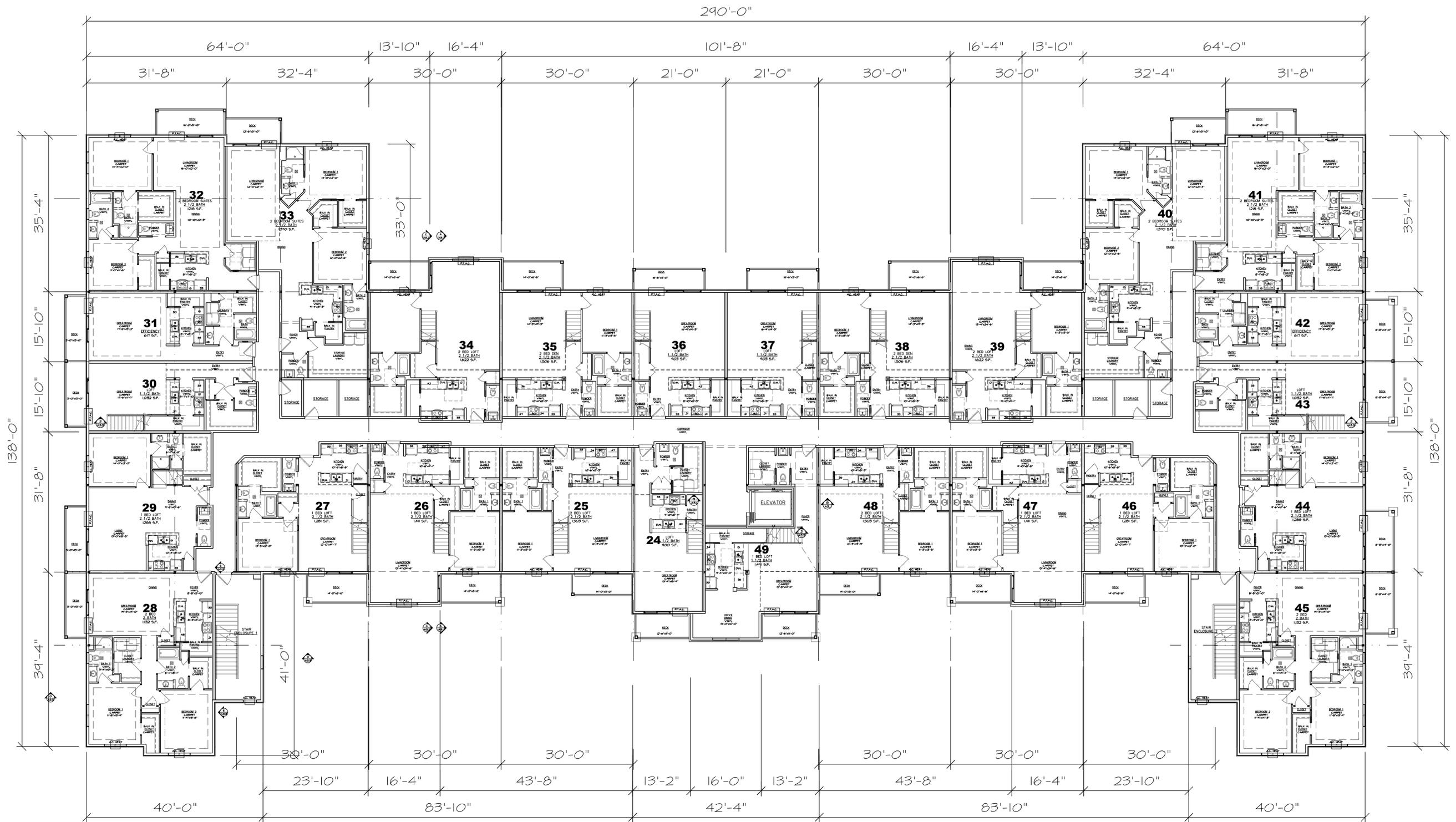
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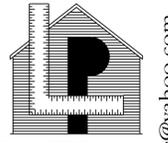
SHEET  
**A**  
**2.1.1**

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UNIT COUNT	
UNIT STYLE	NUMBER OF UNITS PER FLOOR
2 BEDROOM 2 1/2 BATH	4
2 BEDROOM, LOFT 2 1/2 BATH	6
1 BEDROOM, LOFT 2 1/2 BATH	6
2 BEDROOM 2 BATH	2
LUXURY 1 BEDROOM, LOFT 1 1/2 BATH	1
LOFT 1 1/2 BATH	5
EFFICIENCY 1 BATH	2

SECOND FLOOR PLAN  
SCALE: 3/32" = 1'-0"



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Telephone: (920) 737-9769  
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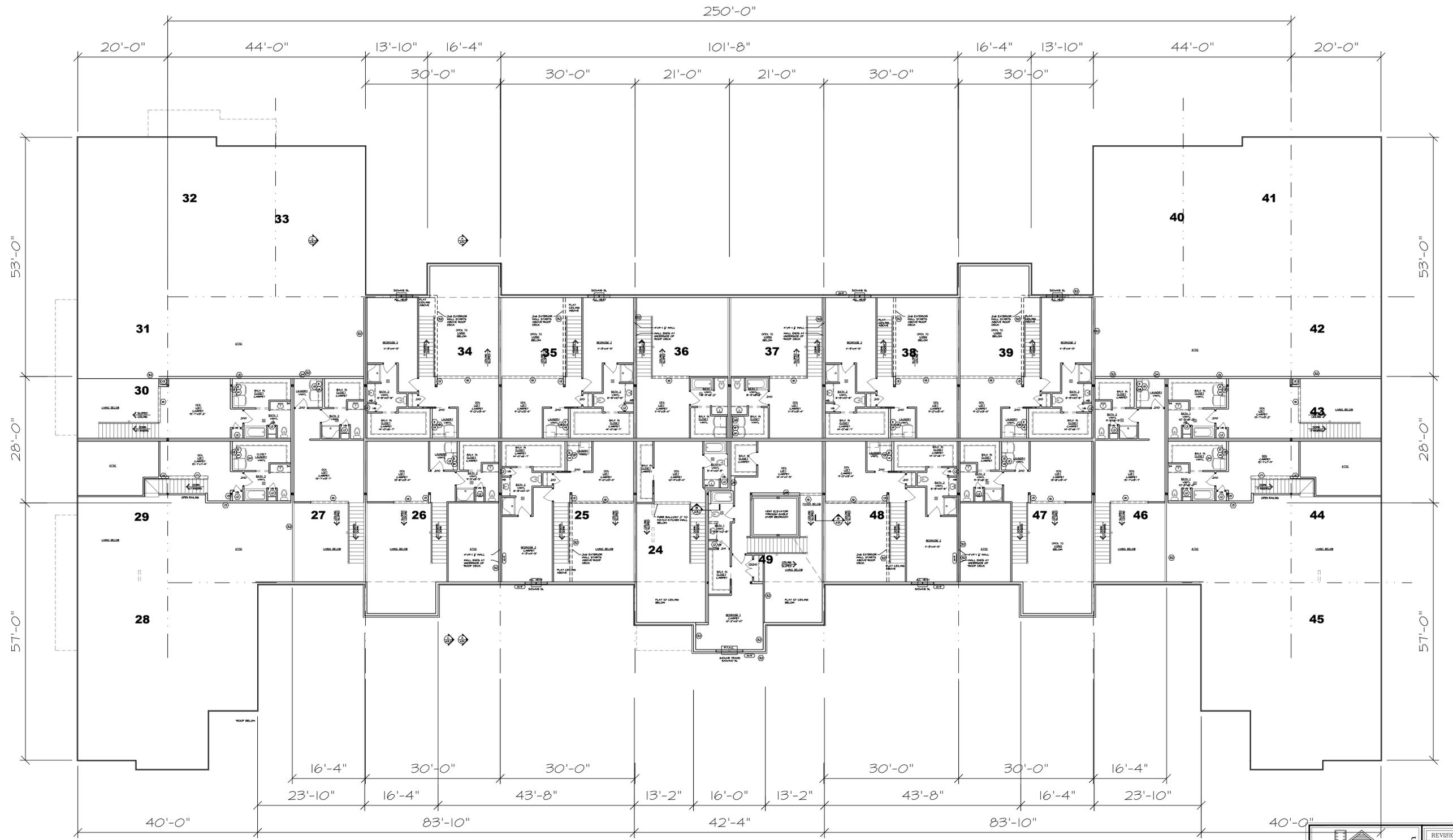
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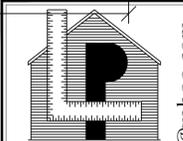
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LOFT FLOOR PLAN  
SCALE: 3/32" = 1'-0"



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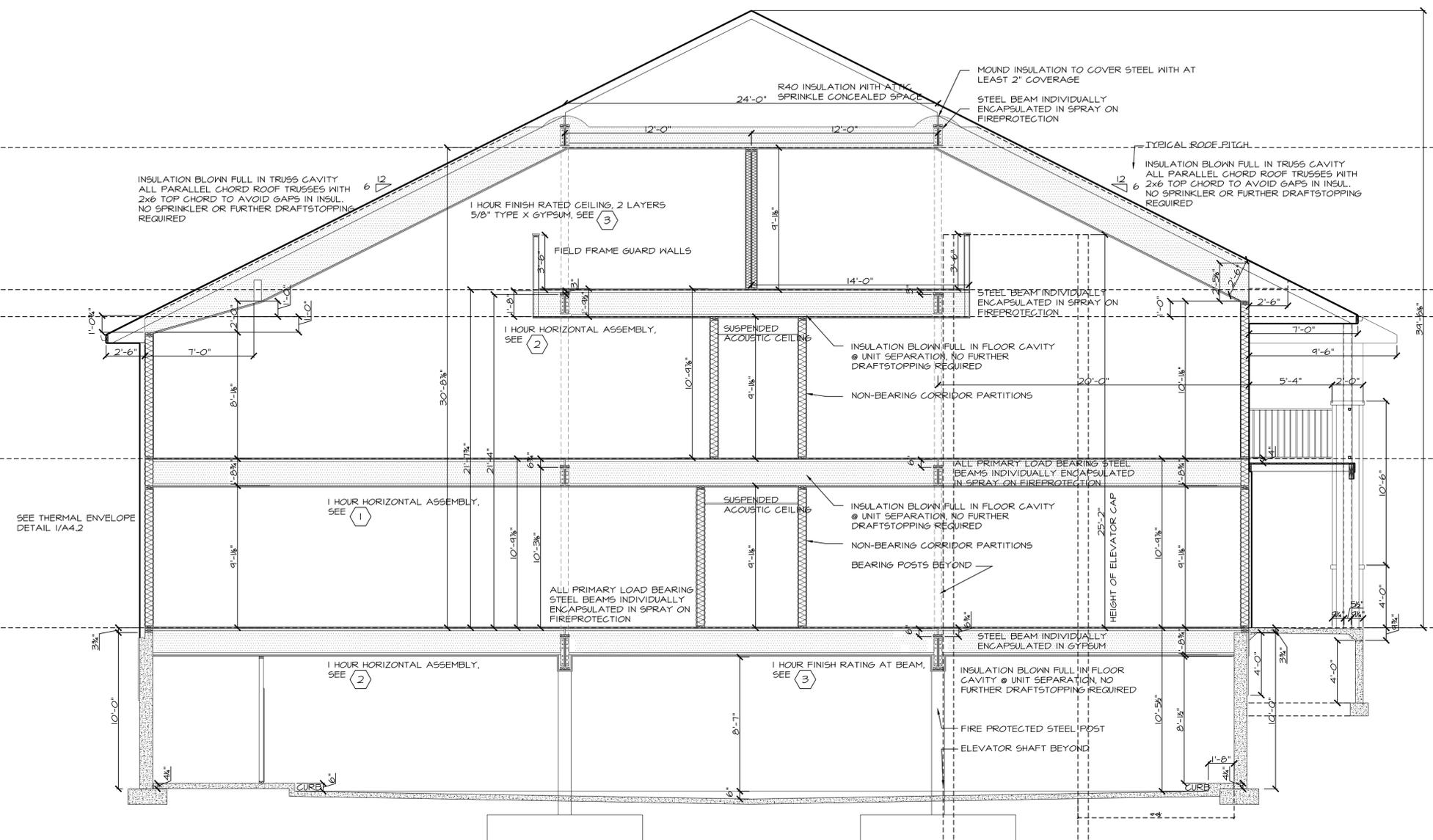
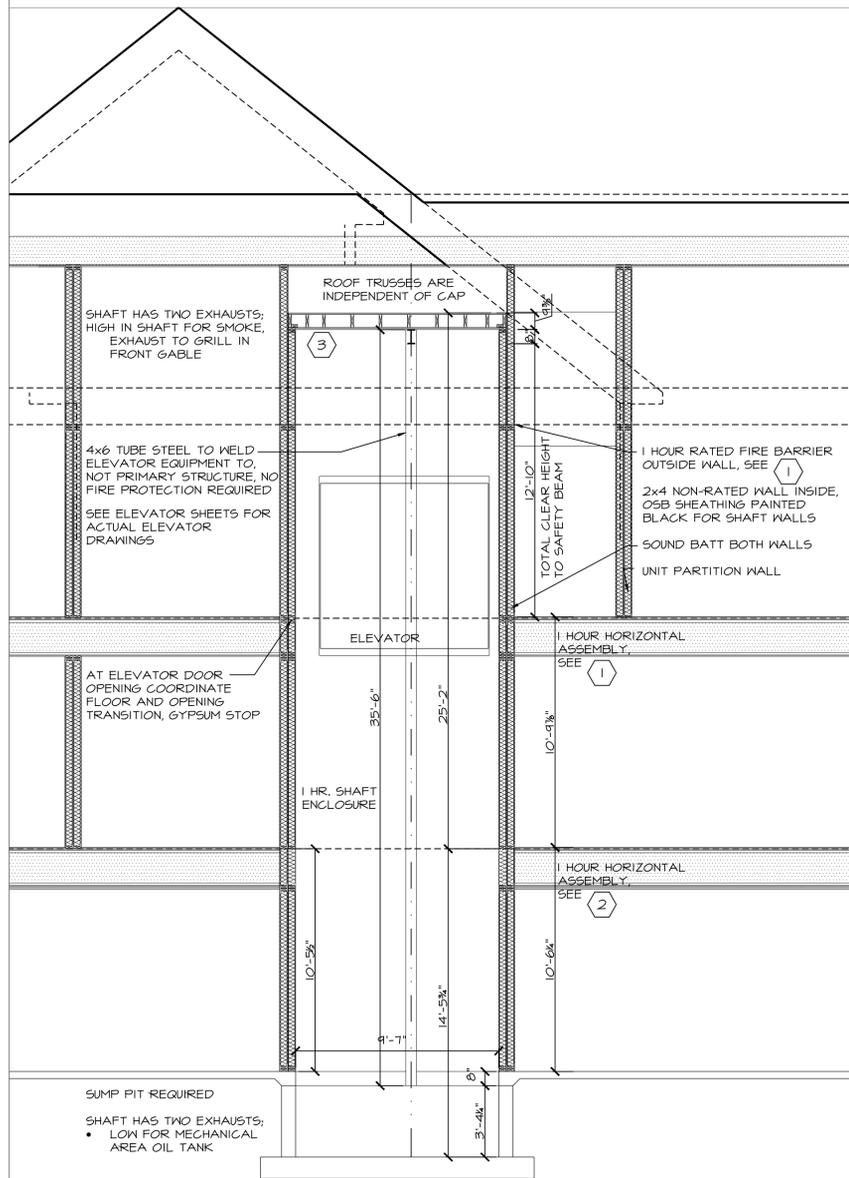
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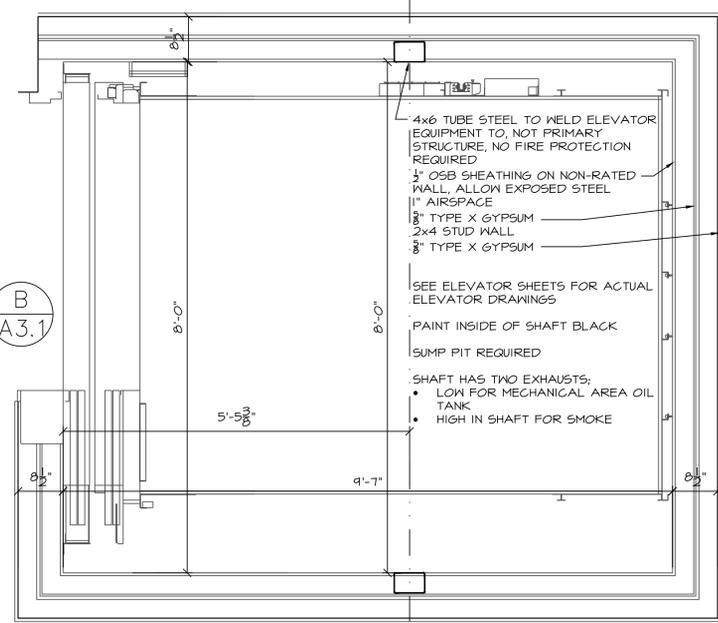
SHEET  
**A**  
**2.3.1**

BUILDING SECTION B  
SCALE: 1/4" = 1'-0" A3.1



BUILDING SECTION A  
SCALE: 1/4" = 1'-0" A3.1

ELEVATOR PLAN B  
SCALE: 3/4" = 1'-0" A3.1



- TYPICAL FIRE RATED STRUCTURES NOTES**
1. ALL EXTERIOR WALLS ARE FIRE RATED FROM THE INSIDE, STUDS 2x6x16" O.C. UNLESS OTHERWISE NOTED.
  2. ALL INTERIOR PARTITIONS ARE NON-BEARING AND STUDS ARE 2x 24" O.C. UNIT SEPARATIONS ARE 1 HOUR RATED AND CORRIDORS ARE 1/2 HOUR RATED, U.O.N.
  3. NO DRAFTSTOPPING REQUIRED IN FLOOR OR ATTIC SPACES.
  4. FIRST FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY ENCAPSULATED. RESILIENT CHANNEL FOR PARKING AREA CEILING U.O.N.
  5. SECOND FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY SPRAY FIRE PROTECTED. 1B-1 CHANNEL FOR FIRST FLOOR CEILING U.O.N.
  6. THIRD OR LOFT FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS SPRAY FIRE PROTECTED. RESILIENT CHANNEL FOR SECOND FLOOR CEILING U.O.N.
  - 7.

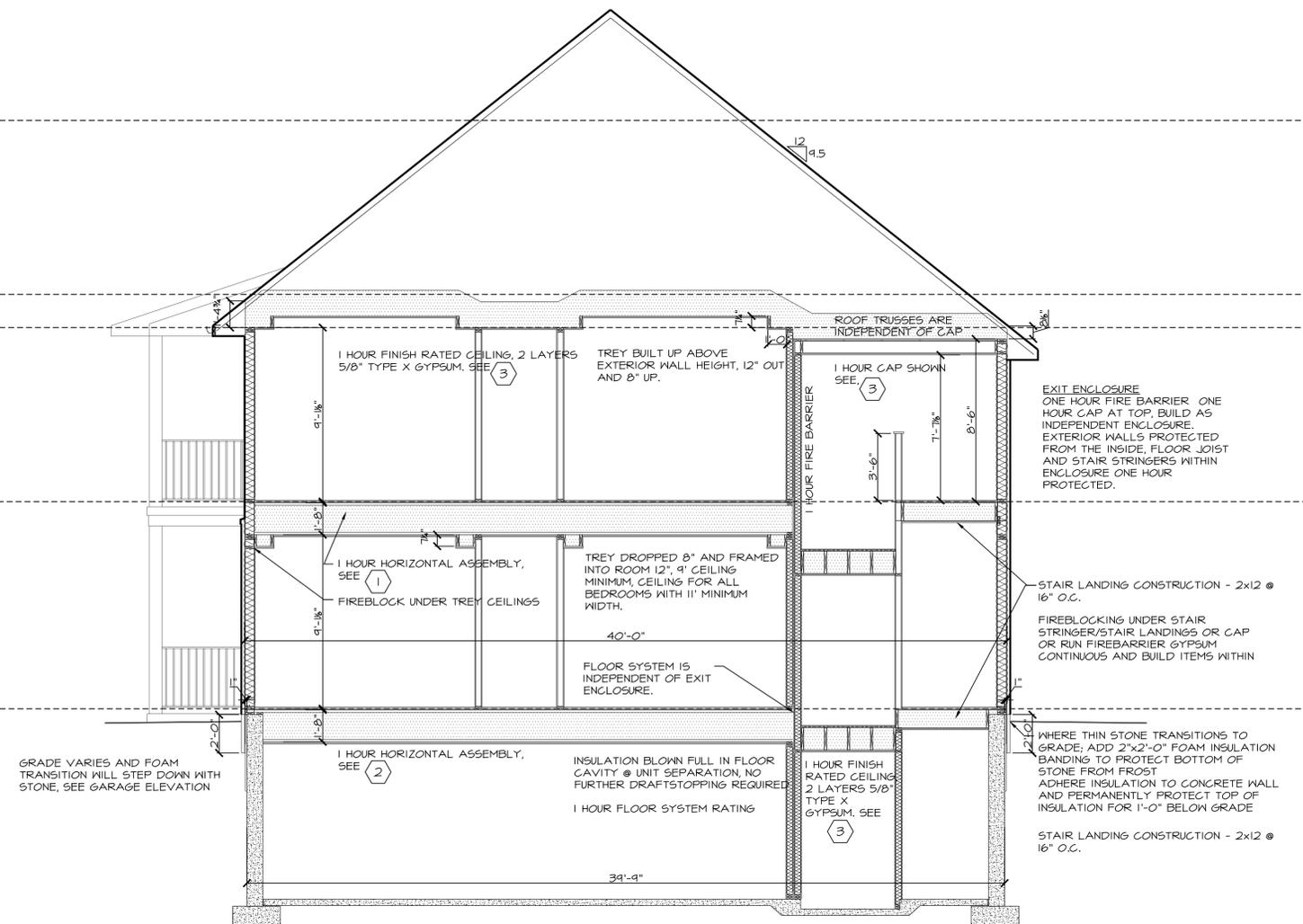
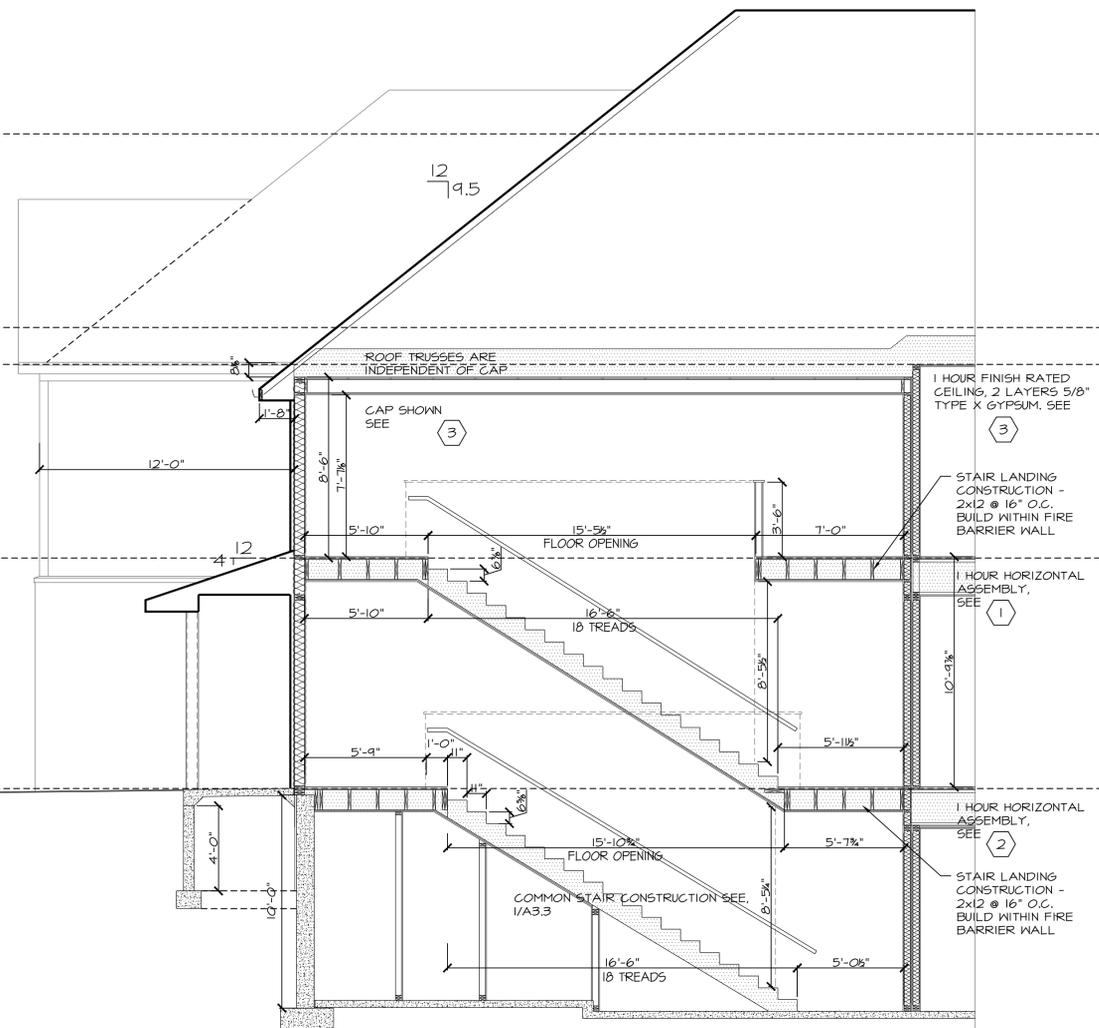
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Architecture, LLC

OFFICE: 926 WILLARD DRIVE  
GREEN BAY, WISCONSIN  
MAILING: 1592 RUSTIC WAY  
GREEN BAY, WISCONSIN 54313  
Telephone: (920) 737-9769  
EMAIL: [laplantarchitecture@yahoo.com](mailto:laplantarchitecture@yahoo.com)

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**A**  
**3.1**



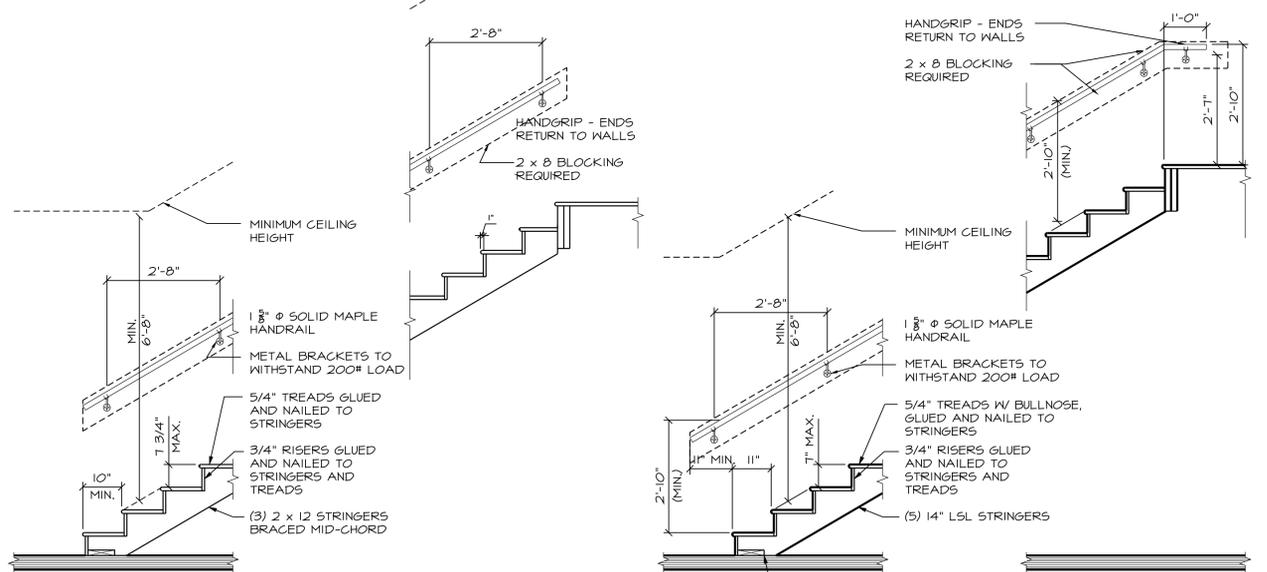


BUILDING SECTION **D**  
SCALE: 1/4" = 1'-0" **A3.3**

BUILDING SECTION **E**  
SCALE: 1/4" = 1'-0" **A3.3**

- GENERAL NOTES—STAIRS WITHIN DWELLING UNITS:**
- HEADROOM** - EVERY STAIR SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 6 FEET 8 INCHES. THE MINIMUM CLEARANCE SHALL BE MEASURED VERTICALLY FROM A LINE PARALLEL TO THE NOSING OF THE TREADS TO THE CEILING OR SOFFIT DIRECTLY ABOVE THAT LINE.
  - TREADS AND RISERS** - RISERS MAY NOT EXCEED 7.75" IN HEIGHT, TREADS SHALL BE AT LEAST 10" IN DEPTH. A NOSING OF 1" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11". THERE SHALL BE NO VARIATION IN UNIFORMITY EXCEEDING 3/8" IN THE DEPTH OF TREADS OR HEIGHT OF RISERS. DIMENSIONS SHOULD BE MEASURED PRIOR TO FINISH MATERIALS.
  - HANDRAILS AND HALF WALLS** - A HANDRAIL SHALL BE PLACED ON EITHER SIDE OF STAIR AT 34" TO 38" ABOVE THE NOSING OF THE TREAD. HALF WALLS OR GUARD WALLS TO BE MINIMUM 42" ABOVE TREAD AND SAME LOADING REQUIREMENTS.
  - HAND GRIP DIMENSIONS** - THE HAND GRIP PORTION OF A HANDRAIL MAY NOT BE LESS THAN 1 1/4" INCHES NOR MORE THAN 2 INCHES IN ANY HORIZONTAL CROSS-SECTIONAL DIMENSION. IF HAND RAIL IS NOT CIRCULAR, THE PERIMETER SHALL BE AT LEAST 4" AND NOT GREATER THAN 6 1/4" WITH A MAX. CROSS-SECTIONAL DIMENSION OF 2 1/4". ALL EDGES TO HAVE A 1/8" RADIUS.
  - WALL CLEARANCE** - THE CLEARANCE BETWEEN A HANDRAIL AND A WALL SURFACE SHALL BE AT LEAST 1 1/2 INCHES.
  - LOADING** - HANDRAILS SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND A 200-POUND LOAD APPLIED IN ANY DIRECTION, AT ANY POINT OR 50 POUNDS PER LINEAL FOOT.
  - TYPICAL STAIR CONSTRUCTION** - (3) 2 x 12 #2 D.F. STRINGERS BRACED MID-SPAN, 1 x 8 RISERS, AND 5/4 (NOMINAL) BULL NOSE TREADS.

- GENERAL NOTES – COMMON STAIRS:**
- HEADROOM** - EVERY STAIR SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 6 FEET 8 INCHES. THE MINIMUM CLEARANCE SHALL BE MEASURED VERTICALLY FROM A LINE PARALLEL TO THE NOSING OF THE TREADS TO THE CEILING OR SOFFIT DIRECTLY ABOVE THAT LINE.
  - TREADS AND RISERS** - THERE SHALL BE NO VARIATION IN UNIFORMITY EXCEEDING 3/8" DIFFERENCE BETWEEN THE SMALLEST AND LARGEST RISE OR BETWEEN THE SMALLEST AND LARGEST TREAD. STEPS SHALL HAVE A RISE OF NOT MORE THAN 7 INCHES. STEPS SHALL NOT HAVE A TREAD LESS THAN 11 INCHES.
  - HANDRAIL DETAILS** - THE TOP OF A HANDRAIL GRIPPING SURFACE SHALL BE MOUNTED BETWEEN 34 AND 38 INCHES ABOVE THE NOSING OF THE TREADS ON STAIRWAYS. HALF-WALLS IN NONDWELLING UNIT PORTIONS OF BUILDING SHALL EXTEND AT LEAST 42 INCHES ABOVE THE FINISHED FLOOR.
  - HAND GRIP DIMENSIONS** - HANDRAILS ARE TO HAVE AN OUTSIDE DIAMETER OF 1 1/4 INCHES MINIMUM TO 2 INCHES. IF HAND RAIL IS NOT CIRCULAR, THE PERIMETER SHALL BE AT LEAST 4" AND NOT GREATER THAN 6 1/4" WITH A MAX. CROSS-SECTIONAL DIMENSION OF 2 1/4". ALL EDGES TO HAVE A 1/8" RADIUS.
  - WALL CLEARANCE** - THE CLEARANCE BETWEEN A HANDRAIL AND A WALL SURFACE SHALL BE AT LEAST 1 1/2 INCHES.
  - LOADING** - HANDRAILS SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND A 200-POUND LOAD APPLIED IN ANY DIRECTION, AT ANY POINT OR TO RESIST 50 POUNDS PER LINEAL FOOT APPLIED TO THE TOP.
  - TYPICAL STAIR CONSTRUCTION** - (4) 14" LSL STRINGERS, 1 x 8 RISERS, AND 5/4 BULL NOSE TREADS.
  - EXTENSIONS** - HANDRAILS SHALL RETURN BACK TO THE WALL. RAILS ARE TO EXTEND HORIZONTALLY AT LEAST 12 INCHES BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.



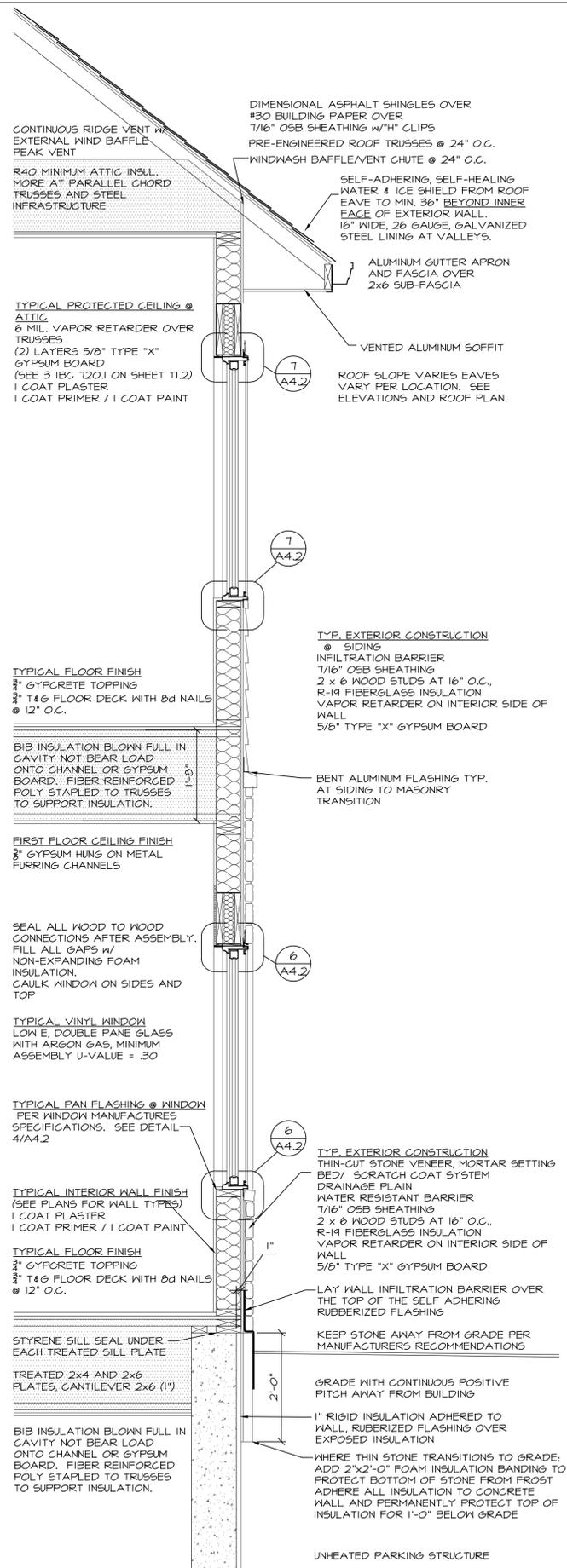
DWELLING UNIT STAIR  
TYPICAL DETAIL **2**  
SCALE: 1/2" = 1'-0" **A3.3**

COMMON STAIR  
TYPICAL DETAIL **1**  
SCALE: 1/2" = 1'-0" **A3.3**

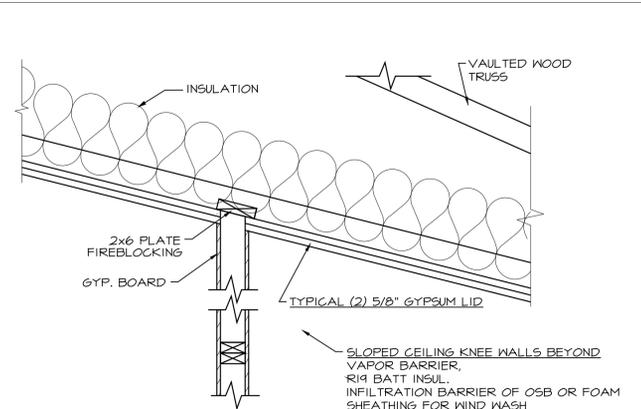
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OFFICE: 926 WILLARD DRIVE  
GREEN BAY, WISCONSIN  
MAILING: 1592 RUSTIC WAY  
GREEN BAY, WISCONSIN 54313  
Telephone: (920) 737-9769  
EMAIL: [laplantarchitecture@yahoo.com](mailto:laplantarchitecture@yahoo.com)  
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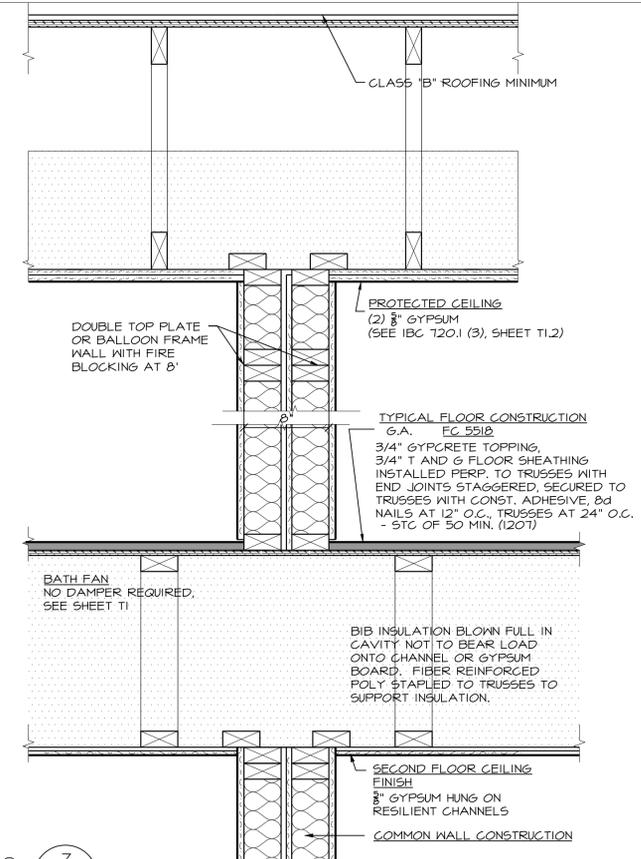
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PROJECT NO. 461482  
SHEET **A3.3**



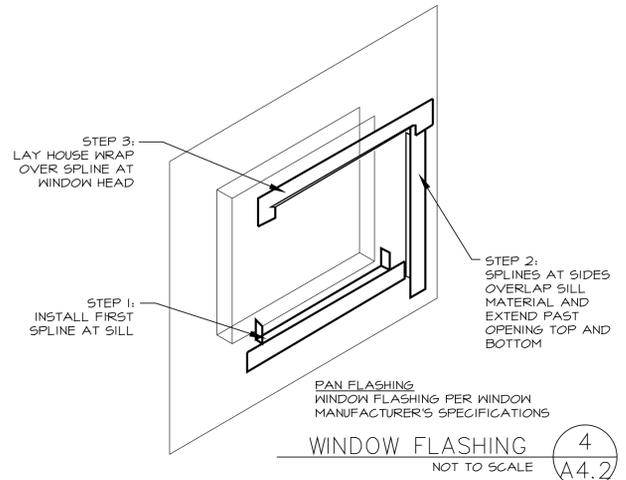
**THERMAL ENVELOPE**  
SCALE: 3/4" = 1'-0"  
1 A4.2



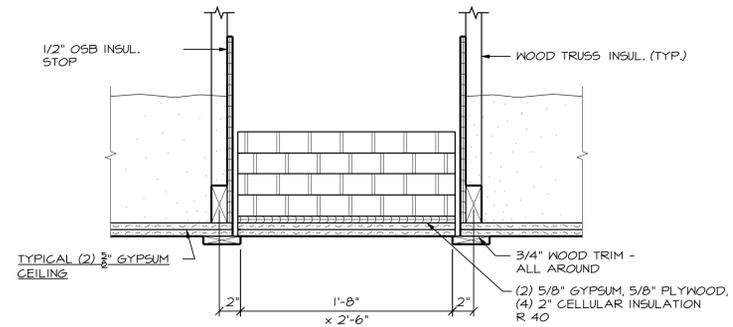
**TYPICAL BLOCKING AT SLOPED CEILING**  
TYPICAL DETAIL AT WALLS INTERSECTING SLOPED CEILING  
SCALE: 1 1/2" = 1'-0"  
2 A4.2



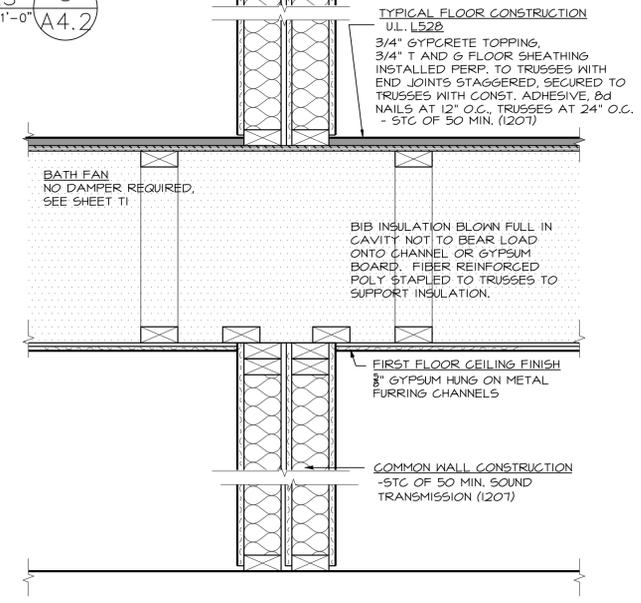
**DWELLING PARTY WALLS**  
1 HOUR FIRE PARTITION  
SCALE: 1 1/2" = 1'-0"  
3 A4.2



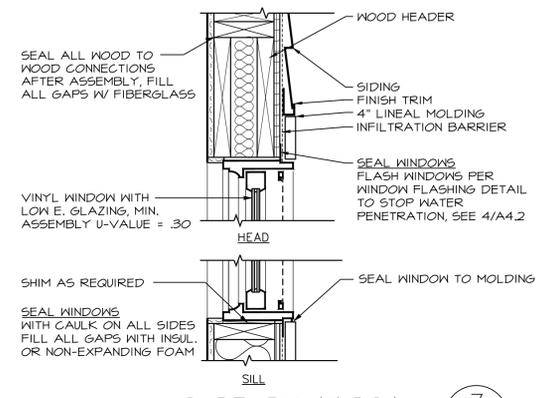
**WINDOW FLASHING**  
NOT TO SCALE  
4 A4.2



**ATTIC SCUTTLE PANEL**  
SCALE: 1 1/2" = 1'-0"  
5 A4.2



**SLIDE-BY WINDOW**  
SCALE: 1 1/2" = 1'-0"  
6 A4.2



**SLIDE-BY WINDOW**  
SCALE: 1 1/2" = 1'-0"  
7 A4.2

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Architecture, LLC

OFFICE: 926 WILLARD DRIVE  
GREEN BAY, WISCONSIN  
MAILING: 1592 RUSTIC WAY  
GREEN BAY, WISCONSIN 54313  
Telephone: (920) 737-9769

EMAIL:  
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# Proposed New 8 Unit Town & Coachomes with Attached Garages;

# Lexington Homes

## xxx

## xx, WI

BUILDING CODE INFORMATION 2009 IBC (WISCONSIN)			
CODE CHAPTER	CODE TITLE	CODE CHAPTER	CODE INFORMATION
3	USE AND OCCUPANCY	310.1	R-2 RESIDENTIAL
4	USE AND OCCUPANCY SPECIAL PROVISIONS	406.1.1	NO MORE THAN 3,000 S.F. OF GARAGE PERMITTED WITHOUT 2 HOUR FIREWALL, SEE WISCONSIN BUILDING PRODUCT EVALUATION (201502-0) FOR ALTERNATIVE FIRE PROTECTION
5	ALLOWABLE AREA SPRINKLER INCREASE STREET FRONTAGE INCREASE SPRINKLER INCREASE INCIDENTAL USE	503 504.2 506.2 506.3 508.2.5	TYPE VB, 2 STORIES AND 7,000 S.F. PER FLOOR, 40' HEIGHT 20' HEIGHT AND 3 STORIES INCREASE. NO AREA INCREASE (20' SIDES) (20' FRONT AND BACK) = 12,250 S.F. ALLOWABLE PER FLOOR MAX. NOT APPLICABLE METER ROOM INCIDENTAL USE, SMOKE SEPARATION REQUIRED, 0 HOUR RATED WALL
6	CONSTRUCTION TYPE SEPARATION DISTANCE	602	VB WOOD FRAME UNPROTECTED ALL EXTERIOR WALLS MORE THAN 10' FROM IMAGINARY PROPERTY LINES, 0 HOUR SEPARATION REQ.
7	RATED CONSTRUCTION CONTINUITY  FIRE DOOR RATINGS  BATH FANS / EXHAUST FAN  FLOOR DRAFTSTOPPING ATTIC DRAFTSTOPPING	707 709 709.4 712  715.4 716  716.6.1  717.3.2 717.4.2	NO FIRE BARRIERS 1 HOUR FIRE PARTITION AT UNIT SEPARATIONS REQUIRED. FIRE PARTITIONS CONTINUOUS TO SECOND FLOOR CEILING (EXCEPTION 5) 1 HOUR HORIZONTAL ASSEMBLY BETWEEN UNITS AT FLOOR / CEILING. FIRST FLOOR WALLS BEARING FLOOR ASSEMBLY NOT REQUIRED TO BE RATED PER EXCEPTION 712.4 EXCEPTION 2 FIRE PARTITION - DOORS IN GARAGE WALLS - 1/3 HOUR REQ. EXHAUST FAN PENETRATION DOES NOT REQUIRE A RADIATION DAMPER NOR PLACEMENT IN A WALL CAVITY, FIRE STOP ANNULAR SPACE AROUND THE FAN BOX FOR BOTH BATH FAN AND DRYER VENT. ENSURE DRYER EXHAUST (VENT) LENGTH IS NOT EXCEEDED, USE A 4" EXTERIOR HOOD AS NEEDED. EXCEPTION: THROUGH PENETRATIONS A DUCT IS PERMITTED TO PENETRATE THREE FLOORS OR LESS WITHOUT A FIRE DAMPER AT EACH FLOOR PROVIDED SUCH DUCT MEETS ALL THE REQUIREMENTS LISTED IN 716.6.1 (EXCEPTION) DRAFTSTOPPING USED, SUBDIVIDE INLINE WITH UNIT SEPARATIONS. DRAFTSTOPPING USED, SUBDIVIDE ATTIC TO 3,000 S.F. MAX. OR EVERY 2 DWELLING UNITS
8	INTERIOR FINISHES	803.4	CLASS C FLAME SPREAD 75-20, CORRIDORS (SPRINKLERED) CLASS C FLAME SPREAD 75-20, ALL ROOMS (SPRINKLERED)
9	FIRE PROTECTION SMOKE DETECTION	903.3.1.2 907.2.11.3	NFPA 13R SPRINKLER SYSTEM REQ. INTERCONNECTED SMOKE DETECTORS / ALARMS REQ.
10	OCCUPANT LOAD COMMON PATH OF TRAVEL  EMERGENCY ESCAPE OPENINGS	1004.1 1014.3  1029	SECOND FLOOR OCCUPANT LOAD IS PER UNIT, 36" WIDE CORRIDOR MINIMUM REQ. 125' TRAVEL DISTANCE NOT EXCEEDED FROM FURTHEST POINT OF SECOND FLOOR UNIT TO TWO DIRECTIONS OF TRAVEL (EXCEPTION 4, SPRINKLERED NFPA 13R) WINDOWS AS SECOND WAY OUT OF BUILDING IN EMERGENCY FIRST FLOOR WINDOW OPENINGS 5 SQUARE FEET SECOND FLOOR WINDOW OPENINGS 5.7 SQUARE FEET MINIMUM NET CLEAR OPENING OF 20" WIDE x 24" HIGH 44" FROM FLOOR
11	ACCESSIBILITY  PARKING SPACES DWELLING UNITS ACCESSIBLE UNITS	1104  1106.2 1107 1107.6.2	ACCESSIBLE ROUTE TO FRONT DOORS OF ALL TYPE B UNITS AND ALL FIRST FLOOR B UNIT DOORS AND PATIO DOORS GROUP R-2, 2% BUT NOT LESS THAN 1 ALL FIRST FLOOR UNITS ARE TYPE "B" UNITS MINIMUM OCCUPANCIES CONTAINING MORE THAN 20 DWELLINGS, AT LEAST 2% SHALL BE A TYPE "A" UNIT. ALL UNITS ON SITE SHALL BE CONSIDERED TO DETERMINE THE TOTAL NUMBER OF UNITS. UNITS SHALL BE DISPERSED AMONG CLASSES OF UNITS
14	BALCONIES	1406.3	(EXCEPTION 3) BALCONIES ON BUILDINGS OF TYPE V CONSTRUCTION HAVE NO REQ. FIRE RESISTANCE RATING WHERE SPRINKLER PROTECTION IS EXTENDED TO THIS AREA.

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C1	ARCHITECTURAL SITE PLAN
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AREA DATA				
UNIT NUMBER	S.F. FIRST FLOOR	S.F. SECOND FLOOR	TOTAL UNIT SQUARE FEET	NOTES
1	70	1,183	1,253	MULTIPLE FLOOR UNIT
2	804	887	1,691	TYPE "B" ACCESSIBLE
3	937	0	937	TYPE "B" ACCESSIBLE
4	70	1,524	1,594	MULTIPLE FLOOR UNIT
5	70	1,436	1,506	MULTIPLE FLOOR UNIT
6	937	0	937	TYPE "B" ACCESSIBLE
7	804	756	1,560	TYPE "B" ACCESSIBLE
8	70	1,180	1,250	MULTIPLE FLOOR UNIT
OTHER				
TOTAL				
TOTAL WITHIN DWELLING UNITS FIRST FLOOR		3,762		
FIRST FLOOR TOTAL		6,963		
SECOND FLOOR TOTAL		7,207		
TOTAL OF 8 UNIT BUILDING		14,170		

LEGEND			
SYMBOL	ITEM	SYMBOL	ITEM
	WALL TYPE - REFER TO WALL TYPES		PLAN NOTE
	ELEVATION REFERENCE		REVISION MARK - REFER TO TITLE BLOCK FOR REVISION DATE
	WALL SECTION REFERENCE OR DETAIL CUT - REFER TO SHEET NUMBER INDICATED IN BOTTOM OF SYMBOL		ACCESSIBILITY PLAN NOTE
SYMBOL	ITEM	ITEM DESCRIPTION	
	SMOKE DETECTOR	IBC 907.2.10 - SINGLE AND MULTIPLE STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE-WARNING EQUIPMENT PROVISIONS OF NFPA 12.	
	BATH FAN	BATH FANS ARE TO BE IN ROOMS CONTAINING ANY BATHING FIXTURES, BATHTUBS, SHOWERS. IBC 1203.4.2.1 EXHAUST FANS DO NOT REQUIRE FIRE DAMPERS IF PLACED IN CEILING OR WALL - SEE IBC 716	
	VINYL WINDOW	LOW E, DOUBLE PANE GLASS, GLAZING, MINIMUM ASSEMBLY U-VALUE = .30 ALL EXTERIOR WINDOWS ARE CENTERED BETWEEN A ROOM'S WALLS UNLESS NOTED BY A DIMENSION.	

National Electrical Code			
CODE CHAPTER	CODE TITLE	CODE CHAPTER	CODE INFORMATION
110	REQUIREMENTS FOR ELECTRICAL INSTALLATION	110.26	SUFFICIENT WORKING SPACE SHALL BE PROVIDED AROUND ELECTRICAL EQUIPMENT (PANELS). THE DEPTH OF THE SPACE IN THE DIRECTION OF ACCESS TO LIVE PARTS SHALL BE A MINIMUM OF 3 FEET. THE MINIMUM WIDTH OF THE SPACE IN FRONT OF ELECTRICAL EQUIPMENT SHALL BE THE WIDTH OF THE EQUIPMENT OR 30 INCHES, WHICH EVER IS GREATER. THIS WORK SPACE SHALL BE CLEAR AND EXTEND FROM THE FLOOR TO A HEIGHT OF 6.5 FEET. THIS SPACE SHALL NOT BE USED FOR STORAGE.
210	DECKS AND PORCHES	210.52(E)(3)	DECKS AND PORCHES ACCESSIBLE FROM AN INTERIOR DWELLING UNIT SHALL HAVE ONE RECEPTACLE.
240	OVERCURRENT PROTECTION	240.24(d)	OVERCURRENT DEVICES (ELECTRICAL PANELS) SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIALS, SUCH AS CLOTHES CLOSETS.

**U.L. Design No. L528** Unrestrained Assembly Rating - 1 Hour

(1) FLOOR SYSTEM 2, MIN. 3/4" GYPSUM CONCRETE OVER, 23/32 IN. THICK T&G WOOD STRUCTURAL PANELS W/ STRENGTH AXIS OF PANEL TO BE PERPENDICULAR TO TRUSSES W/ JOINTS STAGGERED, SECURE TO TRUSSES W/ CONSTRUCTION ADHESIVE AND STAPLES OR 6d RING SHANK NAILS SPACED 12 IN. O.C. ALONG EACH TRUSS.

(2) PARALLEL CHORD TRUSSES 24 IN. O.C. MAX.

(3) FURRING CHANNELS - 3/8" DEEP BY 2 1/2" WIDE 25 GAUGE GALVANIZED STEEL.

(3B) ATTACHMENT OF FURRING CHANNELS, CLIPS SPACED 48" O.C. SECURED TO ALTERNATING TRUSSES. USE NO. 8 x 2 1/2" COURSE DRYWALL SCREW. FURRING CHANNEL IS FRICTION FITTED INTO CLIPS. ADJOINING CHANNELS OVERLAPPED.

(4) PROPRIETARY TYPE "C" GYPSUM - 5/8 IN. THICK, 4 FT. WIDE SHEETS INSTALLED W/ LONG DIMENSION PERPENDICULAR TO FURRING CHANNELS W/ 1 IN. LONG WALLBOARD SCREWS SPACED 12 IN. O.C. END JOINTS SECURED TO BOTH CHANNELS.

(5) FINISHING SYSTEM - JOINT COMPOUND APPLIED IN TWO COATS TO SCREW HEADS, SEAMS WITH PAPER TAPE EMBEDDED IN FIRST COAT OF COMPOUND.

(6) OPTIONAL INSULATION SYSTEM NOT USED. INSULATION USED MUST NOT BEAR LOAD ONTO CHANNEL OR GYPSUM BOARD. FIBER REINFORCED POLY STAPLED TO TRUSSES TO SUPPORT INSULATION.

**IBC 720.1(2) RATED FIRE-RESISTANCE PERIODS FOR WALLS AND PARTITIONS a, o, p**

MATERIAL	ITEM NUMBER	CONSTRUCTION	MINIMUM FINISHED THICKNESS FACE TO FACE (INCHES)				1 HOUR FIRE
			4 HR	3 HR	2 HR	1 HR	
14. WOOD STUDS - INTERIOR PARTITION WITH GYPSUM WALLBOARD EACH SIDE	14-1.3 (m)	2" x 4" WOOD STUDS 24" ON CENTER, MIN. WITH 5/8" TYPE "X" GYPSUM WALLBOARD APPLIED VERTICALLY OR HORIZONTALLY WITH 6d NAILS AT 7" ON CENTER WITH END JOINTS ON FRAMING MEMBERS. STAGGER JOINTS EACH SIDE.	---	---	---	4 3/4"	

**UL DESIGN NO. U341 RATED FIRE-RESISTANCE FOR BEARING WALL**

MATERIAL	CONSTRUCTION	1 HOUR FIRE
BEARING WALL RATING - WOOD STUD WALL AND GYPSUM BOARD	1. 2"x4" WOOD STUDS 24" O.C. MAX. CROSS BRACED AT MID-HEIGHT AND EFFECTIVELY FIRESTOPPED AT TOP AND BOTTOM OF WALL. 2. 5/8" TYPE "X" GYPSUM WALLBOARD, 4 FT. WIDE, NAILED TO STUDS AND BEARING PLATES 7 IN. O.C. W/ 6d CEMENT COATED NAILS 1-1/8 IN. LONG, 0.0915 IN. SHANK DIA. AND 1/4 IN DIA. HEAD 3. JOINTS AND NAIL HEADS- WALLBOARD JOINTS COVERED W. PAPER TAPE AND JOINT COMPOUND. NAIL HEADS COVERED W/ JOINT COMPOUND. 4. SHEATHING (OPTIONAL)- SEPTUM MAY BE SHEATHED W/ MIN. 7/16 IN. THICK APA RATED SHEATHING WOOD STRUCTURAL PANELS OR MIN. 1/2 IN. THICK MINERAL AND FIBER BOARD 5. BATT INSULATION - 3-1/2" MAX THICKNESS GLASS OR MINERAL FIBER BATT INSULATION. OPTIONAL IF SHEATHING IS USED ON BOTH HALVES OF WALL.	

**IBC 720.1(3) MINIMUM PROTECTION FOR FLOOR AND ROOF SYSTEMS a, q**

FLOOR OR ROOF CONSTRUCTION	ITEM NUMBER	CEILING CONSTRUCTION	THICKNESS OF FLOOR OR ROOF SLAB (INCHES)				MINIMUM THICKNESS OF CEILING (INCHES)				1 HOUR FIRE
			4 HOUR	3 HOUR	2 HOUR	1 HOUR	4 HOUR	3 HOUR	2 HOUR	1 HOUR	
21. WOOD JOISTS, FLOOR TRUSSES AND FLAT OR PITCHED ROOF TRUSSES SPACED A MAXIMUM 24" O.C. WITH MIN. 1/2" WOOD STRUCTURAL PANELS WITH EXTERIOR GLUE APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS THROUGH BASE LAYER WITH 1 1/8" TYPE 5 OR TYPE W DRYWALL SCREWS @ 12" O.C. AT JOINTS AND INTERMEDIATE JOIST OR TRUSS, FACE LAYER TYPE G DRYWALL SCREWS PLACED 2" BACK ON EITHER SIDE OF FACE LAYER END JOINTS, 12" O.C.	21-1.1	BASE LAYER: 5/8" TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS @ 24" O.C. MAX. WITH 1 1/4" TYPE S OR TYPE W DRYWALL SCREWS @ 24" O.C. FACE LAYER: 5/8" TYPE X GYPSUM WALLBOARD OR VENEER BASE APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS THROUGH BASE LAYER WITH 1 1/8" TYPE 5 OR TYPE W DRYWALL SCREWS @ 12" O.C. AT JOINTS AND INTERMEDIATE JOIST OR TRUSS, FACE LAYER TYPE G DRYWALL SCREWS PLACED 2" BACK ON EITHER SIDE OF FACE LAYER END JOINTS, 12" O.C.	---	---	---	VAR.	---	---	---	1 1/4"	

**GA FILE NO. FC 5518 WOOD TRUSSES, GYPSUM WALLBOARD**

(1) 3/4" PROPRIETARY GYPSUM FLOOR TOPPING

(2) FLOORING SYSTEM - 23/32 IN. THICK T&G WOOD STRUCTURAL PANELS W/ FACE GRAIN OF PLYWOOD OR STRENGTH AXIS OF PANEL TO BE PERPENDICULAR TO TRUSSES W/ JOINTS STAGGERED, SECURE TO TRUSSES W/ CONSTRUCTION ADHESIVE AND 6d RING SHANK NAILS, NAILS SPACED 12 IN. O.C. ALONG EACH TRUSS.

(3) 1 1/2" DEEP PARALLEL CHORD TRUSSES 24 IN. O.C. MAX.

(4) FIBERGLASS INSULATION

(5) RESILIENT CHANNELS - SPACED 12 IN. O.C. PERPENDICULAR TO TRUSSES. CHANNELS SECURED TO EACH TRUSS W/ TYPE S, 1 1/4 IN. LONG STEEL SCREW

(6) PROPRIETARY TYPE "X" GYPSUM - 5/8 IN. THICK, 4 FT. WIDE SHEETS INSTALLED W/ LONG DIMENSION PERPENDICULAR TO FURRING OR RESILIENT CHANNELS W/ 1 IN. LONG WALLBOARD SCREWS SPACED 8 IN. O.C.

**SPRINKLER FIRE SUPPRESSION NOTES:**

- TREY CEILINGS UNDER 100 CUBIC FEET AND LESS THAN 12" DEEP DO NOT REQUIRE COVERAGE.
- GARAGE DOOR THAT IS ATTACHED TO THE INDIVIDUAL DWELLING UNIT IS NOT AN OBSTRUCTION, THE OPENER MAY BE.
- 2'-0" EAVE ALLOWABLE WITH 13R COVERAGE.
- FIRE ACCESS PER CHAPTER 13.
- 

**GENERAL NOTES:**

- ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE REQUIREMENTS OF 2009 IBC (WISCONSIN).
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, TOILETS, TRUSSES AND OTHER PROJECT REQUIREMENTS.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- THE TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE CONTRACT DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SAFETY DURING CONSTRUCTION.
- EXTERIOR ENTRY DOORS ARE FIBERGLASS.
- THE LIVING UNITS ARE SYMMETRICAL, ALL DETAILS AND DIMENSIONS PERTAIN TO BOTH SIDES.
- ALL FRAMING IS 24" O.C. ALL ROOF AND FLOOR TRUSSES DIRECTLY LINE UP WITH THE WALL STUD FRAMING UNLESS NOTED OTHERWISE BY PARTITION TYPE.
- WINDOWS ARE TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS AT ALL BEDROOMS WITH CLEAR OPENING MAXIMUM 20" WIDE BY 24" HIGH (SEE IBC 1029)

**LaPlant Architecture, LLC**  
 OFFICE: 926 WILLARD DRIVE  
 GREEN BAY, WISCONSIN  
 MAILING: 1592 RUSTIC WAY  
 GREEN BAY, WISCONSIN 54313  
 Telephone: (920) 737-9769  
 EMAIL: laplantarchitecture@yahoo.com

**LEXINGTON HOMES**  
 Building Neighborhoods  
 One Home at a Time  
 OFFICE: 1300 North Kimps Ct.  
 GREEN BAY, WISCONSIN 54313  
 Telephone: (920) 662-1611  
 Fax: (920) 662-8204  
 EMAIL: gwells@lexingtonneighborhoods.com  
 WEB: lexingtonneighborhoods.com

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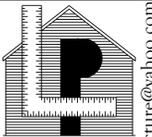
# 8 Unit Prototype

Attached Garage Townhomes  
 WISCONSIN

REVISION	DATE
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 PROJECT NO. 461464  
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LaPlant  
Architecture, LLC

EMAIL: laplanarchitecture@yahoo.com  
OFFICE: 926 WILLARD DRIVE  
GREEN BAY, WISCONSIN  
MAILING: 1592 RUSTIC WAY  
GREEN BAY, WISCONSIN 54313  
Telephone: (920) 737-9769



LEXINGTON  
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OFFICE: 1300 North Kings Ct.  
GREEN BAY, WISCONSIN 54313  
Telephone: (920) 662-1611  
Fax: (920) 662-8204

EMAIL: gwells@lexingtonneighborhoods.com  
WEB: lexingtonneighborhoods.com

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**8 Unit Prototype**  
**Attached Garage Townhomes**  
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461464

SHEET

**A**  
**1.1**



SEE ROOF PLAN FOR  
EAVES AND  
OVERHANGS  
1 1/2" EAVE, NO SOFFIT  
COVER ROOF LINE  
HORIZONTAL SIDING ABOVE  
ROOF LINES

6" CORNER BOARDS  
4" FRIEZE BOARD  
GENERAL NOTE:  
EXTERIOR MATERIAL  
ON FACE OF BUMP OUT  
BELONGS ON RETURN  
SURFACES NOT SEEN IN  
ELEVATION  
FLASH ALL ROOF TO  
WALL CONNECTIONS

TYPE "B" DWELLING  
PATIO DOOR WITH EGRESS OPENING  
NOT ACCESSIBLE THRESHOLD  
SURFACE MOUNTED LED LIGHT AT EVERY  
FIRST FLOOR PATIO MOUNTED TO CENTER OF  
DECK OR CEILING ABOVE

EXTERIOR COLUMNS  
TREATED 6x6 WITH  
DECORATIVE WRAP

BACK ELEVATION  
SCALE: 3/16" = 1'-0"



LEFT SIDE  
SCALE: 3/16" = 1'-0"



RIGHT SIDE  
SCALE: 3/16" = 1'-0"

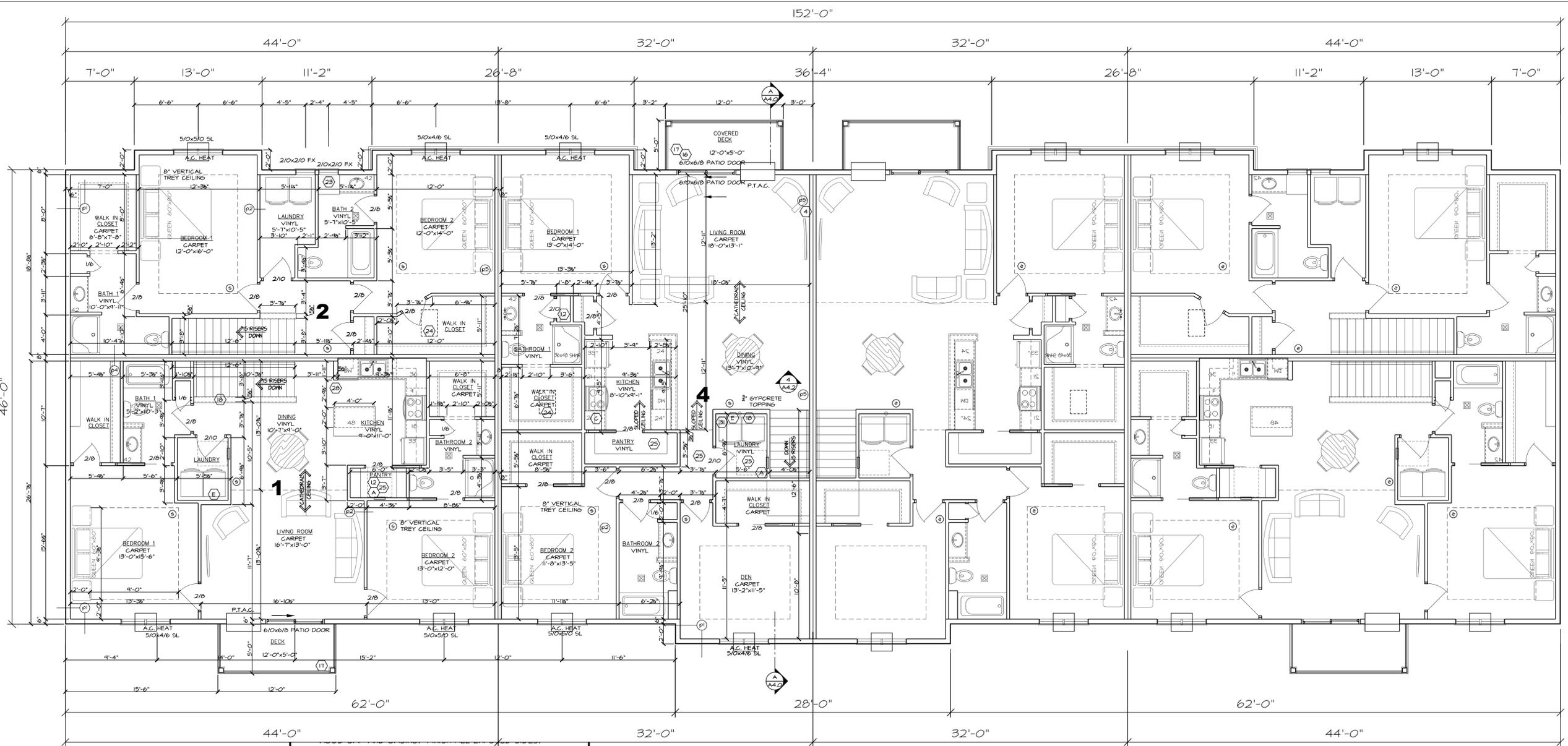


DRIVE ELEVATION  
SCALE: 3/16" = 1'-0"

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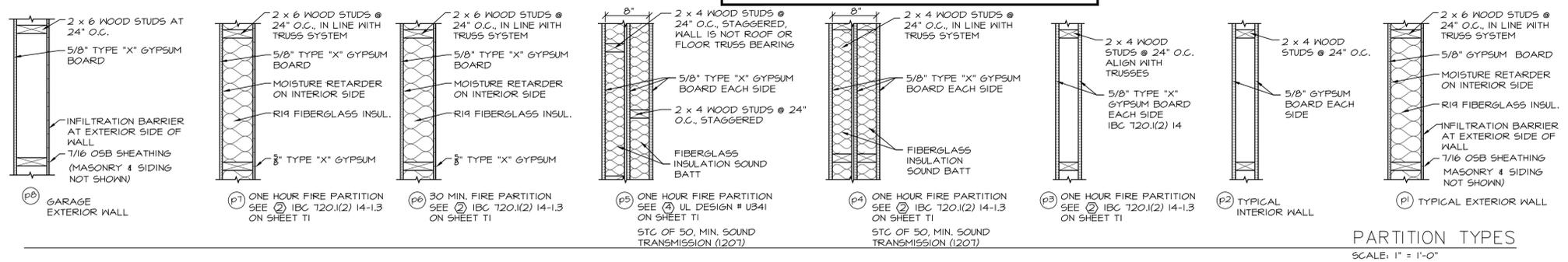
**SECOND FLOOR**  
SCALE: 3/16" = 1'-0"

- DWELLING UNIT PLAN NOTES**
- 1 HOUR RATED HORIZONTAL ASSEMBLY WITH GYPCRETE TOPPING, BIB INSULATION AND FURRING CHANNELS.
  - 1 HOUR RATED WALL ASSEMBLY, IF DOUBLE WALL, FIRE RATE THIS SIDE OF WALL.
  - 1 HOUR FINISH RATED CEILING, SEEMS DO NOT REQUIRE TAPE FOR THERE WOULD BE NO GAPS WITH TWO LAYERS.
  - 1 HOUR RATED WALL ASSEMBLY, not used
  - NO RATING FOR FLOOR / CEILING, WITHIN OWN UNIT;
  - (1) LAYER 5/8" TYPE "X" GYPSUM CEILING, NO RESILIENT CHANNEL, NO GYPCRETE TOPPING
  - 60 SAME AS 6 WITH 3" GYPCRETE TOPPING.
  - 1 HOUR RATED HORIZONTAL ASSEMBLY WITH GYPCRETE TOPPING AND RESILIENT CHANNELS.
  - INSULATION BLOWN FULL IN FLOOR/CEILING R40 BIB ON 6 MIL. REINFORCED POLY.
  - INSULATION IN FLOOR/CEILING 3" SOUND BATT.
  - NO INSULATION IN FLOOR/CEILING WITHIN INDIVIDUAL DWELLING UNIT.
  - ATTIC INSULATION R44 MIN.
  - STACK OF (4) 12" DEEP SHELVES, START AT 28" A.F.F. THEN 14" O.C.
  - STACK OF 3 SHELVES, START AT 42" A.F.F. THEN 14" O.C. TO ALLOW ACCESSIBLE KNEE SPACE
  - LANDING OF STAIR IS DROPPED ONE STEP, MAINTAIN RATED WALLS AND FLOOR @ EXPOSED FLOOR SYSTEM.
  - RECESS MECHANICAL ROOM FLOOR 3".
  - FLOOR COVERING TRANSITION LINE.
  - DWELLING UNIT STAIRCASE, SEE DETAIL I/A4.1
  - ALL EXTERIOR 6x6 TREATED POST WITH DECORATIVE WRAP, CAP AND BASE.
  - 2x6 INTERIOR WALL
  - 2x4x3'-6" HEIGHT PARTIAL WALL FROM TOP OF OSB OR CONCRETE FLOOR TO TOP OF TOP PLATE, BRACE FOR RIGIDITY, MOOD CAP AND CASING. FINISH ALL EXPOSED SIDES.
  - SLOPED FLOOR OR CEILING. CLOSET FLOORS BUILT INTO SHOE SHELVES. SEE A/A-0
  - NO RATED EXTERIOR WALLS, NOT A COURTYARD.
  - 2x6x3'-6" HEIGHT PARTIAL WALL FROM TOP OF OSB OR CONCRETE FLOOR TO TOP OF TOP PLATE, BRACE FOR RIGIDITY, MOOD CAP AND CASING. FINISH ALL EXPOSED SIDES.

- 24" DEEP x 54" TALL LINEN WITH TOP @ 55". NO CABINET DOOR, OPEN SHELVES.
- ATTIC SCUTTLE PANEL, SEE I/A4.2
- FLAT 8' CEILING IN THIS SPACE
- NOT USED
- DROPPED 8" WIDE SOFFIT, PLASTER AND PAINT.
- 2x6x3'-10" HIGH PARTIAL WALL FROM TOP OF OSB OR CONCRETE TO SINGLE TOP PLATE, 11" WIDE TOP. BRACE FOR RIGIDITY.
- 6'-8" HIGH FACE FRAME LINEN WITH STACK OF (4) 12" DEEP SHELVES, FRAME 18" DEEP
- 3'-6" DEEP COUNTER TOP INCLUDING 18" SNACK BAR OVERHANG, SUPPORT BRACKETS AS REQUIRED. OPEN CABINET BACK.
- SINGLE SHELF WITH POLE ABOVE LAUNDRY, 15"x30" CABINET.
- 2x6x3'-10" HIGH PARTIAL WALL FROM TOP OF OSB OR CONCRETE TO SINGLE TOP PLATE, 18" WIDE TOP. BRACE FOR RIGIDITY.
- 3'-0" HIGH FACE FRAME LINEN WITH (2) 12" DEEP SHELVES, FRAME 18" DEEP, START AT 3'-6" A.F.F.

- DWELLING ELECTRICAL / MECHANICAL NOTES**
- ELECTRIC SERVICE PANEL LOCATION AND 30" MIN. x 36" CLEAR FLOOR SPACE.
  - WATER HEATER.
  - MICROWAVE HOOD COMBINATION ABOVE RANGE. (IN TYPE "A" UNIT - ACCOMMODATE COUNTERTOP MICROWAVE)
  - SURFACE MOUNT ELECTRIC BASEBOARD HEAT.
  - LAUNDRY PLUMBING HOOKUP AND EXHAUST WALL, AVOID RATED WALL. 2x6 WALL, FIELD VERIFY LOCATION FOR POTENTIAL TRUSS INTERFERENCE.
  - PEDESTAL SINK WITH ACCESSIBLE KNEE SPACE.

- DWELLING GENERAL NOTES**
- ALL WINDOWS AND PATIO DOORS ARE VINYL WITH GYPCRETE AND PLASTER JAMB RETURNS. WINDOWS ARE TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS AT ALL BEDROOMS WITH CLEAR OPENING MAXIMUM 44" A.F.F. (IBC 1026)
  - ALL FIRST FLOOR 3/0 DOORS HAVE LOW PROFILE THRESHOLDS, SUPPORT THRESHOLD AS NEEDED. ENTRANCE DOORS ARE FIBERGLASS INSULATED, GARAGE DOORS ARE FIRE RATED, CLOSERS ARE REQUIRED. (IBC 715.4.7)
  - ALL BATHROOM VANITY COUNTER TOPS ARE STONE WITH MOLDED SINK.
  - BRING ALL WALLS TO CEILING, NO PLANT SHELVES OR LEDGES. ALL CLOSETS, PANTRIES, AND LAUNDRIES ON SECOND FLOOR HAVE FLAT 8' HIGH CEILINGS. PROVIDE INSULATION / DRAFTSTOP STOP AS NECESSARY.
  - TREY CEILINGS NOT TO EXCEED 100 CUBIC FEET IN SIZE.
  - ALL BATHROOM VANITY COUNTER TOPS ARE STONE WITH MOLDED SINK. ALL VANITIES ARE 42" WIDE U.O.N.
  - ALL LINEN CLOSETS 20" DEEP MAX.
  - ALL TUBS ARE 60x32", ALL SHOWERS ARE 48x36".
  - PERIMETER OF BUILDING DIMENSIONS ARE TO THE SHEATHING, NOTE EXTERIOR WALL IS LABELED AS 6". INTERIOR DIMENSIONS ARE STUD TO STUD.





NOTES

No.	Date	Description

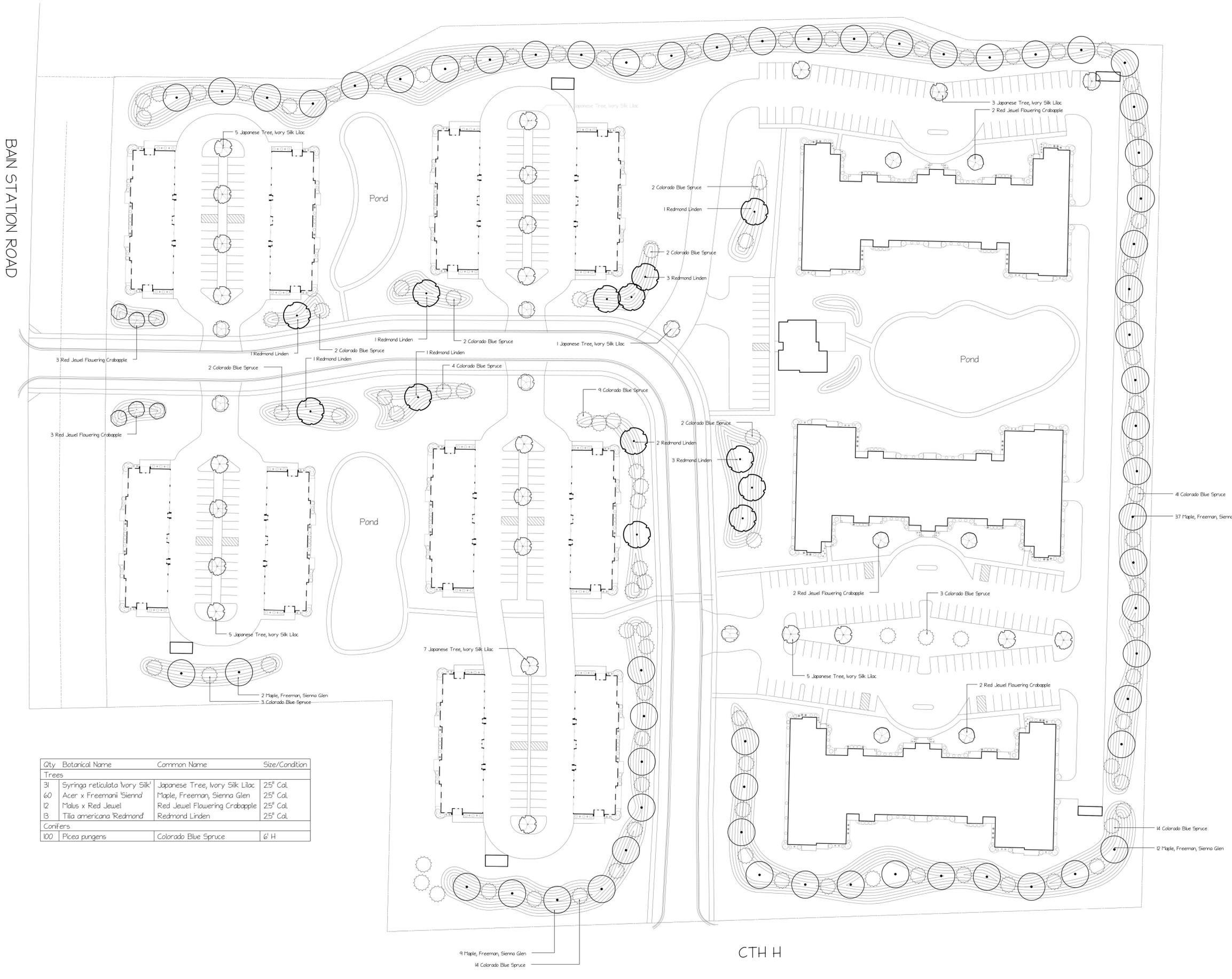


2750 Little Rapids Rd.  
De Pere, WI 54115  
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Lexington Homes  
Fountain Ridge  
Pleasant Prairie, WI  
Conceptual Landscape Plan  
Tree Planting Details

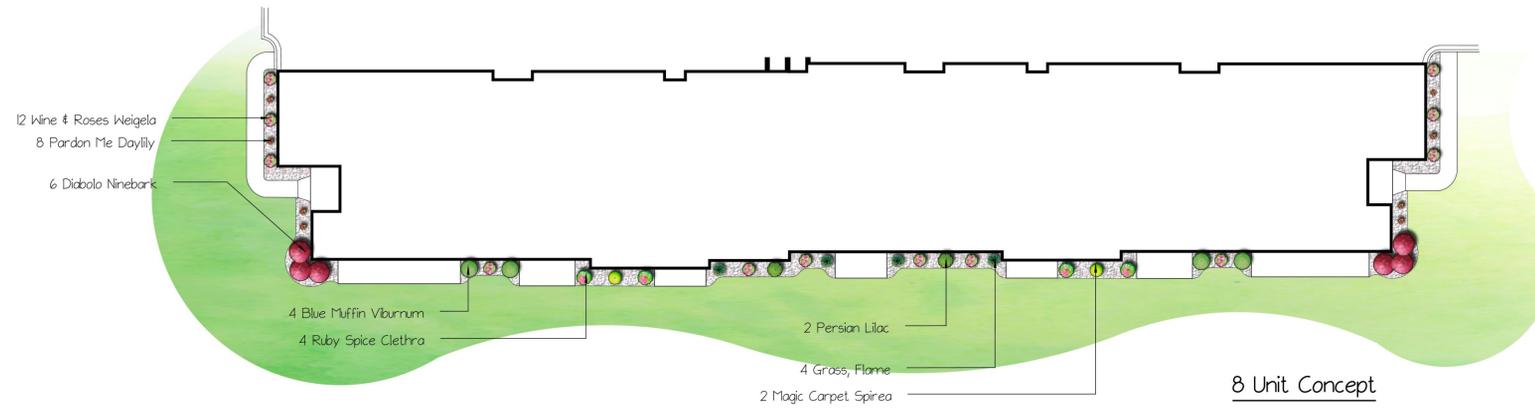
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DATE OF PRINT	

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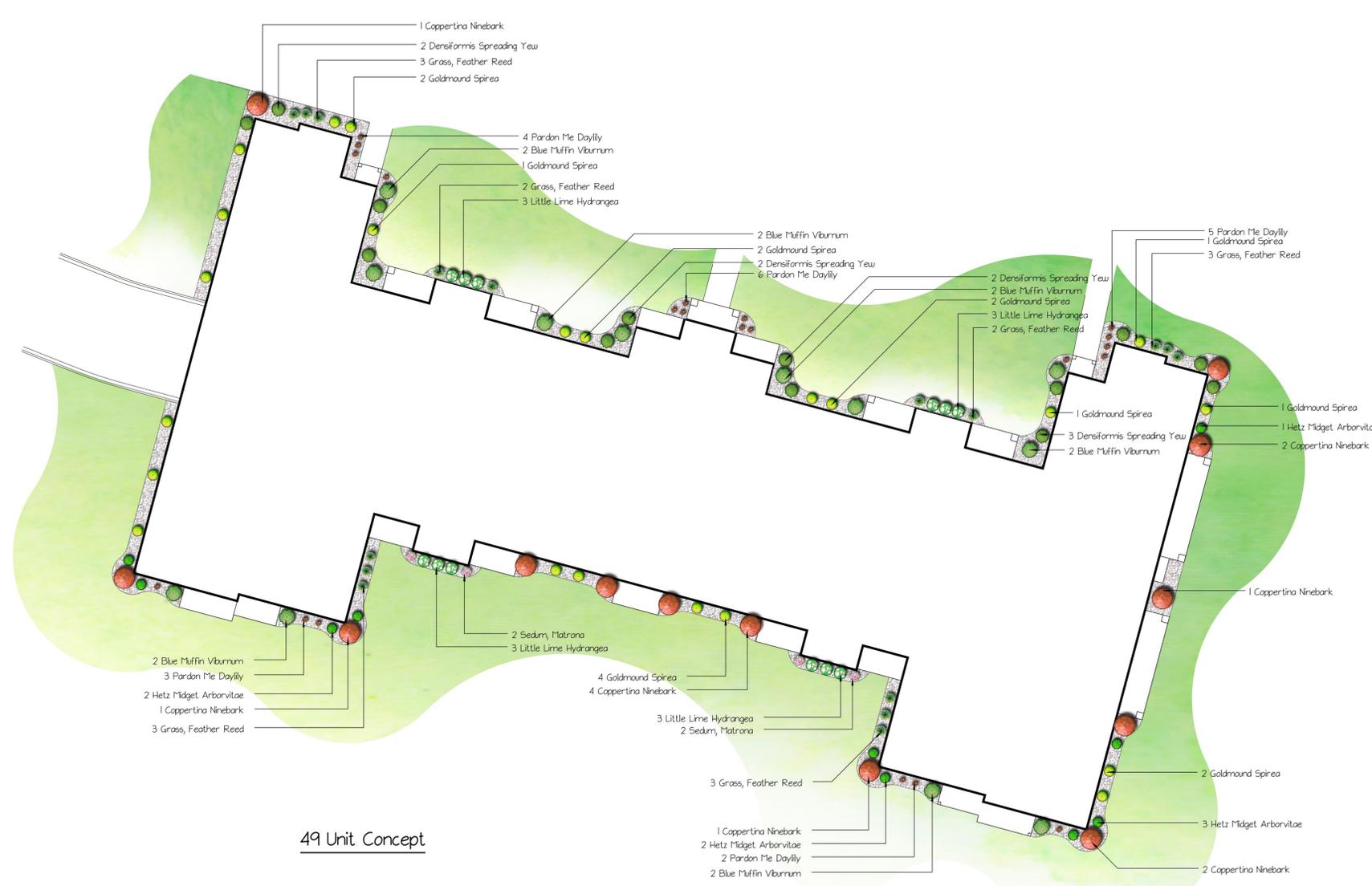


Qty	Botanical Name	Common Name	Size/Condition
<b>Trees</b>			
31	<i>Syringa reticulata</i> 'Ivory Silk'	Japanese Tree, Ivory Silk Lilac	25' Cal.
60	<i>Acer x Freemanii</i> 'Sienna'	Maple, Freeman, Sienna Glen	25' Cal.
12	<i>Malus x Red Jewel</i>	Red Jewel Flowering Crabapple	25' Cal.
13	<i>Tilia americana</i> 'Redmond'	Redmond Linden	25' Cal.
<b>Conifers</b>			
100	<i>Picea pungens</i>	Colorado Blue Spruce	6' H

CTH H



8 Unit Concept



49 Unit Concept

NOTES

No.	Date	Description



2750 Little Rapids Rd.  
De Pere, WI 54115  
920.983.8432

Lexington Homes  
Fountain Ridge:  
Conceptual Landscape Design

SCALE:	1" = 20'
DRAWN BY:	RM
CHECKED BY:	MM
DATE:	5-10-16
DATE OF PRINT:	

PROJECT NO.	
SHEET NO.	

- F. Consider approval of an **Affidavit of Correction to CSM 2520** for the request of Bruce Johnson with Liberty Builders, agent for Robert and Dorothy Ruffli owners of the vacant property generally located east of 39<sup>th</sup> Avenue at 114<sup>th</sup> Place related to relocation of access to Lot 2.

**Recommendation:** Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Affidavit of Correction to CSM 2520** for the relocation of the 30' Wide Limited Driveway Access on Lot 2 in the Creekside Hill development subject to the comments and conditions presented in the Village Staff Report of June 13, 2016.

## **VILLAGE STAFF REPORT OF JUNE 13, 2016**

Consider the request of Bruce Johnson with Liberty Builders on behalf of Robert and Dorothy Ruffli for approval of an **Affidavit of Correction to CSM 2520** for the relocation of access to Lot 2 vacant property generally located east of 39<sup>th</sup> Avenue at 114<sup>th</sup> Place.

*The petitioner is requesting approval of an Affidavit of Correction to CSM 2520 for the relocation of the 30' Wide Limited Driveway Access related to the access restriction on the vacant property generally located east of 114<sup>th</sup> Place in the Creekside Hill development. The current access point would require the removal of several trees and a significant amount of added material to bring the property to grade. Relocating the driveway access location will allow for less invasive access to the site and minimize tree removal. Any buildings or structures and parking and maneuvering lanes on the site will be required to meet the Village Zoning requirements.*

**The Village staff recommends approval of the Affidavit of Correction subject to the above comments and the following conditions.**

1. The surveyor shall sign the Affidavit and Exhibit A.
2. The CSM shall be executed by all parties and recorded at the Kenosha County Register of Deeds Office within 30 days of Village Board approval.



4244 97<sup>th</sup> street  
Pleasant Prairie , Wi. 53158

RECEIVED

MAY 16 2016

PLEASANT PRAIRIE

*Jean Werbie-Harris*

*Subject:*

*Affidavit of Correction*

*PIN: 92-122-253-0602*

*Owners Bob and Dory Rufli*

*Dear Jean,*

*We are requesting an Affidavit of Correction on this parcel for the following reasons:*

*The current access point would require the removal of more trees and a significant amount of stone to bring the property to grade. By moving the access point ( see revised survey) this will allow a more direct less invasive access to the building site, with very minimal tree removal.*

*Respectfully submitted,*

*Bruce A Johnson*

*Liberty Builders, LLC*

*4244 97<sup>th</sup> Street*

*Pleasant Prairie, Wi.*

*53158*

A handwritten signature in black ink, appearing to be "BJ", written over a faint circular stamp or watermark.

*262-818-3432*

# Affidavit of Correction

THIS FORM IS INTENDED TO CORRECT SCRIVENER'S ERRORS

**THIS FORM SHOULD NOT BE USED FOR THE FOLLOWING PURPOSES WITHOUT THE NOTARIZED SIGNATURES OF THE GRANTOR/GRANTEE\***

- Altering boundary lines
- Adding property
- Altering title/ownership
- Deleting property

AFFIANT, hereby swears or affirms that the attached document recorded on the 5th day of May, 2006 in Volume/Card \_\_\_\_\_, page/image \_\_\_\_\_, as Document No. 1478925 and was recorded in the Register of Deeds of Kenosha State of WI, contained the following error:  
(if more space is needed, please attach an addendum):

Jeffrey K. Rampart  
J.K.R. Surveying, Inc.  
8121 22nd Avenue  
Kenosha, WI 53143

Whereas: Area labeled on Sheet Two: "30' Wide Limited Driveway Access" on Lot 2 Certified Survey Map No. 2520 is shown in wrong location; needs to be relocated.

PIN: 92-4-122-253-0602

**The correction is as follows** (if more space is needed, please attach an addendum):

Whereas: This Affidavit of Correction is to correct the location of the "30' Wide Limited Driveway Access" on Lot 2  
Whereas: The new location of the "30' Wide Limited Driveway Access" on Lot 2 is shown per attached Exhibit "A"  
The Certified Survey Map amendment to which this Affidavit of Correction pertains was approved by the Kenosha County Board of Supervisors on \_\_\_\_\_, 2016 as Resolution No. \_\_\_\_\_ (See Exhibit "A" attached)  
A complete original or copy of the original document should be attached.

Dated this 16<sup>TH</sup> of MAY, 2016.

\_\_\_\_\_  
Affiant's Signature (type name below)

JEFFREY K. RAMPART, S 2141-8

\*

Robert J. Duff

\_\_\_\_\_  
Grantor's Signature (type name below)

\*

Don J. Ryli

\_\_\_\_\_  
Grantor's Signature (type name below)

\*

STATE OF WISCONSIN  
COUNTY OF KENOSHA SS.

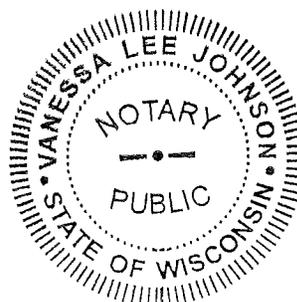
Subscribed and sworn to (or affirmed) before me this 16<sup>TH</sup> of MAY, 2016.

Vanessa Lee Johnson (type name below)

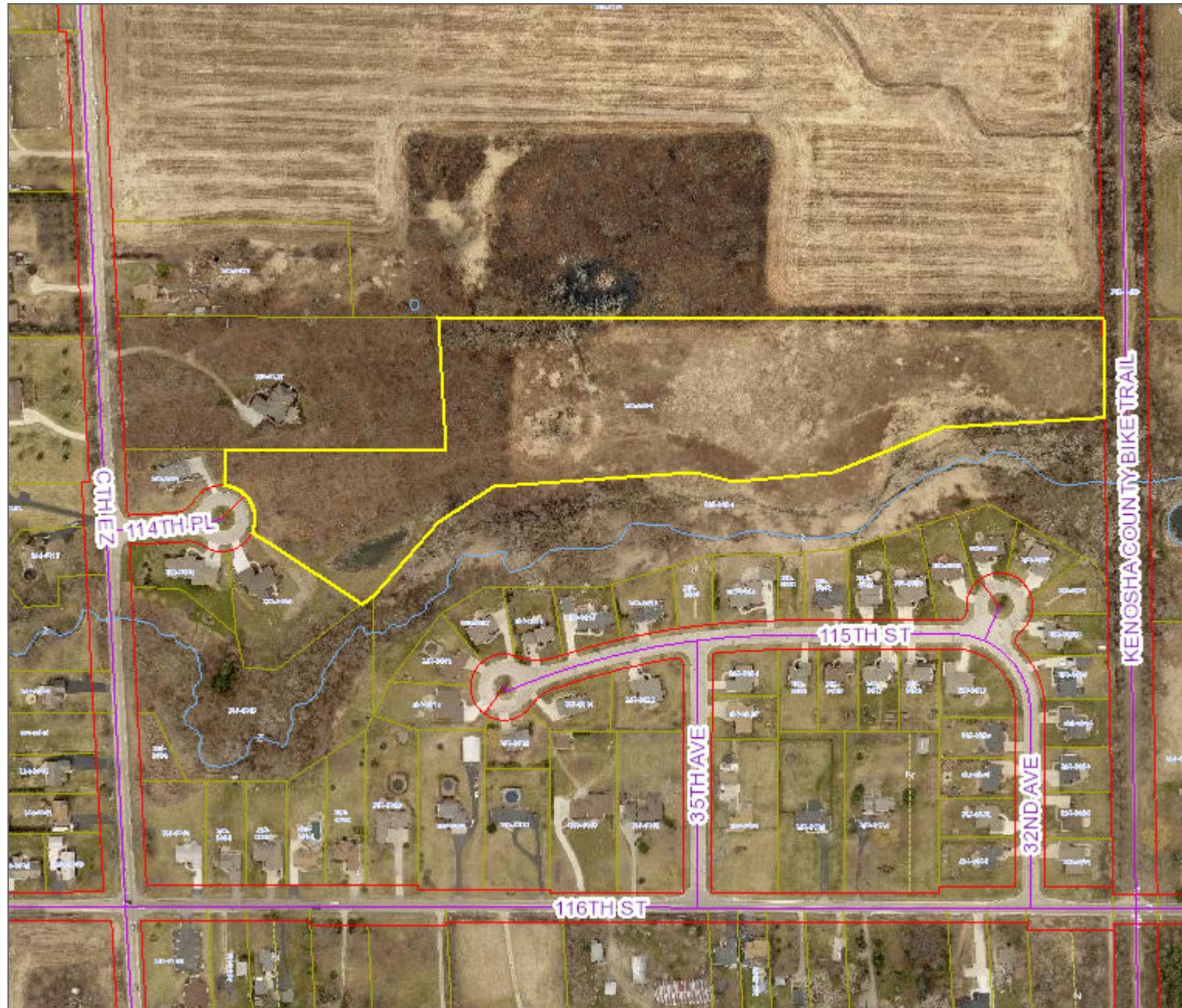
Vanessa Lee Johnson  
Notary Public, State of Wisconsin

My Commission expires/is: 8-12-2019

Drafted By: Jeffrey K. Rampart (S 2141-8)







1 inch = 338 feet

DISCLAIMER This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are found, please contact Kenosha County.

Date Printed: 6/10/2016

**FARRIS, HANSEN & ASSOC. INC.**

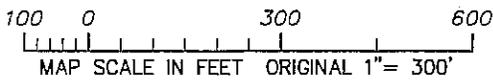
**CERTIFIED SURVEY MAP NO. 2520**

7 RIDGWAY COURT- P.O. BOX 437  
 ELKHORN, WISCONSIN 53121  
 PHONE (262) 723-2098  
 FAX (262) 723-5886

OWNER: CREEKSIDE HILL, LLC.  
 4500 121st STREET  
 PLEASANT PRAIRIE, WI. 53158

EXISTING ZONING:  
 LOTS 1, 3, & 4 = R-3  
 LOT 2 = A-2 & C-2

A REDIVISION OF OUTLOT 5 OF  
 COUNTRY LANE SUBDIVISION  
 LOCATED IN PART OF THE  
 SW 1/4 AND SE 1/4 OF THE  
 SW 1/4 OF SECTION 25, TOWN  
 1 NORTH, RANGE 22 EAST,  
 VILLAGE OF PLEASANT PRAIRIE,  
 KENOSHA COUNTY, WISCONSIN



LINE	BEARING	DISTANCE
L1	N 76°15'49" W	93.77'
L2	S 57°30'09" W	150.68'
L3	N 87°52'47" W	76.05'
L4	N 13°04'44" W	78.19'
L5	N 50°19'10" W	158.36'
L6	N 86°11'01" W	116.08'
L7	S 02°31'31" W	83.31'
L8	S 87°04'40" W	102.15'
L9	N 02°55'20" W	151.71'
L10	N 02°55'20" W	95.00'
L11	N 87°04'40" E	131.28'
L12	N 05°59'34" W	189.65'

**LEGEND**

- = FOUND IRON PIPE STAKE, 1 3/8" O.D.
- = FOUND IRON REBAR STAKE, 3/4" DIA.
- ⊗ = FOUND ROUND IRON BAR STAKE, 1 5/16" DIA.
- ⊠ = FOUND CONCRETE COUNTY MONUMENT W/BRASS CAP
- = SET IRON REBAR STAKE, 3/4" x 24" x 1.50 lbs./ft.

{XXX} = RECORDED AS

*Peter S. Gordon*  
 5-17-2005  
 Revised 3-29-2006

ABANDONED CHICAGO,  
 NORTH SHORE AND  
 MILWAUKEE RAILROAD  
 (COUNTY BIKE TRAIL)

S 01°04'05" E 222.00'

S 86°36'54" W 371.02'  
 S 66°49'05" W 284.58'

S 85°07'15" W 228.07'

S 85°38'35" W 453.16'

S 41°48'50" W 219.61'

N 02°55'27" W 299.83'

S 89°52'07" E 727.36'

N 02°55'20" W 50.07'

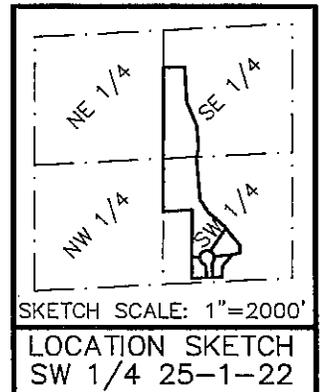
S 02°55'20" W 2678.00'

S 02°54'01" E 2678.12'

S. 1/4 CORNER  
 25-1-22  
 {192,521.49 N.}  
 {2,581,523.09 E.}

GRID NORTH

WISCONSIN STATE PLANE  
 COORDINATE SYSTEM  
 SOUTH ZONE (NAD 1927)  
 S. LINE SW 1/4 25-1-22  
 BEARS S 89°52'24" E



UNPLATTED LANDS

**LOT 2**  
 607,208 S.F.

OUTLOT 4  
 COUNTRY  
 LANE  
 SUBDIVISION

C.S.M.  
 NO. 1859

**114th PLACE**  
 DEDICATED TO THE  
 PUBLIC

**LOT 1**  
 28,627 S.F.

**LOT 3**  
 53,955 S.F.

OUTLOT 1  
 COUNTRY  
 CORNER  
 SUBDIVISION

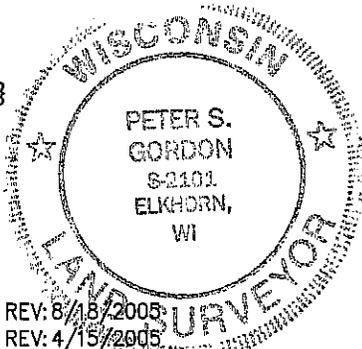
SEE SHEET 2 FOR ADDITIONAL  
 INFORMATION IN THE AREA  
 WEST OF THIS LINE

**LOT 4**  
 28,024 S.F.

W. 1/4 CORNER  
 25-1-22  
 {195,202.15 N.}  
 {2,578,711.84 E.}

**39th AVENUE (C.T.H. "EZ")**  
 {VARIABLE WIDTH}

SW CORNER  
 25-1-22  
 {192,527.41 N.}  
 {2,578,847.35 E.}



THIS INSTRUMENT DRAFTED  
 BY PETER S. GORDON  
 PROJECT NO. 4700.0L5  
 DATED: 01/27/2005  
 SHEET 1 OF 9 SHEETS

REV: 8/18/2005  
 REV: 4/15/2005

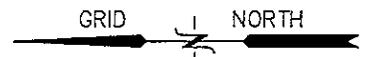
CURVE	ARC	RADIUS	CHORD LENGTH	CHORD BEARING
C1	78.40	75.00	74.88'	S 62°20'03" W
C2	57.27	60.00	55.12'	S 59°43'58" W
C3	146.77	75.00	124.44'	N 31°39'33" W
C4	72.66	75.00	69.85'	N 52°09'16" E
C5	38.63	60.00	37.97'	S 74°28'36" E
C6	57.68	75.00	56.26'	S 78°03'42" E

A REDIVISION OF OUTLOT 5 OF COUNTRY LANE SUBDIVISION LOCATED IN PART OF THE SW 1/4 AND SE 1/4 OF THE SW 1/4 OF SECTION 25, TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

**CERTIFIED SURVEY MAP NO. 2520**

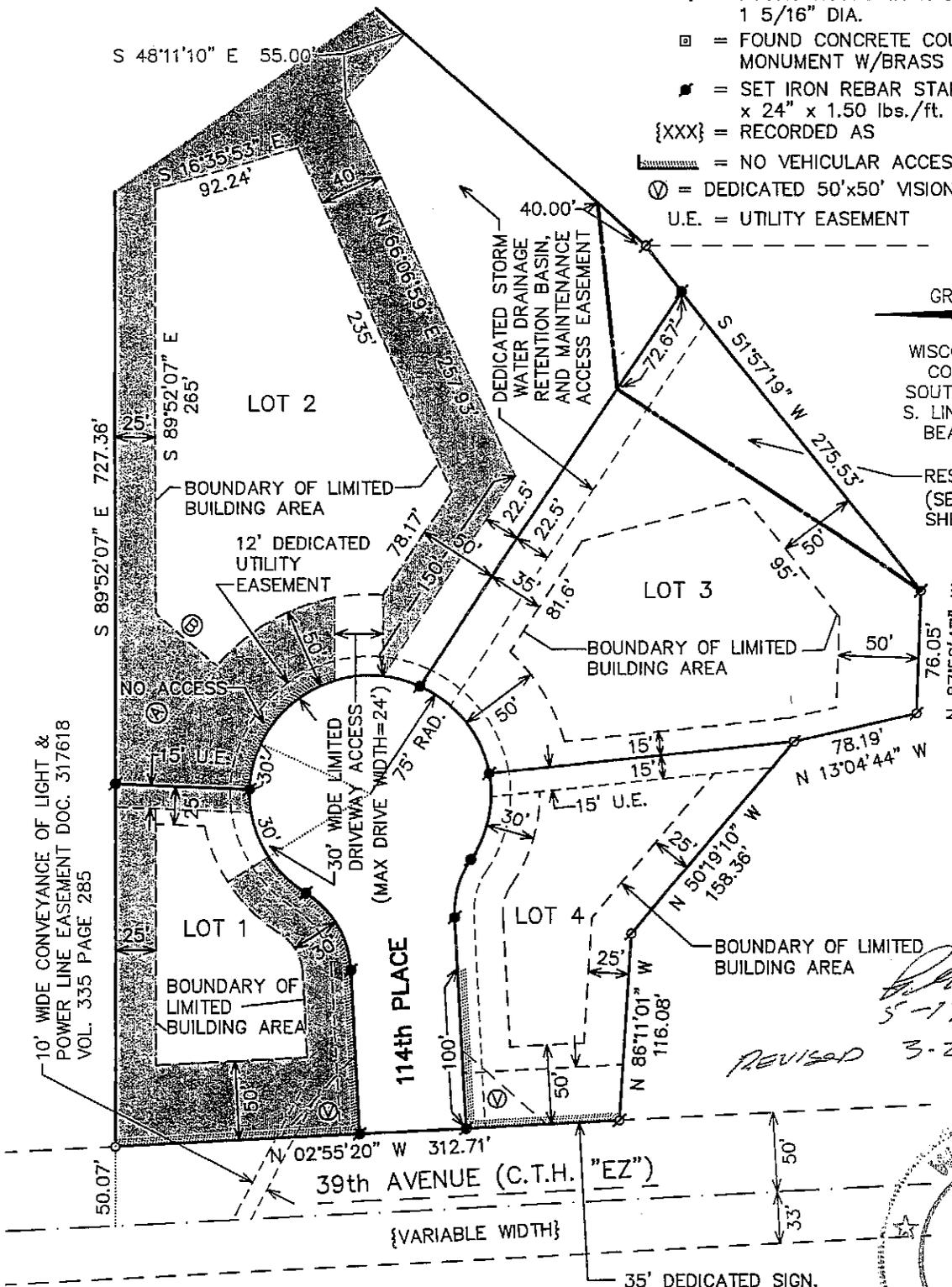
**LEGEND**

- = FOUND IRON PIPE STAKE, 1 3/8" O.D.
- = FOUND IRON REBAR STAKE, 3/4" DIA.
- ⊗ = FOUND ROUND IRON BAR STAKE, 1 5/16" DIA.
- ⊠ = FOUND CONCRETE COUNTY MONUMENT W/BRASS CAP
- = SET IRON REBAR STAKE, 3/4" x 24" x 1.50 lbs./ft.
- {XXX} = RECORDED AS
- ▬ = NO VEHICULAR ACCESS
- ⊕ = DEDICATED 50'x50' VISION TRIANGLE EASEMENT
- U.E. = UTILITY EASEMENT



WISCONSIN STATE PLANE COORDINATE SYSTEM SOUTH ZONE (NAD 1927)  
S. LINE SW 1/4 25-1-22 BEARS S 89°52'24" E

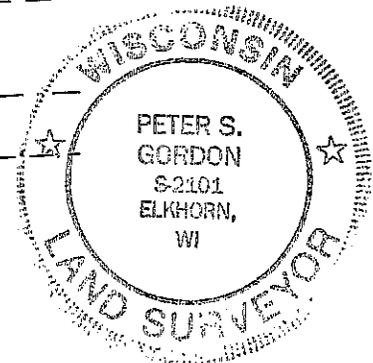
RESTRICTED AREA (SEE NOTE ON SHEET 3 OF 9)



10' WIDE CONVEYANCE OF LIGHT & POWER LINE EASEMENT DOC. 317618 VOL. 335 PAGE 285

*Peter S. Gordon*  
5-17-2005  
REVISED 3-29-2006

- Ⓐ = S 49 44' 07" E 97.68'
- Ⓑ = N 40 30' 24" E 49.83'



NOTE: SEE SHEET 1 FOR INTERIOR LOT DIMENSIONS.

NO STRUCTURE OF ANY KIND IS PERMITTED WITHIN THE VISION CORNER EASEMENTS.  
NO VEGETATION WITHIN THE VISION CORNER EASEMENTS MAY EXCEED 24 INCHES IN HEIGHT.

REV: 08/18/2005  
REV: 04/15/2005  
THIS INSTRUMENT DRAFTED BY PETER S. GORDON  
PROJECT NO. 4700.0L5  
DATED: 01/27/2005  
SHEET 2 OF 9 SHEETS

- ▬ = DEDICATED WOODLAND PROTECTION AND PRESERVATION, ACCESS, AND MAINTENANCE EASEMENT AREA



MAP SCALE IN FEET ORIGINAL 1" = 100'

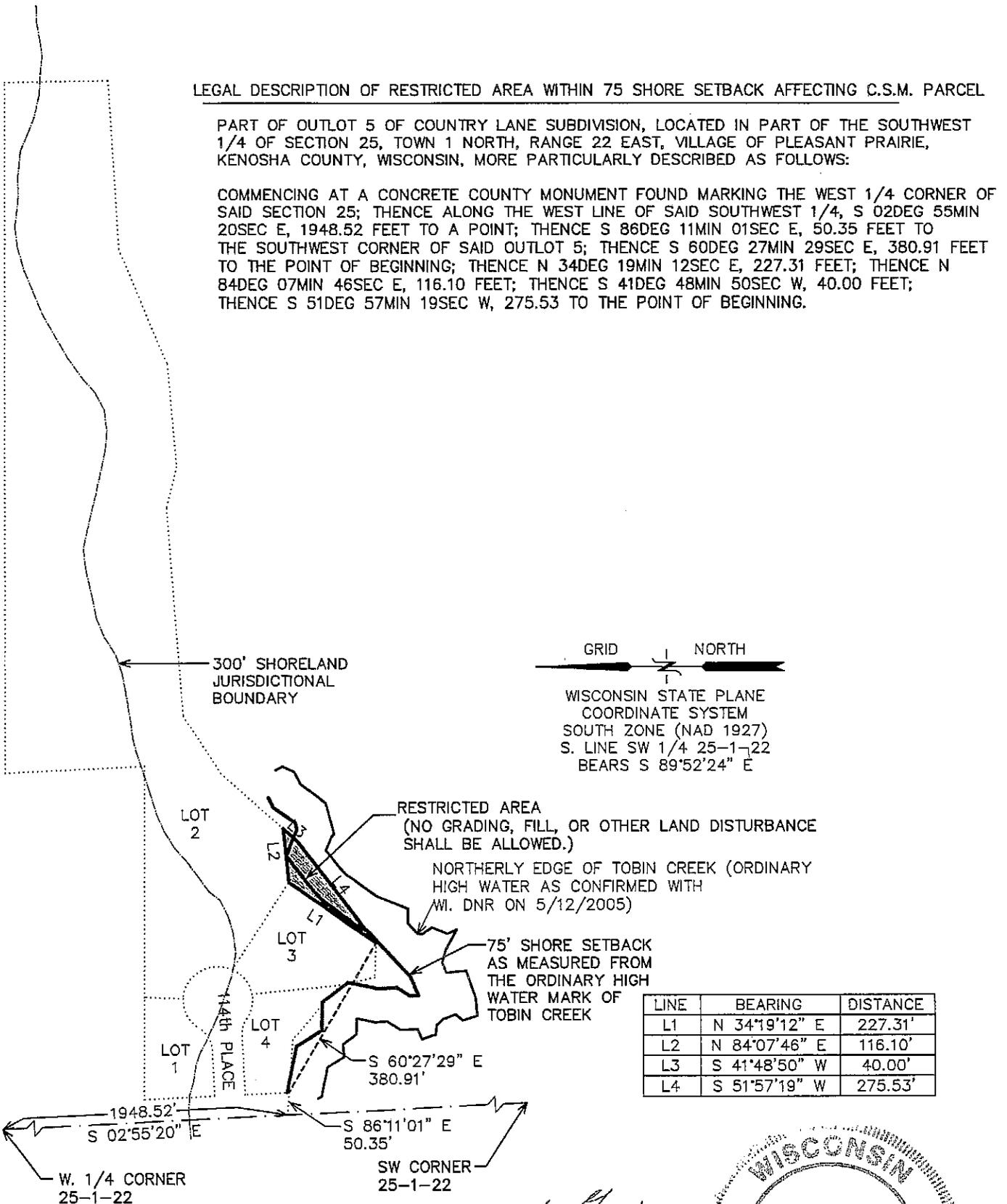
A REDIVISION OF OUTLOT 5 OF COUNTRY LANE  
 SUBDIVISION LOCATED IN PART OF THE SW 1/4  
 AND SE 1/4 OF THE SW 1/4 OF SECTION 25,  
 TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF  
 PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

**CERTIFIED SURVEY MAP NO. 2520**

**LEGAL DESCRIPTION OF RESTRICTED AREA WITHIN 75 SHORE SETBACK AFFECTING C.S.M. PARCEL**

PART OF OUTLOT 5 OF COUNTRY LANE SUBDIVISION, LOCATED IN PART OF THE SOUTHWEST 1/4 OF SECTION 25, TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A CONCRETE COUNTY MONUMENT FOUND MARKING THE WEST 1/4 CORNER OF SAID SECTION 25; THENCE ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, S 02DEG 55MIN 20SEC E, 1948.52 FEET TO A POINT; THENCE S 86DEG 11MIN 01SEC E, 50.35 FEET TO THE SOUTHWEST CORNER OF SAID OUTLOT 5; THENCE S 60DEG 27MIN 29SEC E, 380.91 FEET TO THE POINT OF BEGINNING; THENCE N 34DEG 19MIN 12SEC E, 227.31 FEET; THENCE N 84DEG 07MIN 46SEC E, 116.10 FEET; THENCE S 41DEG 48MIN 50SEC W, 40.00 FEET; THENCE S 51DEG 57MIN 19SEC W, 275.53 TO THE POINT OF BEGINNING.



GRID NORTH

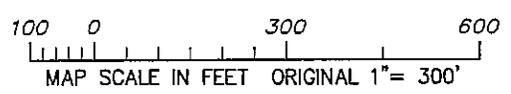
WISCONSIN STATE PLANE  
 COORDINATE SYSTEM  
 SOUTH ZONE (NAD 1927)  
 S. LINE SW 1/4 25-1-22  
 BEARS S 89°52'24" E

LINE	BEARING	DISTANCE
L1	N 34°19'12" E	227.31'
L2	N 84°07'46" E	116.10'
L3	S 41°48'50" W	40.00'
L4	S 51°57'19" W	275.53'

*Peter S. Gordon*  
 5-17-2005  
 revised  
 3-29-2006



REV. 05/10/2005  
 THIS INSTRUMENT DRAFTED  
 BY PETER S. GORDON  
 PROJECT NO. 4700.0L5  
 DATED: 01/27/2005  
 SHEET 3 OF 9 SHEETS REV:8/18/2005



A REDIVISION OF OUTLOT 5 OF COUNTRY LANE  
SUBDIVISION LOCATED IN PART OF THE SW 1/4  
AND SE 1/4 OF THE SW 1/4 OF SECTION 25,  
TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF  
PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

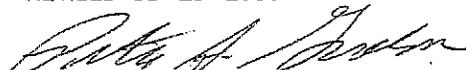
CERTIFIED SURVEY MAP NO. 2520

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT AT THE DIRECTION OF CREEKSIDE HILL, LLC (OWNERS), DUSICA CVOROVIC (REPRESENTATIVE), AND IN FULL COMPLIANCE WITH THE PROVISIONS OF CHAPTER 236.34 OF WISCONSIN STATUTES AND THE LAND DIVISION AND DEVELOPMENT CONTROL ORDINANCE OF THE VILLAGE OF PLEASANT PRAIRIE, I HAVE SURVEYED, DIVIDED, AND MAPPED THE FOLLOWING DESCRIBED LANDS AND THAT THIS PLAT IS A TRUE REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE PLAT AND OF THE SUBDIVISION THEREOF TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF. SAID LANDS ARE DESCRIBED AS A REDIVISION OF OUTLOT 5 OF COUNTRY LANE SUBDIVISION, LOCATED IN PART OF THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 25, TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A CONCRETE COUNTY MONUMENT FOUND MARKING THE WEST 1/4 CORNER OF SAID SECTION 25; THENCE ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, S 02DEG 55MIN 20SEC E, 1639.05 FEET TO A POINT; THENCE S 89DEG 52MIN 07SEC E, 50.07 FEET TO THE WESTERLY MOST CORNER OF SAID OUTLOT 5 AND THE POINT OF BEGINNING; THENCE CONTINUE S 89DEG 52MIN 07SEC E, 727.36 FEET; THENCE N 02DEG 55MIN 27SEC W, 299.83 FEET TO THE NORTHERLY MOST CORNER OF SAID OUTLOT 5; THENCE S 89DEG 51MIN 09SEC E, 1505.40 FEET TO THE NORTHEAST CORNER OF SAID OUTLOT 5; THENCE S 01DEG 04MIN 05SEC E, 222.00 FEET TO THE SOUTHEAST CORNER OF SAID OUTLOT 5; THENCE S 86DEG 36MIN 54SEC W, 371.02 FEET; THENCE S 66DEG 49MIN 05SEC W, 264.58 FEET; THENCE S 85DEG 07MIN 15SEC W, 228.07 FEET; THENCE N 76DEG 15MIN 49SEC W, 93.77 FEET; THENCE S 85DEG 38MIN 35SEC W, 453.16 FEET; THENCE S 57DEG 30MIN 09SEC W, 150.68 FEET; THENCE S 41DEG 48MIN 50SEC W, 219.61 FEET; THENCE S 51DEG 57MIN 19SEC W, 275.53 FEET; THENCE N 87DEG 52MIN 47SEC W, 76.05 FEET; THENCE N 13DEG 04MIN 44SEC W, 78.19 FEET; THENCE N 50DEG 19MIN 10SEC W, 158.36 FEET; THENCE N 86DEG 11MIN 01SEC W, 116.08 FEET TO THE EASTERLY RIGHT OF WAY LINE OF 39th AVENUE (C.T.H. "EZ"); THENCE ALONG SAID AVENUE, N 02DEG 55MIN 20SEC W, 312.71 FEET TO THE POINT OF BEGINNING. CONTAINING 745,079 SQUARE FEET (17.10 ACRES) OF LAND, MORE OR LESS.

DATED: MAY 17, 2005

REVISED 03-29-2006

  
PETER S. GORDON RLS 2101



A REDIVISION OF OUTLOT 5 OF COUNTRY LANE SUBDIVISION LOCATED IN PART OF THE SW 1/4 AND SE 1/4 OF THE SW 1/4 OF SECTION 25, TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

CERTIFIED SURVEY MAP NO. 2520

OWNER'S CERTIFICATE OF DEDICATION

CREEKSIDE HILL, LLC, A LIMITED LIABILITY COMPANY DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED HEREIN TO BE SURVEYED, DIVIDED, MAPPED, AND DEDICATED AS REPRESENTED ON THIS CERTIFIED SURVEY MAP. CREEKSIDE HILL, LLC, DOES FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

THE VILLAGE BOARD FOR THE VILLAGE OF PLEASANT PRAIRIE

IN WITNESS WHEREOF, THE SAID CREEKSIDE HILL, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY THOMAS WINSLOW, ITS MANAGING MEMBER AT Pleasant Prairie, WISCONSIN AND ITS CORPORATE SEAL TO BE HEREUNTO AFFIXED ON THIS 5th DAY OF May, 2006.

IN THE PRESENCE OF

Thomas Winslow MANAGER  
THOMAS WINSLOW, MANAGER

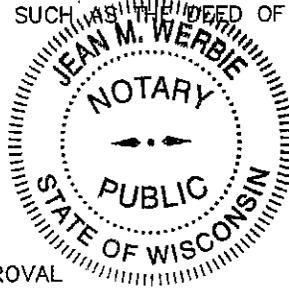
COUNTERSIGNED: Dusica Cvorovic member  
DUSICA CVOROVIC, MEMBER

STATE OF WISCONSIN  
SS  
KENOSHA COUNTY

PERSONALLY CAME BEFORE ME THIS 5th DAY OF May, 2006, THOMAS WINSLOW, MANAGER OF SAID CREEKSIDE HILL, LLC, AND DUSICA CVOROVIC, MEMBER, AND EXECUTED THE FOREGOING INSTRUMENT AND TO ME KNOWN TO BE SUCH MANAGER AND MEMBER OF SAID COMPANY AND ACKNOWLEDGED THAT THEY EXECUTED THE FOREGOING INSTRUMENT AS SUCH AS THE DEED OF SAID LIMITED LIABILITY COMPANY BY ITS AUTHORITY.

MY COMMISSION EXPIRES 1-17-2010

Jean M. Werbic  
NOTARY PUBLIC Jean M. Werbic



VILLAGE OF PLEASANT PRAIRIE PLAN COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS CERTIFIED SURVEY MAP, IN THE VILLAGE OF PLEASANT PRAIRIE, CREEKSIDE HILL, LLC., OWNERS, REVIEWED THIS 27th DAY OF March, 2006 BY THE VILLAGE PLAN COMMISSION FOR THE VILLAGE OF PLEASANT PRAIRIE AND APPROVED ON THE 27th DAY OF March, 2006.

Thomas W. Terwall  
THOMAS W. TERWALL, CHAIRMAN

ATTEST: Jane M. Romanowski  
JANE M. ROMANOWSKI, CMC, VILLAGE CLERK

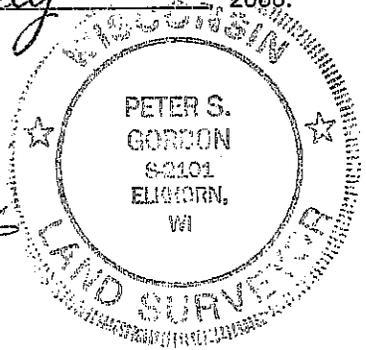
VILLAGE OF PLEASANT PRAIRIE VILLAGE BOARD APPROVAL

THIS IS TO CERTIFY THAT THIS CERTIFIED SURVEY MAP, IN THE VILLAGE OF PLEASANT PRAIRIE, CREEKSIDE HILL, LLC., OWNERS, IS HEREBY APPROVED BY THE VILLAGE BOARD OF THE VILLAGE OF PLEASANT PRAIRIE ON THE 1st DAY OF May, 2006.

John P. Steinbrink  
JOHN P. STEINBRINK, VILLAGE PRESIDENT

I HEREBY CERTIFY THAT THIS CERTIFIED SURVEY MAP HAS BEEN APPROVED BY THE VILLAGE BOARD OF THE VILLAGE OF PLEASANT PRAIRIE ON THE 1st DAY OF May, 2006.

ATTEST: Jane M. Romanowski  
JANE M. ROMANOWSKI, CMC VILLAGE CLERK



THIS INSTRUMENT DRAFTED BY PETER S. GORDON PROJECT NO. 4700.0L5 DATED: 01/27/2005 SHEET 5 OF 9 SHEETS  
Peter S. Gordon  
5-17-2005 REVISED 3-29-2006  
REV. 08/18/2005  
REV. 05/10/2005

A REDIVISION OF OUTLOT 5 OF COUNTRY LANE  
SUBDIVISION LOCATED IN PART OF THE SW 1/4  
AND SE 1/4 OF THE SW 1/4 OF SECTION 25,  
TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF  
PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

CERTIFIED SURVEY MAP NO. 2520

DEDICATIONS AND EASEMENTS PROVISIONS

1. The fee interest in the areas shown as Dedicated Public Streets on this Certified Survey Map (CSM) is hereby dedicated, given, granted and conveyed by Creekside Hill LLC (referred to as the "Developer") to the Village of Pleasant Prairie, its successors and assigns (the "Village") for the construction, installation, repair, alteration, replacement, planting and maintenance of public street improvements, uses and purposes, including, without limitation, pavement, curbs and gutters, a cul-de-sac island, sidewalks (if required by the Village), a street light, street signs, street trees and other landscaping, sanitary sewerage system improvements, water system improvements, storm sewer and drainage system improvements, mailboxes, utility and communications facilities, and for all related ingress and egress, construction, installation, repair, alteration, replacement, planting and maintenance activities. Such fee interest is subject to the following: (1) a temporary nonexclusive easement coextensive with the area of the Dedicated Public Streets shown on this CSM, hereby retained by the Developer for the construction, installation, repair, replacement and maintenance of such public street improvements and pursuant to a Development Agreement between the Developer and the Village dated as of May 5, 2006 (subject to the rights of the Village to perform the same functions); (2) a nonexclusive easement hereby reserved by the Developer for the owners of Lots 1 through 4 shown on this CSM which are adjacent to the Dedicated Public Streets for the planting and maintenance of grass, the maintenance and replanting of street trees and the clearance, maintenance, repair and replacement of sidewalks in the area between the roadway and their lot (if sidewalks are required by the Village), for the construction, installation, repair, replacement, maintenance and use of such private driveways in the area between the roadway and their lot as are approved by the Village and as will not interfere with the public improvements, uses and purposes of the Village (all subject to the rights of the Village to perform the same planting, replanting, construction, installation, repair, clearance, maintenance and replacement functions); and (3) a nonexclusive easement coextensive with the cul-de-sac island area within the 114th Place Dedicated Public Street shown on this Plat, hereby reserved by the Developer for the owners of Lots 1 through 4 and the Creekside Hill Property Owners Association, Inc. (herein referred to as the "Property Owners Association") for the planting and maintenance of grass, the planting and maintenance of trees, bushes, flowers and related landscape materials, including their watering, weeding, pruning, and fertilizing and the landscape materials, as approved by the Village and as will not interfere with the public improvements, uses and purposes of the Village within 114th Place (all subject to the rights of the Village to perform the same planting, replanting, construction, installation, repair, clearance, maintenance and replacement functions). In the event of any conflict between the rights of the Village under its fee interest in the Dedicated Public Streets and the rights of the Developer, or of the Property Owners Association, or of the owner of any lot, pursuant to the easements retained herein, the rights of the Village shall be deemed to be superior.

The Developer shall be responsible for all costs associated with the construction, installation, repair, alteration, replacement, planting and maintenance of the public street improvements, including, without limitation, pavement, curbs and gutters, a street light, street signs and street trees and other landscaping, sanitary sewer system improvements, water system improvements, storm sewer and drainage system improvements, storm water retention improvements, mailboxes, utility and communication facilities and for all related ingress and egress referred to herein, in accordance with the terms and conditions of the Development Agreement on file with the Village Clerk.

2. Perpetual easements coextensive with the areas shown as 12' and 15' Dedicated Utility Easements on this CSM are hereby dedicated, given, granted and conveyed by the Developer ( the Grantor ) to WE Energies f/k/a Wisconsin Electric Power Company/Wisconsin Natural Gas Company, Ameritech and Time Warner Cable Inc. and their respective successors and assigns (collectively, the "Utility and Communications Grantees"), for the purposes of constructing, installing, operating, repairing, altering, replacing and maintaining utility and communication lines and other related facilities to serve the lots, (or portions thereof) shown on this CSM and for any related ingress and egress. To the extent possible, all such utility and communications lines and facilities shall be installed underground. Prior to the installation of the utility cables and related appurtenances, the elevations of the existing ground surface within the utility easement areas shall not be altered by more than four (4) inches of final grade without the written approval of the Utility and Communications Grantees. The Grantor shall restore or cause to be restored, all such land, as nearly as is reasonably possible, to the condition existing prior to installing such utilities within the communication easement areas on which such easements are located as does not interfere with the purpose of the utility and communications easements and the use of such easements by the Utility and Communications Grantees unless a separate agreement has been entered into to transfer this responsibility to the Utility and Communication Grantees. No buildings, fences, or structures of any kind shall be placed within the utility and communications easement areas without the prior written approval of the Utility and Communication Grantees.

3. The Village generally allows private utilities, including but not limited to electric and communications facilities, to be installed in public street right-of-ways with prior written approval from the Village, subject to the requirements of applicable Village ordinances and the requirements of such public uses and purposes of the Village. Further, each individual private utility, electric or communications company shall be responsible for promptly restoring the public street areas and public highway areas to their pre-existing condition, at its own cost, after any use of such areas. In the event the private companies do not restore the easement areas to a vegetatively stabilized condition, the Developer shall be ultimately responsible for the costs of such restoration and may pursue its remedies against the respective utility company(ies). Under no circumstances shall any private utility, electric or communications company conduct any open cutting of public roadways after the crushed aggregate base course is installed without prior written approval of the Village. Any such private utility or communications facilities shall be promptly relocated, at the cost of the individual utility, electric or communications company, upon written request of the Village, to serve the public functions and purposes of the Village in the public street area. In the event of any conflict between the rights of the Village and the rights of the private utility, electric or communications company in such public street areas, the Village's rights shall be deemed to be superior.

*Peter S. Gordon*  
5-17-2005  
Revised 3-29-2006



THIS INSTRUMENT DRAFTED  
BY PETER S. GORDON  
PROJECT NO. 4700.0L5  
DATED: 01/27/2005  
SHEET 6 OF 9 SHEETS

A REDIVISION OF OUTLOT 5 OF COUNTRY LANE  
SUBDIVISION LOCATED IN PART OF THE SW 1/4  
AND SE 1/4 OF THE SW 1/4 OF SECTION 25,  
TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF  
PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

CERTIFIED SURVEY MAP NO. 2520

4. Perpetual nonexclusive easement coextensive with the areas shown as a Dedicated Storm Water, Drainage, Retention Basin, Access and Maintenance Easement on Lots 2 and 3 of this CSM is hereby dedicated, given, granted and conveyed by the Developer to the Village for storm water retention and management purposes, public drainage ways, and for all related construction, installation, grading, repair, alteration, replacement, landscaping, maintenance and ingress and egress. This storm water, drainage, retention basin, access and maintenance easement shall be exclusive, except for: (1) such other easements as may be dedicated and conveyed herein to the Village with respect to the same area or any portion thereof; (2) such use, planting, care and maintenance responsibilities of the easement areas which shall be required by the owner(s) of the lots on which such easements are located as will not interfere with the improvements, uses and purposes of the Village; and (3) such future driveway or other uses of the easement as may be approved by the Village. There shall be no structures, such as but not limited to, fences, decks, sheds, swing sets, retaining walls, gardens, landscaping beds or mulch areas placed within said easement area, which obstructs, redirects or impedes drainage flows within the CSM pursuant to Paragraph 1 of the Restrictive Covenants on this CSM and unless approved by the Village. In the event of any conflicts between the rights of the Developer, the rights of the Village pursuant to these easements and the rights of other lot owners with respect to the Dedicated Storm Water, Drainage, Retention Basin, Access and Maintenance Easement area, the Village's rights under this easement shall be deemed to be superior. Unless the Village exercises the rights granted to it hereunder with respect to this easement, the Village shall have no obligation to do anything pursuant to its rights under this easement. The Developer shall be responsible for all costs associated with the construction and maintenance of public and private drainage way improvements contained within this nonexclusive easement until such time as the expiration of the one-year warranty and such retention basin maintenance responsibility is transferred to the Property Owners Association which is collectively the Lot 1 through 4 owner(s).

5. Easements coextensive with the areas shown as Dedicated Public Street on this CSM are hereby dedicated, given, granted and conveyed by the Village to the Developer for the construction, installation, repair, alteration, replacement, planting and maintenance of public street improvements, uses and purposes, including, without limitation, pavement, curbs and gutters, a cul-de-sac island, sidewalks (if required by the Village), a street light, street signs, street trees and other landscaping, sanitary sewerage system improvements, water system improvements, storm sewer and drainage system improvements, mailboxes, utility and communications facilities, and for all related ingress and egress, construction, installation, repair, alteration, replacement, planting and maintenance activities until such improvements are inspected by, dedicated to and accepted by the Village. These easements shall be exclusive, except for such coextensive easements and responsibilities granted herein and for such use, planting, care and maintenance of the terrace easement areas by the lot owner(s) shown on this CSM or other future roadway, street, driveways or other such use as approved by the Village, as will not interfere with the uses and purposes of the Village, and is permitted by applicable Village Ordinances.

6. An easement coextensive with the area shown as a 35' Dedicated Sign, Landscape, Access and Maintenance Easement on Lot 4 of this CSM is hereby dedicated, given, granted and conveyed by the Developer to the Village for the purposes of signage installation, maintenance, removal and replacement; installation and replacement of lighting; planting and installation of trees, shrubs and other landscape elements and all related ingress and egress, grading, replacement and maintenance activities. This Sign, Landscape, Access and Maintenance Easement shall be exclusive except for the same easement on Lot 4 hereby retained by the Developer for the purposes of signage, installation, maintenance, removal and replacement; installation and replacement of lighting; planting and installation of trees, shrubs, and other landscape elements and all related ingress and egress; grading, replacement and maintenance activities. Notwithstanding such easement, the Village shall have no obligation to exercise its rights under this easement.

7. The Developer hereby dedicates, gives, grants, and conveys to the Creekside Hill Property Owners Association, Inc. (Property Owners Association) the following easements:

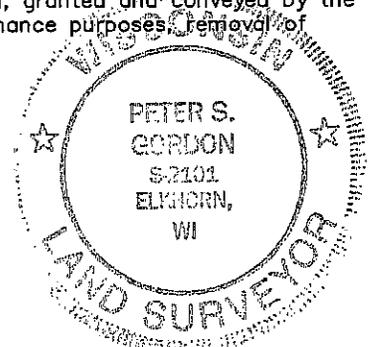
(1.) A perpetual nonexclusive easement coextensive with the areas shown as Dedicated Storm Water, Drainage, Retention Basin, Access and Maintenance Easement on Lots 2 and 3 on this CSM is hereby dedicated, given, granted and conveyed by the Developer to the Property Owners Association for the purposes of maintaining the drainage ways thereon and for all related and incidental ingress and egress, construction, installation, alteration, replacement, repair, planting and maintenance activities. This maintenance easement shall be exclusive, except for the corresponding easement rights of the Village described above, in Paragraph 4.; and such use, plantings, care and maintenance of the storm water drainage, access and maintenance easement responsibilities by the owners of the affected lots shown on this CSM and as is permitted by applicable restrictive covenants and Village ordinances. In the event of any conflict between the Property Owners Association rights under the maintenance easement granted by this paragraph and the rights of the Village under this Storm Water, Drainage, Retention Basin, Access and Maintenance Easement, the Village's rights shall be deemed superior.

(2.) A nonexclusive easement, coextensive with the area shown as a 35' Dedicated Sign, Landscape, Access and Maintenance Easement on Lot 4 of this CSM is hereby dedicated, given, granted and conveyed by the Developer to the Property Owners Association for the purposes of signage installation, maintenance, removal and replacement; installation and replacement of lighting; planting and installation of trees, shrubs and other landscape elements and all related ingress and egress; grading, replacement and maintenance activities. The dedication of this easement to the Property Owners Association does not obligate the Property Owners Association to install a subdivision identification sign. In the event of a conflict between the rights of the Property Owner's Association pursuant to this easement and the rights of the Village or of the easement rights of the Utility and Communications Grantees in such areas, the rights of the Village or of the Utility and Communications Grantees shall be deemed superior.

(3.) A nonexclusive easements coextensive within the Dedicated Woodland Protection and Preservation, Access and Maintenance Easement shown on Lot 1 of this CSM is hereby dedicated, given, granted and conveyed by the Developer to the Property Owners Association for woodland protection and maintenance purposes, removal of dead or decayed material and for related ingress and egress.

THIS INSTRUMENT DRAFTED  
BY PETER S. GORDON  
PROJECT NO. 4700.0L5  
DATED: 09/22/2005  
SHEET 7 OF 9 SHEETS

*Peter S. Gordon*  
5-17-2005  
Revised 3-29-2006



A REDIVISION OF OUTLOT 5 OF COUNTRY LANE  
SUBDIVISION LOCATED IN PART OF THE SW 1/4  
AND SE 1/4 OF THE SW 1/4 OF SECTION 25,  
TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF  
PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

CERTIFIED SURVEY MAP NO. 2520

RESTRICTIVE COVENANTS

1. Creekside Hill LLC (referred to as the "Developer") hereby covenants that the Owner(s) of Lots 1 through 4 shown on this CSM shall have the obligation of maintaining the Storm Water, Drainage, Retention Basin, Access and Maintenance Easement areas located on Lots 2 and 3 on this CSM in a functional, neat and nuisance free condition to handle storm water and drainage in the development. Such maintenance shall include, without limitation and as needed, seeding or sodding, maintaining erosion control methods to protect the drainage ways; ditching to reestablish design capacity; clearing and repairing catch basin structures. The Owners of Lots 2 and 3 shall foster an aesthetic landscape by mowing, weeding, watering, and removing trash, debris, leaves and brush around the easement area on their respective Lot to prevent nuisance conditions. No driveways, fences, signs or other structures shall be erected within the storm water drainage easement which blocks, diverts or re-routes the drainage flow or which might interfere with the Village's rights, unless express written approval is granted by the Village and subject to any such conditions as the Village may impose. This covenant shall run with the land, shall be binding upon the Developer, its successors, assigns and successors in-title of the lots, in their capacity as owners of any such lots, and shall benefit and be enforceable by the Village. The Developer shall be relieved of these maintenance obligations pertaining to maintenance activities upon the expiration of the one-year warranty and the transfer of said properties and responsibilities to the lot owner(s) who then shall perform such maintenance without compensation and to the satisfaction of the Village.

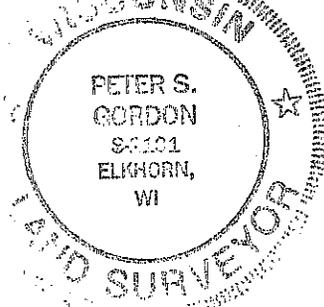
To the extent that the Village performs any such storm water drainage maintenance activities, the Property Owners Association and the owners of the Lots 1 through 4, collectively, shall be liable for any costs which may be incurred by the Village, which the Village may recover from such owner(s) as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the dedications statement on this CSM with respect to these easements, the Village shall have no obligation to do anything pursuant to its rights under these easements.

2. The Developer hereby covenants that the owner's of Lots 1 through 4, collectively the Property Owners Association, shall have the obligation of maintaining the landscaping, bushes and trees planted within the 114th Place cul-de-sac. Each respective lot owner will have the obligation of maintaining the planted street trees abutting their respective lot within the 114th Place right-of-way and maintaining the grassy terrace areas of the Dedicated Public Street right-of-ways which is located behind the curb and extending to the property line adjacent to each lot. Lot 4 will have the obligation of maintaining the berm, landscaping, bushes and trees planted along 39th Avenue (County Trunk Highway (CTH) EZ) on Lot 4 in the 35 Dedicated Sign, Landscape, Access and Maintenance Easement Area. Such maintenance shall include without limitation: staking, mulching, mowing, and weeding; planting; watering; and removing of trash, debris, leaves and brush around the trees and plants in order to prevent a nuisance condition. No driveways, signage, mail boxes, parking areas, structures or fences shall be erected within the 39th Avenue (CTH EZ) right-of-way which might interfere with the Village's rights or Kenosha County's rights, unless express written approval is granted by the Village and/or Kenosha County and subject to any such conditions as the Village or Kenosha County may impose. This covenant shall run with the land, shall be binding upon the owner(s), its successors, assigns and successors in title of the lots, in their capacity as owner(s) of any such lots, and shall benefit and be enforceable by the Village or Kenosha County. The Developer shall be relieved of these maintenance obligations pertaining to the street tree maintenance activities upon the Village's acceptance of the landscaping and street tree plantings, the expiration of the one year warranty and the transfer of said properties to the lot owner(s) who then shall perform such street tree maintenance or tree replacement to the satisfaction of the Village or if such responsibility is transferred to the Property Owners Association, who then shall perform such maintenance without compensation to the satisfaction of the Village. To the extent that the Village performs any such street tree or landscaping related maintenance activities in the cul-de-sac island or landscape easement area, the owner(s) of the Lots 1 through 4, respectively, and/or the Property Owners Association, shall be liable for any costs which may be incurred by the Village, which the Village may recover from such owner(s) as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the dedications statement on the CSM with respect to the referenced easement maintenance activities, the Village shall have no obligation to do anything pursuant to its rights under these easements.

3. The Developer hereby covenants that the owner's of Lot 1 has the obligation of maintaining the area shown as a Dedicated Woodland Protection and Preservation, Access and Maintenance Area on Lot 1 and that no filling, cutting, removal of trees greater than eight (8) inches in diameter or other activity or condition detrimental to its function as a woodland area shall occur or exist within such area or on any surrounding land shown on this CSM without first obtaining written approval of the Property Owners Association and the Village. The Property Owners Association and the Village will permit the removal of dead, dying or decayed plant material and the removal of trees and brush within the buildable pad area shown on this CSM for the construction of the principal structure and related accessory structures and driveway. This covenant shall run with the land, shall be binding on the Developer, its successors, assigns and successors-in-title in their capacity as owner(s) of Lot 1 shown on this CSM and shall benefit and be enforceable by the Property Owners Association and the Village.

4. The Developer hereby covenants that the owners of Lots 2 shall have the obligation of maintaining the woodland area shown on Lot 2 on this CSM as a Dedicated Woodland Protection and Preservation, Access and Maintenance Area and that no filling, cutting, removal of trees greater than eight (8) inches in diameter or other activity or condition detrimental to its function as a woodland area shall occur or exist within such area except as provided below without first obtaining written approval of the Village. The Village shall permit the removal of dead, dying or decayed plant material on the property. The Village will further permit the removal of trees and brush within the identified buildable pad area shown on this CSM for the construction of the principal structure, including the driveway and accessory structures. The Village will further permit the removal of trees and brush outside of the identified buildable pad area shown on this CSM for the construction of accessory structures and/or the construction, installation and maintenance of a walkway, trailway or connection to adjacent lands owned by the Lot 2 owner(s). This covenant shall run with the land, shall be binding on the Developer, its successors, assigns and successors-in-title in their capacity as owner(s) of Lot 2 shown on this CSM or any portion thereof and shall benefit and be enforceable by the Village.

*Peter S. Gordon*  
5-17-2005  
Revised 3-29-2006



A REDIVISION OF OUTLOT 5 OF COUNTRY LANE  
SUBDIVISION LOCATED IN PART OF THE SW 1/4  
AND SE 1/4 OF THE SW 1/4 OF SECTION 25,  
TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF  
PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

CERTIFIED SURVEY MAP NO. 2520

5. The Developer hereby covenants that the owners of Lots 1 and 4 shall have the obligation of maintaining perpetual vision triangle easements as shown on Lots 1 and 4 of this CSM for the purposes of preserving and maintaining a clear field of vision for the standpoint of motorists, over and across such areas. The rights of the Village and the rights of Kenosha County, as it pertains to County Highway EZ, pursuant to these easements shall take precedence over the rights of any other persons, associations or entities in these Vision Triangle Easement Areas.

6. The grading associated with the construction of the roadway, 114th Place, and the retention facility will be graded as part of the Phase I Required Public Improvements. In addition, the grading required for the landscape berm proposed on the Easement on Lot 4 and the grading within the utility easements shall be completed by the Developer as a part of the Phase I Required Public Improvements.

7. The following specific grading areas shall be established for each of the lots of the proposed CSM that the individual home owner will be responsible for as a part of the new home building process:

(1.) Lot 1: No grading or retaining walls shall be located outside the Limited Building Areas and Limited driveway access areas.

(2.) Lot 2: No grading or retaining walls shall be located outside the Limited Building Areas and Limited driveway access areas.

(3.) Lot 3: No grading or retaining walls shall be located within any Utility Easements; Dedicated Storm Water Drainage, Detention and Maintenance Easement; and/or within 75 feet of the Ordinary High Water Mark of Tobin Creek.

(4.) Lot 4: No grading or retaining walls shall be located within any Utility Easements; Dedicated Sign, Landscape, Access and Maintenance Easement; and/or within 75 feet of the Ordinary High Water Mark of Tobin Creek.

8. Each individual lot owner shall be responsible for all detailed engineering costs to prepare the required detailed grading and drainage plan and the costs associated with the grading and stabilizing of the land including the construction of any retaining walls. The detailed grading and drainage plan shall be prepared by a Wisconsin Registered Professional Engineer and reviewed and approved by the Village Engineer prior to submitting the required building, zoning and erosion control permits to the Village to build a home on one of these lots. In turn, this will also allow each property owner to customize the building and grading plans for each individual lot to take advantage of the topography and the wooded areas on the lots.

9. Prior to submitting plans for the required building, zoning, and erosion control permits for each single family home, a professional engineer, licensed in Wisconsin, shall prepare a detailed grading plan that has been reviewed and approved by the Developers Engineer and then shall be submitted to the Village Engineer for review and approval. All of the Village staff time to review said detailed grading plan will be billed to the property owner and shall be promptly paid upon receipt of an invoice from the Village.

10. Grading shall be done within the specific areas as specifically described above for each lot.

11. All excess dirt and spoils shall be removed from each lot after the foundation is installed and backfilled. If the excess dirt is proposed to be placed on another property within the Village of Pleasant Prairie, an erosion control permit shall be issued for that property.

12. No utility boxes shall be placed forward of a single family home (between the home and the dedicated roadway) and depending on the location of the boxes additional landscaping may be required to be installed as a part of the Phase 2 Required Public Improvements.

13. All underground gas and electric utilities shall be installed prior to the acceptance of first phase of public improvements. Therefore, all grading within the Utility Easements shall be completed as a part of Phase I Required Public Improvements.

14. The current Village requirement related to providing a master grading plan with elevations every 25 feet along the property lines and drainage swales will not be required; however, the detailed grading and drainage plan shall be required. The detailed grading plans shall be prepared by the Wisconsin Licensed Engineer, shall include all of the plat of survey information required to obtain a building, zoning and erosion control permit at a minimum the following additional information.

(1.) The location of trees greater than 6 inches in diameter as measured 3 feet above the grade that are proposed to be removed on the lot. (Note: The trees to be removed shall be clearly marked in the field for any required on-site inspection.)

(2.) Existing and proposed detailed contours every one foot on the lot.

(3.) Location and details for any required retaining walls proposed.

(4.) Swale locations, direction of drainage and detailed elevations.

(5.) Calculations as may be determined to be required by the Developers Engineer or the Village upon the review of the detailed grading plan.

(6.) If any sloping easements are needed for the common lot line between Lots 3 and 4, then said easements shall be executed prior to issuance of any permits.

(7.) Any other information required by the Developer and/or the Village to evaluate the grading plans and ensure that the adjacent properties will not be adversely affective.

10. Prior to issuance of any building, zoning, and erosion control permits for a new single family home, the owners shall sign an Indemnification Agreement that indemnifies the Village for any failure of the detailed grading design since a detailed grading plan was completed on a lot by lot basis at the time individual permits were sought.

11. Prior to obtaining occupancy for any new home, the required as-built survey shall be submitted showing that the lot complies with the approved grading and drainage plan. This plat of survey shall include the proposed grading as approved by the Village prior to construction and the final grading of the site upon completion of the grading on the site.

*Peter S. Gordon*  
5-17-2005  
*revised 3-29-2006*

