

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39th AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
OCTOBER 10, 2016**

AGENDA

1. Call to Order.
2. Roll Call.
3. Correspondence.
4. Citizen Comments.
5. New Business.
 - A. **PUBLIC HEARING AND CONSIDERATION OF A CONCEPTUAL PLAN** for the request of Peter Molter, agent for St. Catherine's Hospital for an approximate 194,888 square foot expansion of the Hospital located at 9555 76th Street for an Advance Outpatient Surgical Wing for the United Hospital System.
 - B. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING PRELIMINARY SITE AND OPERATIONAL PLANS** for the request of Dixit Patel, on behalf of VIDHYA Corp, VIII, Inc., the property owners related to a Dunkin Donuts (with a drive-thru) proposed to be located within the BP Amoco convenience store located at 10477 120th Avenue.
 - C. **PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AMENDMENT** for the request of Dixit Patel, on behalf of VIDHYA Corp, VIII, Inc., the property owners to amend the BP-Amoco Planned Unit Development (Chapter 420 Attachment, Appendix C Specific Development Plan 10) related to the specific zoning regulations for the installation of the drive thru facility for Dunkin Donuts (proposed to be located within the BP Amoco convenience store located at 10477 120th Avenue for BP Amoco.
 - D. Consider the request of Matt Carey, P.E. with Pinnacle Engineering, for approval of the **Recession of Trans 233 Restriction from Certified Survey Map 2273** related to the vacant property on the southwest corner of STH 31 and 108th Street in LakeView Corporate Park.
6. Adjourn.

It is possible that members and possibly a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above.

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39th Avenue, Pleasant Prairie, WI (262) 694-1400.

- A. **PUBLIC HEARING AND CONSIDERATION OF A CONCEPTUAL PLAN** for the request of Peter Molter, agent for St. Catherine's Hospital for an approximate 194,888 square foot expansion of the Hospital located at 9555 76th Street for an Advance Outpatient Surgical Wing for the United Hospital System.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Conceptual Plan** subject to the comments and conditions of the Village Staff Report of October 10, 2016.

VILLAGE STAFF REPORT OF OCTOBER 10, 2016

CONSIDERATION OF A CONCEPTUAL PLAN for the request of Peter Molter, agent for St. Catherine's Hospital for an approximate 194,888 square foot expansion of the Hospital located at 9555 76th Street for an Advance Outpatient Surgical Wing for the United Hospital System.

The petitioner is requesting approval of a Conceptual Plan for an approximate 194,888 square foot expansion of the St. Catherine's Hospital located at 9555 76th Street for an Advance Outpatient Surgical Wing for the United Hospital System.

In 2001, a Site and Operations Plan was submitted by United Hospital System for the development of a regional medical center campus consisting of an acute-care hospital facility and medical offices on a 50- acre parcel of land in the Prairie Ridge development in Pleasant Prairie. Through an expansion project in 2008, additional capacity was added to the hospital facility and in 2010 a medical office building was added to the campus. Though not anticipated in the 2001 Site and Operations Plan, this Master Campus Conceptual Plan incorporates an addition to the hospital facility primarily to house the Advanced Outpatient Surgical Wing of United Hospital System.

The facility expansion for the Advanced Outpatient Surgical Wing of United Hospital System is intended to be used for same-day/ambulatory/outpatient surgical procedures and will have the full support and resources of the main acute-care hospital readily available in the event a patient experiences an unexpected emergency condition. This approach for less-than-24-hour surgery stays differs from that of a typical free-standing ambulatory surgery center where, due to lack of sufficient resources, emergency events are usually addressed with a "911" call to summon an ambulance to transport the affected patient to a hospital or regional medical center, such as the St. Catherine's Medical Center Campus. For example, in the event a patient in the Advanced Outpatient Surgical Wing experiences a stroke or heart attack during his/her less-than-24-hour stay, emergency staff and support from the hospital will respond and immediately address the patient's needs, following which the patient will be transferred to an appropriate location within the main hospital. In reality, the expansion will combine the convenience of an ambulatory surgery center with the safety of an acute-care hospital setting.

The proposed 61,941 square foot first floor space of the expansion will feature: an open-design lobby, lounge and cafe; a courtyard; registration and waiting areas; private preoperative suites with toilet rooms; at least eight new surgical suites; and recovery areas. Easy access to the Advanced Outpatient Surgical Wing will be provided via a separate entrance which features a protected patient drop-off and pick-up vehicle bay to minimize exposure to nature's elements. In addition, easy access to the main hospital building will be available for visitors through a convenient enclosed walkway, as well as through internal corridors for staff and patients, if and when needed, to access the support services of the main hospital facility. This access allows for the direct transfer of a patient from the new Surgical Wing to the acute care/inpatient hospital without the need for ambulance transport. Support areas for the surgical facility will be housed in a 46,653 square foot new lower level, along with a relocated receiving dock and trash enclosure. The 40,448 square foot second floor, and the 22,923 square foot third and fourth floors of the building will ultimately house various outpatient services.

Staffing for this 194,888 square foot addition will likely add approximately 100 to 125 employees with full build-out.

The facility addition will integrate into the existing facility architecture using the same natural materials that are used on the existing building including the brick details and stone

work. In addition, the building will use similar glass and rooflines to match up to the existing buildings. Existing internal site roads on the campus, including those for truck traffic, will be modified as a result of this addition and additional surface parking will added. Storm water will be distributed into the existing storm water management plan for the Prairie Ridge development. On site utilities, such as water, sanitary sewers and electrical service, will be rerouted, but contained on site. The campus will have full fire protection throughout and include new fire hydrants, fire alarm system components and sprinkler systems. Existing security system including access control and exterior cameras will be expanded from the current systems.

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Conceptual Plan** subject to the above comments and the following conditions:

1. The Conceptual Plan approval will be valid for a period of one (1) year. Prior to the expiration of the Conceptual Plan, the developer will be required to submit the Site and Operational Plan application [or Preliminary Site and Operational Plans if, applicable] applications and required documents for Plan Commission consideration.
2. The Conceptual Plan was reviewed for compliance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and detailed engineering plans are prepared and reviewed.
3. Detailed Site and Operational Plans are required to be submitted for review and approval prior to any development pursuant to Article IX of the Village Zoning Ordinance. If the petitioner proposes to apply for a Preliminary Site and Operational Plans for grading, installation of underground utilities and footing and foundations then Site and Operational Plans can be approved in a two-step process. Final Site and Operational Plan approval is required to construct the shell of the addition. If the interior building design plans are not complete but the building shell is designed, the Final Site and Operational Plans could be submitted in phases as well. Further discussion may be warranted.
4. The following changes and comments listed in this memo shall be made and incorporated into the required Site and Operational Plans:
 - a. Government Agency contact information (**attached**) shall be placed on the cover or index sheet of the plans.
 - b. Detailed site civil engineering plans shall be submitted for review and approval.
 - c. The site is serviced by a downstream regional retention facility located at the southeast corner of 100th Avenue and Prairie Ridge Boulevard.
 - d. As part of the overall future development site plan, internal storm sewer conceptual layout, sizes, and storm sewer connection location(s) shall be provided and identified. The overall master storm sewer routing, capacity, and design is unclear.
 - e. All exits must be numbered, visible from inside and outside of the structure. The numbering sequence should begin on the front of the building and move in a clockwise direction around the remaining portions of the building.

- f. Complete an evaluation of existing parking lots to determine if number the of parking spaces is adequate – show in a parking chart on the plans.
- g. Show the missing parking spaces in the southwest parking lot and the future 160 surface parking lot in the southeast corner of the site.
- h. There shall be no patient, employee or delivery parking permitted on public streets. On-site (off-street) parking shall be designed to accommodate all employees, visitors, patients and deliveries.
- i. Curb and gutter with storm sewer shall be provided in all new parking and driveway areas.
- j. Interconnected sidewalks from building to parking areas and nearby sidewalks shall be provided.
- k. Minimum setbacks of 10 feet shall be maintained between parking lots and western private loop road. (too close)
- l. Minimum setbacks of 20 feet shall be maintained between the parking lot and 76th Street (too close).
- m. Minimum setback of 10 feet shall be maintained between parking lot and the new expansion area at the southwest corner of the building.
- a. Building Architecture and Signage:
 - i. Can any additional screening be provided for loading dock area?
 - ii. Provide sample construction materials for building and retaining wall.
 - iii. Detailed signage plan for all site signage shall be provided for review and approval. Upon review of the proposed signage the existing PUD for St. Catherine’s Hospital may need to be amended. If the PUD is proposed to be amended this application shall be submitted with the Final Site and Operational Plans.
 - iv. The temporary relocation of on-site signage (e.g. directional signs) is acceptable without permits. All construction-related relocated signs shall be placed back to their appropriate locations post-construction.
- b. Landscaping Plans:
 - i. Detailed landscaping plan is required for expansion area. Berm with plantings shall be extended along 94th Avenue adjacent to proposed future parking area and more extensive plantings shall screen headlights for parking lot abutting 76th Street.
 - ii. Public street trees in 76th Street that are dead or damaged shall have branches trimmed/pruned. Note on the Plans.
 - iii. Landscaping islands shall be added to the northwest parking lot – at least three island areas shall be added.
 - iv. Screening will be required for any rooftop mounted equipment that is clearly visible from public roadways, depending on the scale, height and visibility of the mechanical equipment. The project architect or engineer shall present information and/or drawings to the Village to facilitate the Village staff's evaluation of the necessity and degree of any potential required rooftop equipment screening.

- v. Any proposed ground-mounted mechanical units shall be screened with a solid masonry wall or with a solid, evergreen vegetative screen.
 - vi. All landscaped areas will be required to be irrigated with a private sprinkler system. Such system shall be operational and used on a regular basis to water the plantings/grassy areas.
 - vii. The base map for these landscape plans shall include the approved grading plan.
 - viii. Landscaping and parking lot islands will be required pursuant to the Village Ordinance requirements. In particular, landscaping between parking areas and roadways shall comply with Section 420-57 J (2) (d) of the Village Zoning Ordinance that states "*Parking lots associated with manufacturing, business or institutional uses shall be screened from public rights-of-way and/or residential zoning districts located within 50 feet of such parking lots; such screening shall be installed in close proximity to the parking lot and shall be 75% opaque to a height of at least four (4) feet above the grade of the nearest edge of such parking lot within three (3) years of installation and may consist of shrubs and trees, an appropriately landscaped undulating berm...*".
- c. Lighting Plans:
- i. All parking lot and building lighting fixture/poles shall be the same or similar to the existing fixtures.
 - ii. All exterior lot and building lighting shall be LED and Dark Sky compliant with a color temperature between 4000K-5000K.
 - iii. Details (cut sheet details) of the proposed exterior lighting on the building, in the parking areas shall be provided with each detained Site and Operational Plan. In addition, provide a photometric plan to ensure proper lighting levels at the property boundaries as required by Article IX of the Village Zoning Ordinance. Concrete bases shall not exceed 18 inches above grade and shall be located in landscape island areas.
 - iv. All related lighting associated with this project and site shall be directed downwards and shall not glare onto adjacent properties or public roadways.
- d. A Digital Security Imaging System is required for the development in compliance with Chapter 410 Security Ordinance.
- e. Details of the dumpster enclosures shall be provided on the required Site and Operational Plans. The dumpster enclosure(s) shall be constructed of the same attractive brick, block or stone materials as the building and be attached to the building with sturdy well-constructed and closable gates. Detached garbage enclosures are not allowed. A wooden fence enclosure is not allowed. Dumpster height and size, sample materials, doors and paint colors of the dumpster enclosure(s) details shall be shown on the plans.
- f. Compliance with the **attached** memorandum from the Fire & Rescue Department dated October 7, 2016. In addition, when specific plans are submitted, detailed and more specific comments will be provided by all Village Departments as part of the required Site and Operational Plans review and approval process.

- g. Compliance with the **attached** memorandum from the Building Inspection Department dated October 7, 2016.
- h. Each handicapped parking space shall be appropriately signed (locations to be reviewed with planning staff) and painted on the pavement (same color for all development) pursuant to ADA requirements prior to occupancy of any development site. Show on the signage detail plan.
- i. Exterior cameras shall be installed pursuant to the Village's Security Ordinance #410 –live connection to the Police Department.
- j. Provide a phasing plan/timing for construction activities and proposed occupancy of the expansion.
- k. Provide a phasing plan for new employment.
- l. A material sample board is required to be submitted for Village review and approval.

Other Comments:

- 5. Site and Operational Plan application and plans shall be submitted. As noted above a Preliminary Site and Operational Plan application and plans may be submitted for approval by the Plan Commission for site grading, underground utilities and footing and foundation approval. In addition to these applications the required Industrial Waste Survey shall be submitted with the application.
- 6. Upon review of the proposed signage the existing PUD for St. Catherine's Hospital may need to be amended. If the PUD is proposed to be amended this application shall be submitted with the Final Site and Operational Plans.
- 7. With each approval, Prairie Ridge Commercial Owner's Association approval is required to be submitted. The Association has approved the Conceptual Plan.
- 8. Building permits shall not be obtained until approval of the Final Site and Operational Plans.
- 9. Prior to issuance of the building permits, provide a copy of the City of Kenosha Airport Height Overlay Site Plan approval letter to the Village.
- 10. An annual Business License will be required for all businesses in the Village beginning in 2017. A notices for such license will be sent to all existing businesses in November 2016.
- 11. Municipal connection fees shall be paid prior to the connections of each building to the sanitary sewer system.
- 12. Impact fees shall be paid prior to issuance of the building permit. (Currently based upon \$1.94 per \$1,000 of valuation as determined by an analysis of the State approved plans by the Village Assessing Department).
- 13. A Pre-construction meeting shall be required and coordinated through the Community Development Department prior to earth movement.
- 14. Construction job trailer locations shall be approved by the Village. The job trailer shall be externally lighted.
- 15. Construction site shall be enclosed by a 6 foot high cyclone fence with locking gates.
- 16. A security camera is recommended during construction.

17. Prior to commencing any trenching/excavating, the property owner shall contact Diggers Hotline to have all underground utilities located.
18. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be limited to Monday through Friday from 7:00 a.m. to 9:00 p.m. and Saturday and Sunday from 8:00 a.m. to 6:00 p.m.
19. After footings and foundations are installed for each building and prior to framing or construction of walls, an as-built survey stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building setbacks have been met.
20. The architect/professional engineer shall submit Compliance Statements to the State prior to the required final inspection with the Village Fire & Rescue and Inspection Departments. Copies of State Compliance Statements are required to be provided to the Village Inspection Superintendent prior to occupancy.
21. Prior to occupancy, all final grading, landscaping and site work shall be completed prior to any occupancy. If the landscaping is not completed when occupancy is requested, then the owner shall post an irrevocable bond with the Village in the amount of the cost of the approved landscaping to give the Village an assurance that the landscaping will be installed.
22. Prior to occupancy, all required landscaping and screening for the buildings and signage shall be installed. Written letters of verification and certification shall be provided to the Village Community Development Department by the landscape and signage contractors that all landscaping and building and signage has been installed in accordance with the approved landscape and signage plans prior to occupancy.

However, if weather conditions prevent installation of all or portions of the landscape materials, the developer, owner or occupant shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and grants the Village a temporary easement to complete the landscaping if not timely completed. The developer/owner/occupant shall deposit with the Village Clerk a cash deposit, an irrevocable letter of credit, or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping. The amount of the financial assurance shall be equal to 110% of the contracted amount to complete the landscaping improvements in order to reasonably compensate the Village for the cost of completion of any landscaping improvements not completed within the specified time.
23. Prior to occupancy three (3) copies of an as-built plan, stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building, monument signage, above ground structures and all impervious surfaces meet the minimum setbacks and that all site signage and pavement markings were installed per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans.
24. Prior to occupancy of any building an as-built record drawing of graphical data of all private sewer, water, and storm sewer facilities and underground irrigation systems installed shall be provided to the Village for the Village to update the Village's Geographic Informational System. Information shall conform to the Village's electronic format requirements. In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.

25. The development shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/dismantled/unlicensed vehicles that are parked overnight will be issued citations. No overnight parking of vehicles or trucks in the parking lot shall be allowed.
26. At no time shall any site within the development be used to sell or advertise any vehicles that are "for sale".
27. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.
28. All landscaped, green areas, including berms, shall be maintained with a mowed, manicured grass. A "prairie grass" appearance or "natural" appearance is not permitted.
29. There shall be no outside banners, inflatable signage, flags or streamers, strings of pennants, affixed or attached to the building(s), light poles, ground or landscaping, etc.
30. Real Estate Marketing Signs and/or Temporary Development Signs are permitted only by permit.
31. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited. Outdoor storage of any materials is prohibited.
32. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
33. This development shall be in compliance with the Village Land Division and Development Control Ordinance, the Village Municipal and Zoning Codes, the Village Construction Site Maintenance and Erosion Control Ordinance and the State of Wisconsin Statutes.
34. All Village fees incurred by the Village Community Development Department, Village Engineering Department and/or expert Assistants/Consultants/Attorneys required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.

Governing Agency Contacts

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1/20/16

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Office of the
Chief of Fire & Rescue
Doug McElmury

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue
CC: Craig Roepke, Deputy Chief Fire & Rescue
Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Fire Department review of Conceptual Plan for the St. Catherine's Surgical Addition
DATE: October 7, 2016

These are initial comments for the Conceptual Plans received for the St. Catherine's Surgical Addition located at 9555 76th St. in Pleasant Prairie.

The Fire and Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. Based on the limited information and conceptual plans submitted, the Fire & Rescue Department have the following comments regarding the site:

Distribution of Comments: the person who obtains the building permit to all contractors and subcontractors affected by this document shall distribute copies of these comments. This document outlines critical times and deadlines. All recipients of this document must become familiar with the contents.

IT IS CRITICAL THAT ALL CONTRACTORS SPECIFICALLY FIRE SPRINKLER & ALARM DESIGNERS AND INSTALLERS RECEIVE AND UNDERSTAND THE CONTENT OF THIS DOCUMENT.

Compliance: A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.

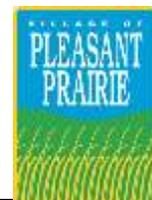
Conflicts: In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State of Wisconsin and/or the Village of Pleasant Prairie where applicable.

Fire Safety System Plans: such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.

**FIRE ALARM AND SPRINKLER PLANS ARE A SEPARATE SUBMITTAL TO THE FIRE DEPARTMENT.
DUE TO CONSTRUCTION AND TIME CONSTRAINTS FIRE PROTECTION SUBMITTALS MAY AND ARE TYPICALLY
BROKEN INTO AN UNDERGROUND SUBMITTAL AND AN ABOVE GROUND SUBMITTAL.**

INFORMATION REGARDING PLAN SUBMITTAL CAN BE FOUND AT

<http://www.pleasantprairieonline.com/services/fireandrescue/ForContractors.asp>



Pre-Construction Meeting: A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire and Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Safety and Professional Services.

1. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2009 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.
 - a. All entrances from public streets, as well as road and driveways around the proposed building must be a minimum of 30 feet wide. All roadways and fire lanes must be unobstructed and not used any part as a parking area for automobiles or trucks/trailers.
 - b. All exterior exit pathways as well as access to the Fire Pump room shall have a hard surface, leading to a hard surface. This includes all exit doors from the facility.
 - c. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.
 - d. There shall be Knox padlocks or Knox key switches on all gates on site. The Fire & Rescue Department will review the proper placement and operation of the Knox system locks.
2. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.
3. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.
4. **Review and Comments:** At such time more information is provided for this project, the Fire Department will review and comment on the following areas outlined below.
 - A. Site and Operational Permits
 1. Site accessibility (Plans provided do not specific clearances or distances)
 2. Fire Pump Location
 3. Pumper Pad
 4. Fire hydrant spacing
 - B. Conditional Use and Operational
 1. Standpipe outlet locations
 2. Fire alarm pull stations
 3. Emergency and Exit Lighting
 4. Fire extinguishers
5. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
6. **Permit fees:** must be paid at time of submission for review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks

The following fees and permits are generated directly from the Fire & Rescue Department.

- a. Bulk water Usage
- b. Fire Protection Plans for Underground and Aboveground
- c. Fire Alarm System Plans
- d. Kitchen Hood Systems Plans

NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.

7. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.
8. **Hazardous Occupancies:** Should there be identified hazard occupancies with this project, the Fire & Rescue Department will need more than the typical four week time period to review potential Hazardous Occupancies. The owner must contact the Fire & Rescue Department as soon as possible to begin the review process.
9. **Exterior Doors:** All outside doors must have access to the interior. Such as a lock and handle provided at each door.
10. **AED:** Because of the overall building size and occupancy type, the owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee and public use in the event of a sudden cardiac arrest. The Fire and Rescue Department can provide the training necessary to perform CPR and to operate the AED.
11. **Storage:** Maximum height, width and aisle ways and egress pathways must be maintained and will be enforced. The same concerns apply to the storage of quantities of combustibles (plastics and cardboard) and other storage of flammable liquids or chemicals must also be properly identified, placarded and stored.
12. **Elevators:** must comply with Village of Pleasant Prairie Ordinance 180-20, including acceptable minimum size and emergency notification.
13. **Severe Weather Shelter:** The architect shall identify the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado. That area will be identified with signage.
14. **On Premise Secure Key System:** Knox Company Rapid Entry System, "Knox Boxes" shall be provided for the building addition, quantity and locations to be determined during the Pre-construction meeting.. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.
15. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken. The company providing the fire extinguishers shall submit a letter to the Fire and Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
16. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled.
17. **Sprinkler System:** The building is equipped with an "automatic fire sprinkler system". The systems shall be designed and constructed to the current printed edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers. Confirm NFPA edition with the Fire Department prior to system design
18. **The following information must be submitted with the sprinkler plans for review:**
 - Building height:
 - Number of stories/floors:
 - Mezzanines:
 - Elevators:
 - Hazard class:
 - Commodity Class:
 - Exterior storage:
 - Fire protection:
19. **Fire Hydrants:** The fire hydrants shall meet the Village of Pleasant Prairie hydrant specification including the 5" storz connection. Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches. The Fire Department connections shall be located, and of sufficient height where typical snow fall or snow removal operations will not obstruct access. *(Refer to Appendix A for hydrant detail)*

20. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA–National Fire Code) Standard 24 and witnessed by the Fire Chief and or the Chief's representative, the installing contractor and the fire sprinkler contractor at a minimum.
21. **Fire hydrant / water main flushing:** can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a 'clean water sample' on this site.
22. **Pumper Pad:** There shall be dedicated space for a fire engine to have unobstructed access to the Pumper Pad. The conceptual plan shows the Pumper Pad in a location that will need to be changed due to traffic patterns. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant. The Fire Department connection shall be constructed along with an underground drain with access for inspection. Both the fire department sprinkler connection and the fire hydrant, (pumper pad), shall be installed remote from the building(s) and located a minimum distance from the building equal to the highest wall. *(Refer to Appendix A for FDC detail)*
- NOTE:** *The Fire Department Connection riser shall include a single five (5) inch Storz fitting.*
23. **Bollards:** Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) that are subject to damage. Bollards shall be 6 inches in diameter. Bollards shall not obstruct charged fire hoses. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.
24. **Standpipes:** In lieu of 1.5 inch hose stations, the building shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve. The standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob. Village Ordinance 180.16 G.
25. **Strobe Light:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16(m) of the Sprinkler Ordinance. A strobe light(s) shall also be provided, visible from the pumper pad to indicate a fire pump run and/or a waterflow alarm, with signage installed under each strobe light. This is typically installed in proximity to the pump/riser room service door. *(Refer to Appendix A for Strobe & Bell detail)*
26. **Fire Alarm System:** There shall be a full function remote annunciator installed. Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system. The systems shall be designed and constructed to the current printed edition of NFPA 72. Confirm NFPA edition with the Fire Department prior to system design
- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
 - b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
 - c. **Smoke and Heat Detection:** Shall be installed as required.
 - d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
 - e. **Duct Detectors:** Duct detectors shall be programmed as a Supervisory Alarm, not as a fire alarm.
 - f. **Fire Alarm Plans Location:** There shall be a designated location for a set of as-built fire alarm plans near the FACP per NFPA 72.

- g. **FACP Nomenclature:** Confirmation of nomenclature shall be discussed between the Fire Department and the fire alarm program technician prior to any inspections.
- h. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
- i. **Transmission of Fire Alarms.** The method of transmission to central station must be approved by the Fire & Rescue Department. i.e. RF Radio, cellular, VOIP, or other approved technologies.
- j. **FACP Main Panel:** There will be one main fire alarm panel within a building. The system will not be split into two or multiple fire alarm panels interconnected together. (Example: West wing is one panel, East wing is a different panel)
- k. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.

Fire:	Pleasant Prairie Fire & Rescue
Medical:	Pleasant Prairie Fire & Rescue
<u>Phone numbers</u>	
Emergency:	(262) 694-1402
Non-emergency:	(262) 694-7105
Business:	(262) 694-8027

27. **All Hazards Notification System:** Should the owner or tenant plan on the installation of an in-building all hazards notification system (fire, weather, active threat, etc), the fire department must be made aware and the system must meet all NFPA 72 requirements.
28. **Public Safety Radio Coverage:** Provide for adequate radio coverage to public safety service workers, including but not limited to firefighters, and law enforcement officers. For purpose of this section, adequate radio coverage shall include all of the following:
- a) a minimum signal strength of -101 dBm available in 95% of the area of each floor of the building when transmitted from the Public Safety Radio Communications System: and
 - b) A minimum signal strength of -101 dBm received at the Public Safety Radio Communications System when transmitted from 95% of the area of each floor of the building, via portable radio with public safety microphone.
 - c) Channel Performance Criterion (CPC): CPC is the minimum performance level in a faded channel, per TSB-88, clause 4.2. TSB-88 is a "Telecommunications Systems Bulletin" published by the TIA, Telecommunications Industry Association. The performance level is rated using "Delivered Audio Quality". Industry standard DAQ definitions are shown in Table 1.
 - d) DAQ level of three (3) is the minimum performance level which shall be attainable by public safety radio systems in 95% of the area of each floor of a building, via portable radio with public safety microphone

Table 1 - Delivered Audio Quality Definitions

DAQ Delivered Audio Quality	Subjective Performance Description
1	Unusable, speech present but unreadable.

2	Understandable with considerable effort. Frequent repetition due to noise / distortion.
3	Speech understandable with slight effort. Occasional repetition required due to noise / distortion.
3.5	Speech understandable with repetition only rarely required. Some noise / distortion.
4	Speech easily understood. Occasional noise / distortion.
4.5	Speech easily understood. Infrequent noise / distortion.
5	Speech easily understood.

e) The frequency range which must be supported shall be 151.0000 to 160.0000 MHz

Testing Procedures:

- A. Initial Tests. Public safety employees or their designees will perform initial tests. A Certificate of Occupancy shall not be issued to any new structure if the building fails to comply with this section.
- B. Annual Tests. Fire Department personnel in conjunction with inspection procedures will conduct annual tests.

Amplification Systems Allowed

1. Buildings and structures which cannot independently support the required level of radio coverage shall be equipped with any of the following in order to achieve the required adequate radio coverage: a radiating cable system or an internal multiple antenna system with or without FCC type accepted signal booster amplifiers as needed. The installation of equipment as indicated above cannot be detrimental to the operation of the Public Safety Radio System.
2. In the event that a signal booster is employed it shall meet the following minimum requirements:
 - a. be fully encased within a dust resistant case;
 - b. be contained in a National Electrical Manufacturer's Association (NEMA) 4-type waterproof cabinet;
 - c. battery systems used for the emergency power source shall be contained in a NEMA 4-type waterproof cabinet;
 - d. the signal booster system and battery system shall be electrically supervised and monitored by a supervisory service, or shall sound an audible signal at a constantly attended location;
 - e. Have FCC certification prior to installation.

Secondary Power

Emergency responder radio coverage systems shall be provided with an approved secondary source of power conforming to NFPA 72. The secondary power supply shall be capable of operating the emergency responder radio coverage system for a period of at least twenty-four (24) hours. When primary power is lost, the power supply to the emergency responder radio coverage system shall automatically transfer to the secondary power supply.

Field Testing

Fire Department personnel, after providing reasonable notice to the owner or their representative, shall have the right to enter onto the property to conduct field-testing to be certain the required level of radio coverage is present.

29. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
 - a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N if modifications are made to the system.

- b. The fire alarm contractor shall provide the owner with a letter (upon completion of the fire alarm work) stating the fire alarm system, or portion thereof, is "100% operational and built according to the design" if modifications are made to the system.
- c. Copy of contract with fire alarm central monitoring station.
- d. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
- e. Copies of the fire protection underground flushing documents.
- f. Copies of the underground and fire sprinkler hydrostatic test certificates.
- g. Copies of the fire sprinkler operational test certificates.
- h. Copies of the fire alarm test documents.
- i. Copies of other test documents such as, hood/duct, smoke, etc...
- j. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
- k. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
- l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
- m. AED is in place at such time a tenant takes occupancy.
- n. A copy of the Emergency Plan must be submitted to the Fire & Rescue Department before occupancy.

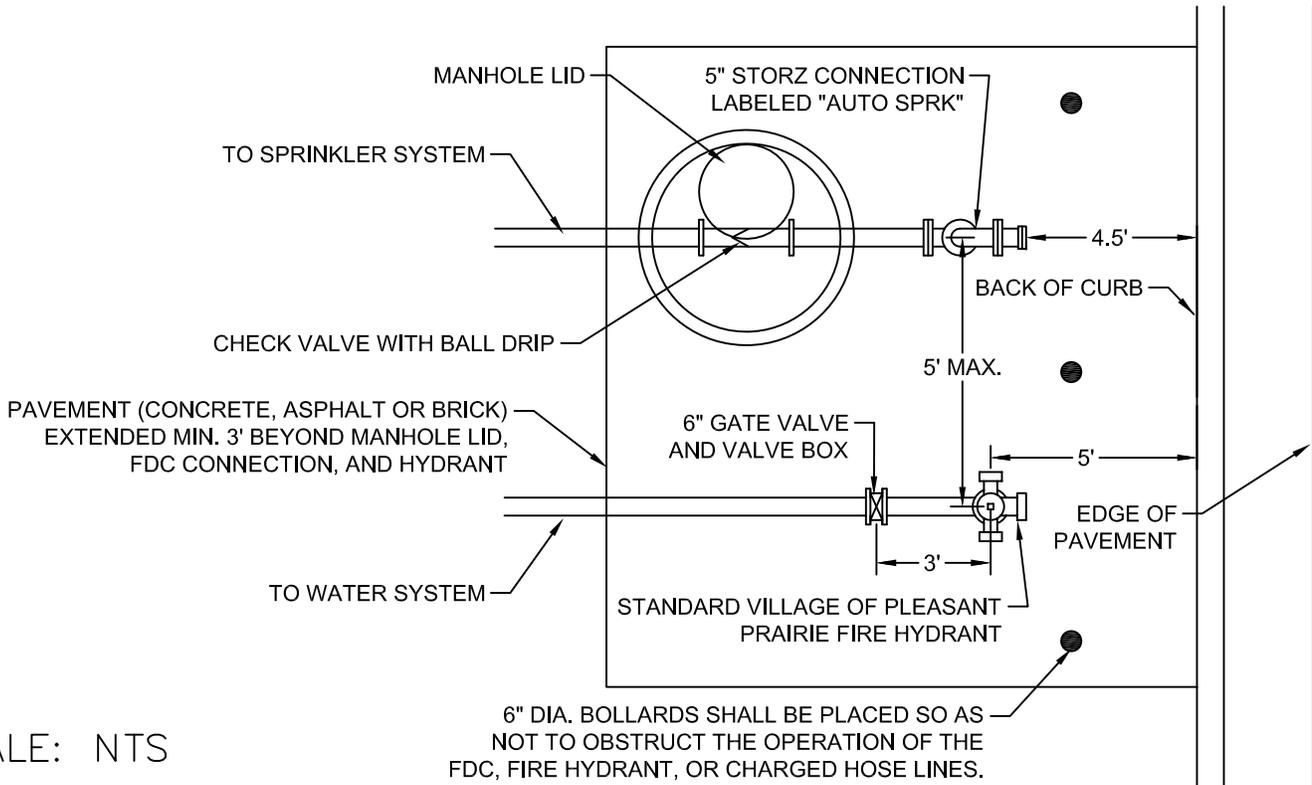
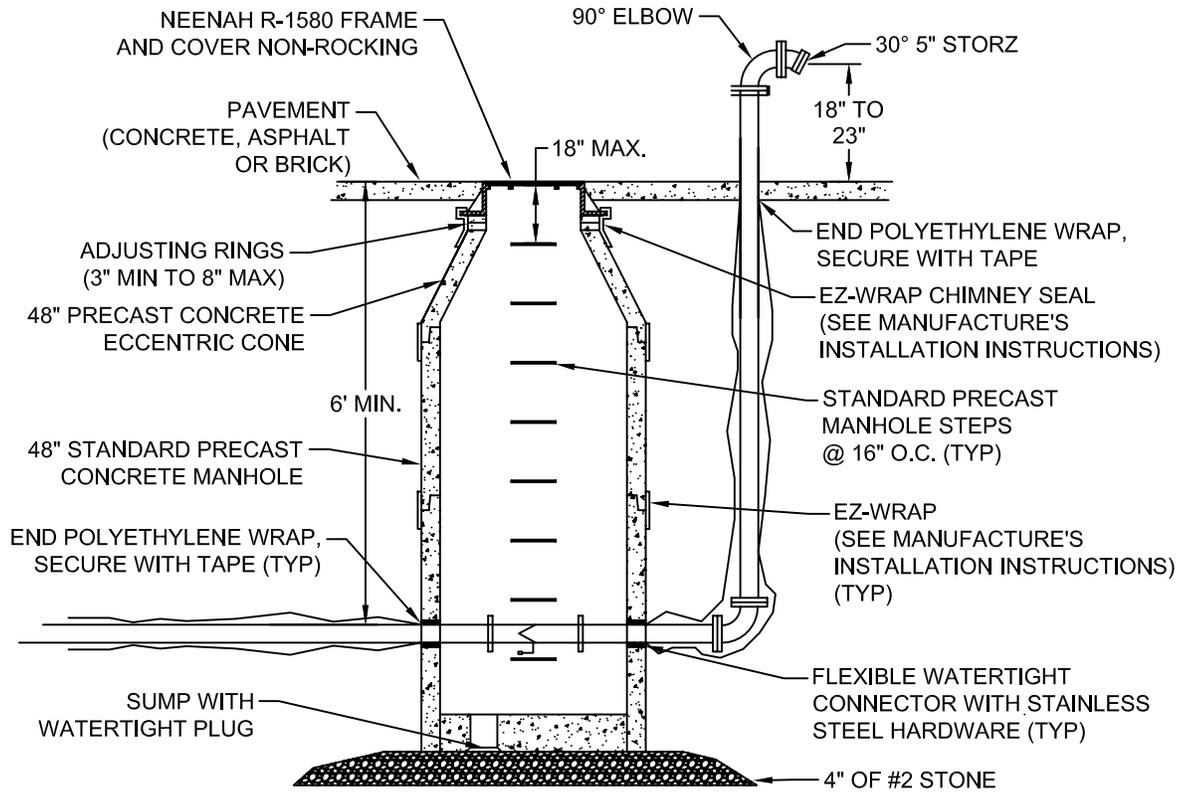
Appendix A

Contents

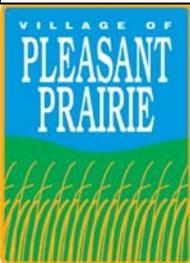
1. Standard pumper pad with hydrant & FDC connection
2. Standard Village Hydrant specifications
3. Standard Exterior Bell & Strobe for Pump/Riser room and/or additional riser locations
4. Knox box (4400) location installation Guide
5. Knox Company – Knox vault 4400 series
6. Strobe – Whelen ISB Series – ISB 120 RED
7. Strobe – Federal Model 131ST RED
8. Pre-Plan Information requirements
9. Emergency Plan components

NOTE:

- SYSTEM SIZING SHALL BE COMPLETED BY A FIRE SUPPRESSION ENGINEER AND APPROVED OF BY THE VILLAGE OF PLEASANT PRAIRIE FIRE DEPARTMENT.
- SYSTEM INSTALLATION MUST BE CONSTRUCTED UNDER THE ONSITE SUPERVISION OF A LICENSED SPRINKLER FITTER.



SCALE: NTS



PUMPER PAD FDC DETAIL

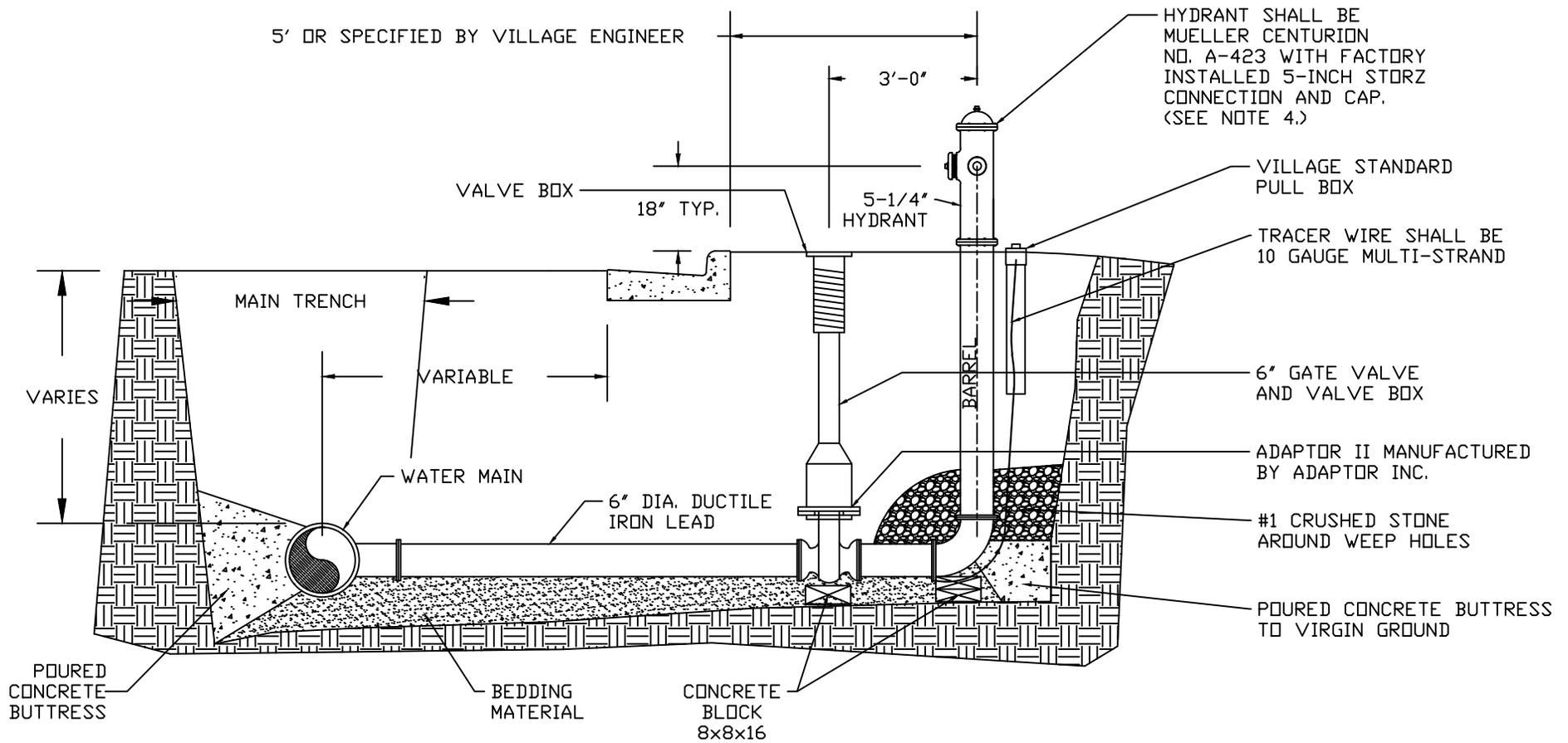
DETAIL: FD - 1

CREATED: 4-16-13

REVISED: 3-2-16

APPROVED BY: D. McELMURY

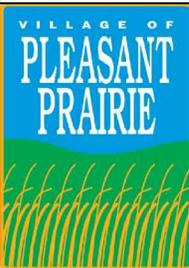




NOTES:

1. MECHANICAL JOINTS FROM TEE TO VALVE AND FROM VALVE TO HYDRANT SHALL BE RESTRAINED WITH MEGALUGS AND STAINLESS STEEL BOLTS.
2. ALL BOLTS SHALL BE STAINLESS STEEL BOLTS.
3. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR WATER MAIN CONSTRUCTION
4. HYDRANT SPECIFICATIONS - 2 EACH 2-1/2 INCH NST NOZZLE, 1 FACTORY INSTALLED 5-INCH STORZ CONNECTION AND CAP MANUFACTURED BY MUELLER.
5. PAINT SPECIFICATION - PLEASE REFER TO VS-0400 OF THE VILLAGE CONSTRUCTION SPECIFICATIONS.

SCALE: NTS



Standard Hydrant Assembly

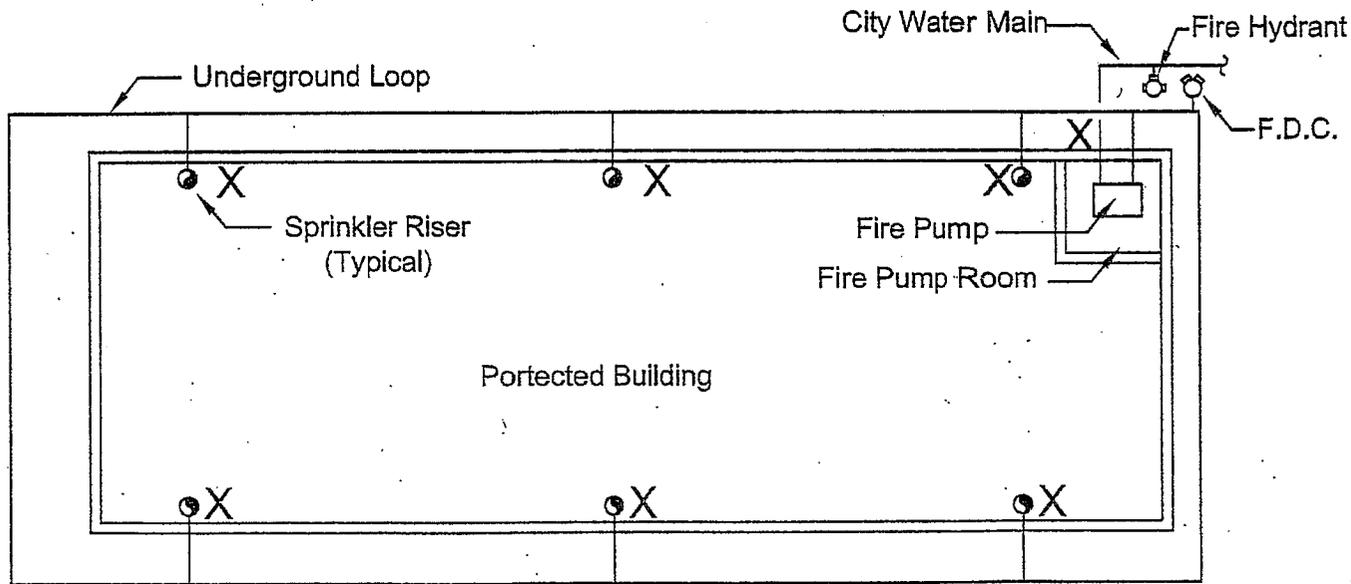
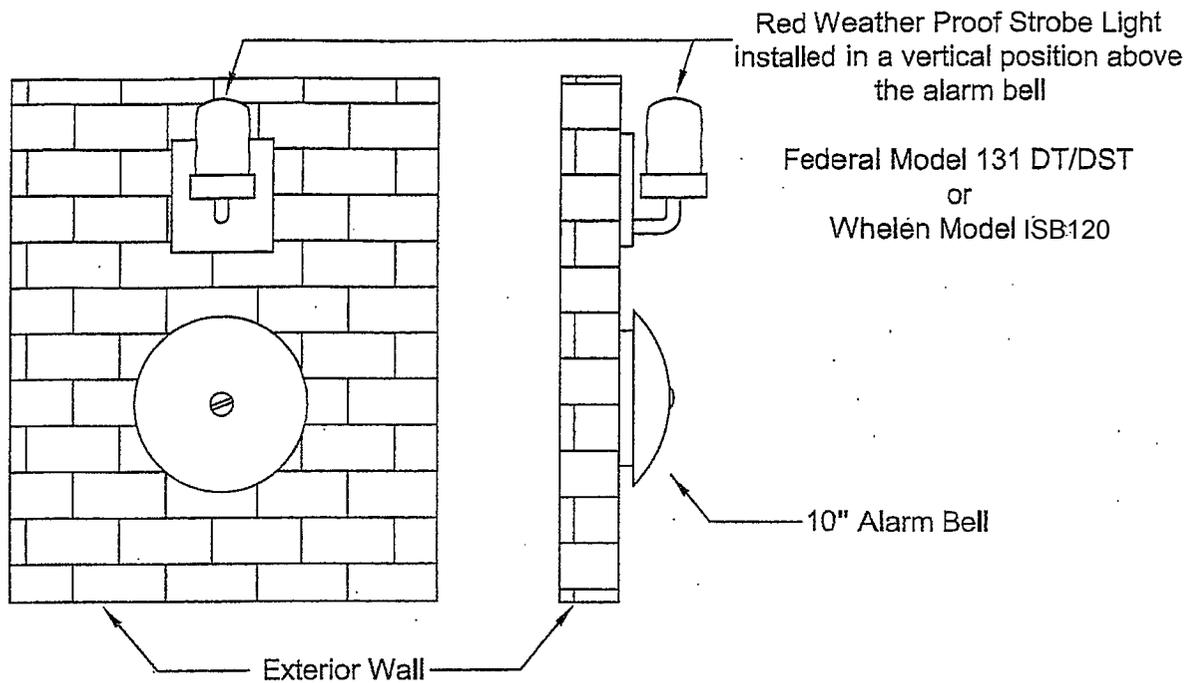
DETAIL: W - 1

CREATED: 11-26-12

REVISED: 1-26-15

APPROVED BY: MATT FINEOUR





X = Required Notification Device Location

Scale: Not to Scale	Notification Device Location Details Ordinance # 180-16 K Village of Pleasant Prairie Fire & Rescue Department 8044 88th Ave Pleasant Prairie Wi. 53158 262-694-8027	Approved By:
Date: 12 / 17 / 2007		Fire Chief Paul Guilbert
Drawn By: M.D.		Drawing Number:
Revised:		FPSK-2
Revised:		
Fire Safety Consultants, Inc. 2420 Alft Lane, B100 Elgin, Illinois. 60124 Ph: 847-697-1300 Fax: 847-697-1310		

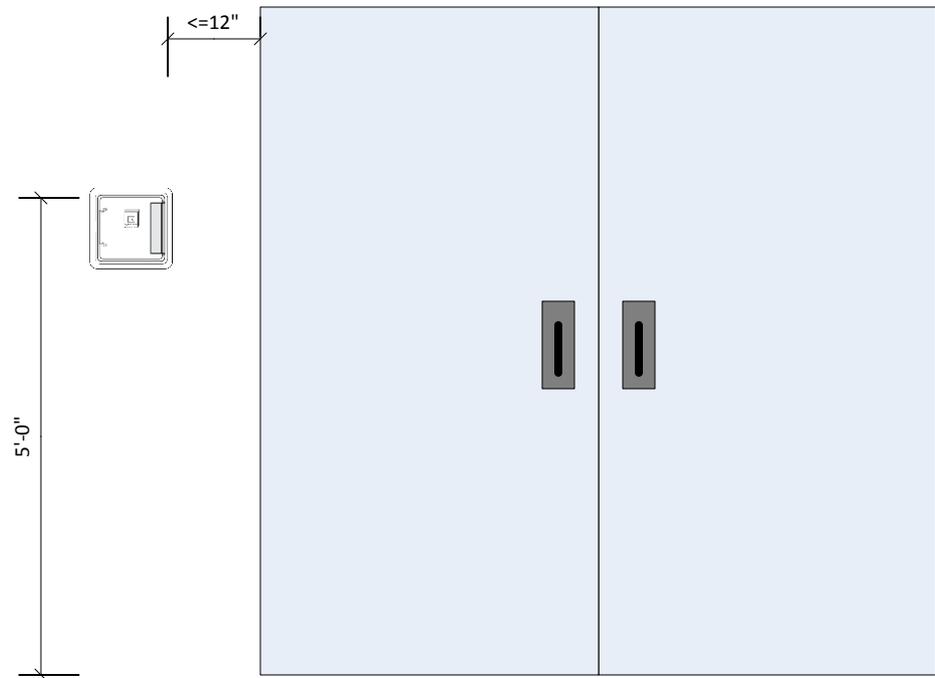
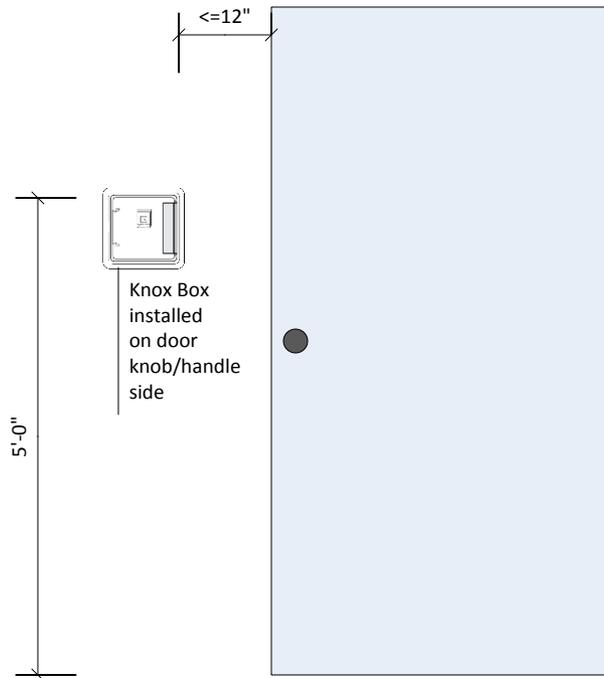
Knox Box Placement Guide

Pleasant Prairie Fire & Rescue
 8044-88th Avenue
 Pleasant Prairie, WI 53158

fireandrescue@plprairie.com
 262.694.8027
 Pleasantprairieonline.com

On Recessed boxes, measurements are taken from box base (inside of flange)

NOTE: To order Knox Boxes – contact the Fire Department. Knox Company will only accept orders from the Fire Department.



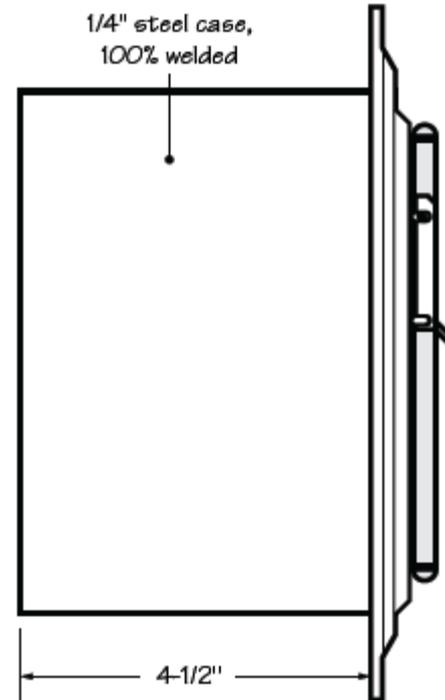
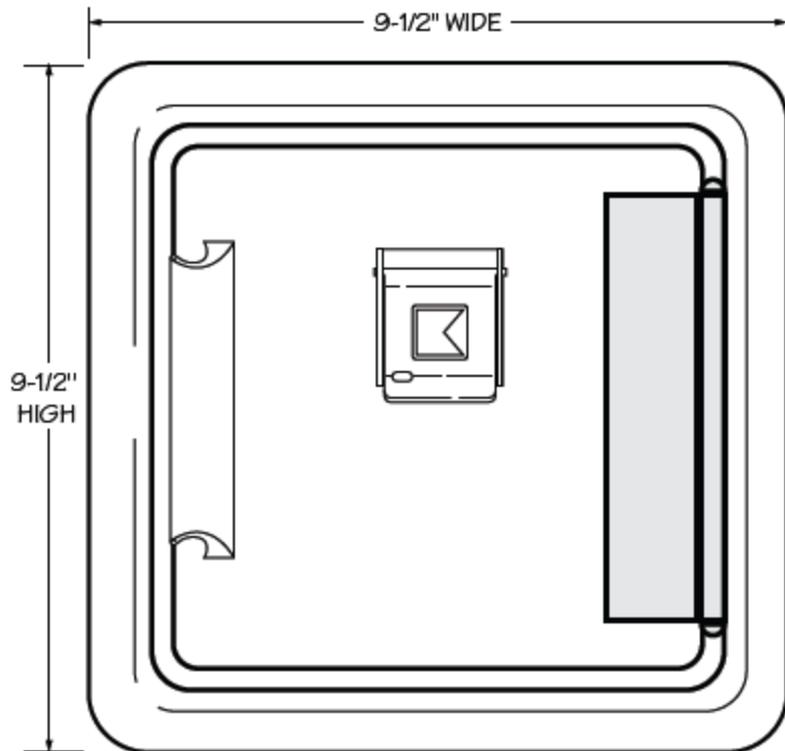
Typical installation locations for single and double doors. Exterior features such as lighting or stairways may alter standard installation locations.

Consult Fire Department prior to installations that may not fit typical locations and/or doorways.



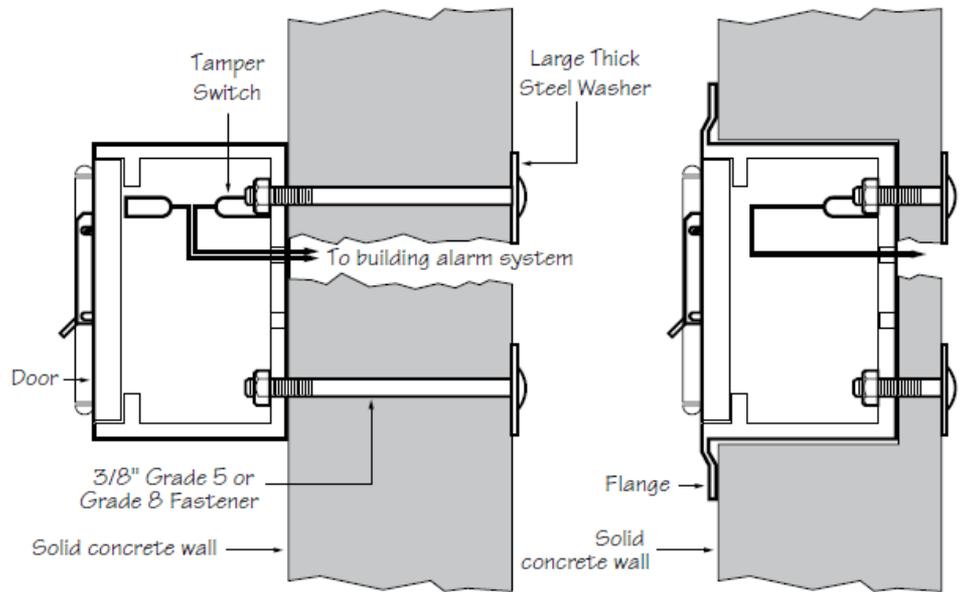
KNOX BOX 4400 PLACEMENT GUIDE		SIZE	FSCM NO	DWG NO	REV
DRAWN	CRAIG ROEPKE			KNOX BOX DOOR PLACEMENT LOCATION	A
ISSUED	2/23/2016	SCALE	1/2" = 1'-0"	SHEET	1 OF 3





KNOX BOX 4400 PLACEMENT GUIDE		SIZE	FSCM NO	DWG NO	REV
DRAWN	CRAIG ROEPKE			KNOX BOX 4400 FRONT/SIDE VIEWS	A
ISSUED	2/23/2016	SCALE	NO SCALE	SHEET	2 OF 3

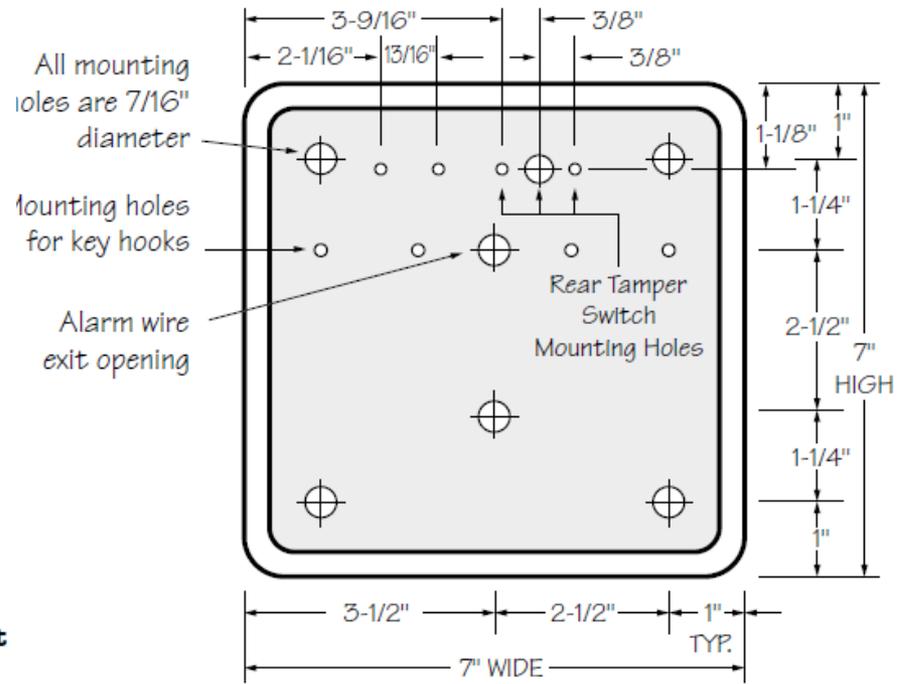




Series 4400 Surface Mount

Series 4400 Recessed Mount

INSIDE VIEW



KNOX BOX 4400 PLACEMENT GUIDE		SIZE	FSCM NO	DWG NO	REV
DRAWN	CRAIG ROEPKE			KNOX BOX MOUNTING & INSIDE VIEW	A
ISSUED	2/23/2016	SCALE	NO SCALE	SHEET	3 OF 3



High Security Industrial/Government Key Vault

Recessed Mount
with Face Flange



Surface Mount
with optional
Tamper Switch



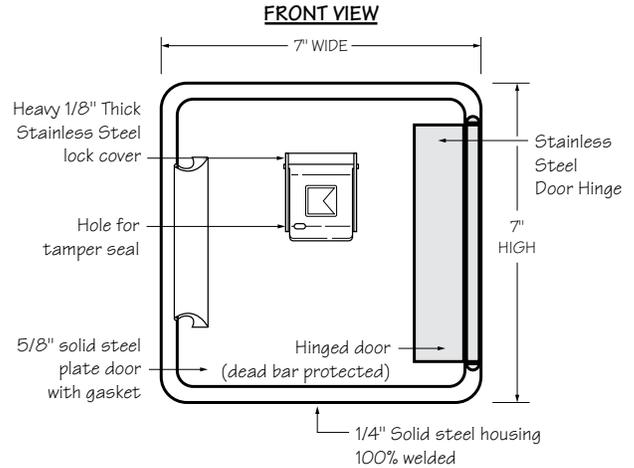
Knox-Vault™ key boxes are used in larger businesses, industrial properties, public buildings and universities. The heavy-duty, high security 4400 Series Knox-Vault protects and stores building keys, access cards and floor plans for emergency entry. The vault also provides secure storage for other internal and external applications.

Features and Benefits

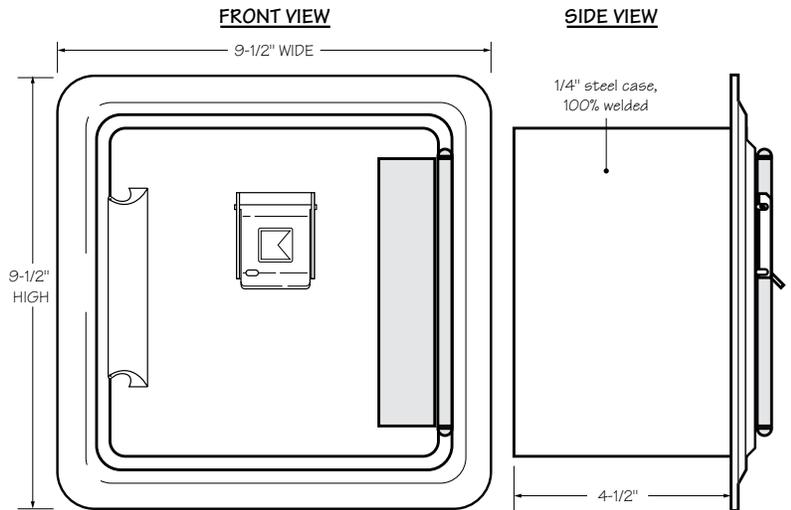
- Holds up to 50 keys in the large interior compartment
- Ensures high security with UL® Listed Medeco lock(s)
- Includes Knox-Coat® that is four times better than standard powder coat
- Resists moist conditions with a weather resistant door gasket
- Colors: Black, Dark Bronze or Aluminum
- Weight: Surface mount - 28 lbs.
Recessed mount - 29 lbs.

Options

- Alarm tamper switches (UL Listed)
- Additional rust and corrosion protection (Aluminization)
- Recessed Mounting Kit (RMK) for recessed models only
- Custom vault depth available
- Dual lock configuration
- Inside switch for use on electrical doors, gates and other electrical equipment



4400 Surface Mount



4400 Recessed Mount

Ordering Specifications

To insure procurement and delivery of the 4400 Series Knox-Vault, it is suggested that the following specification paragraph be used:

KNOX-VAULT surface/recessed mount, with/without UL Listed tamper switches. 1/4" plate steel housing, 5/8" thick steel door with interior gasket seal and stainless steel hinge. Vault and lock UL Listed. Lock has 1/8" thick stainless steel dust cover with tamper seal mounting capability. Vault has anti-theft re-locking mechanism with drill resistant hard-plate lock protector.

Exterior Dimensions: Surface mount - 7"H x 7"W x 5"D
Recessed mount flange - 9 1/2"H x 9 1/2"W

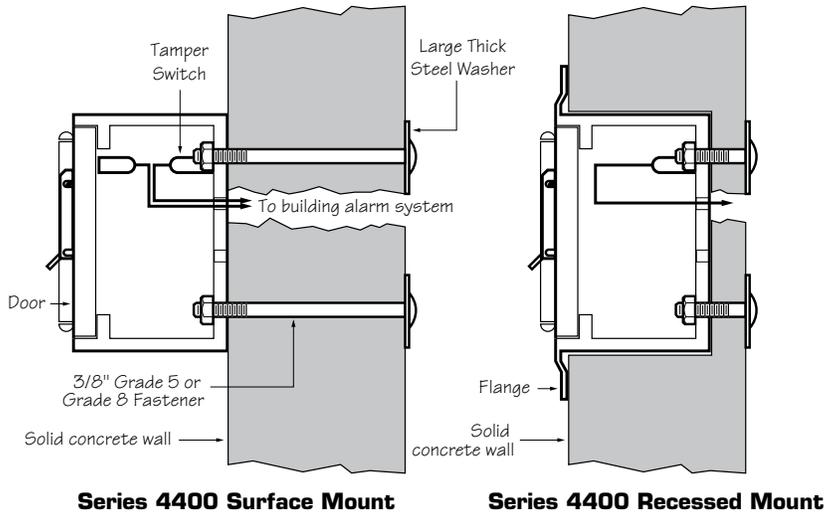
Lock: UL Listed. Double-action rotating tumblers and hardened steel pins accessed by a biased cut key.

Finish: Knox-Coat® proprietary finishing process
Finish Color - Black, Dark Bronze or Aluminum

P/N: 4400 Series Knox-Vault (mfr's cat. ID)

Mfr's Name: **KNOX COMPANY**

**Suggested minimum mounting height
6 feet above ground**



Recessed Mounting Kit

The 4400 Recessed Mounting Kit (RMK) is used for recessed models only. It contains a shell housing and mounting hardware to be cast-in-place in new concrete or masonry construction. After construction is completed, the Knox-Vault mounts inside the recessed shell housing. The RMK may only be used in new concrete or masonry construction.

Installation In Cast Concrete

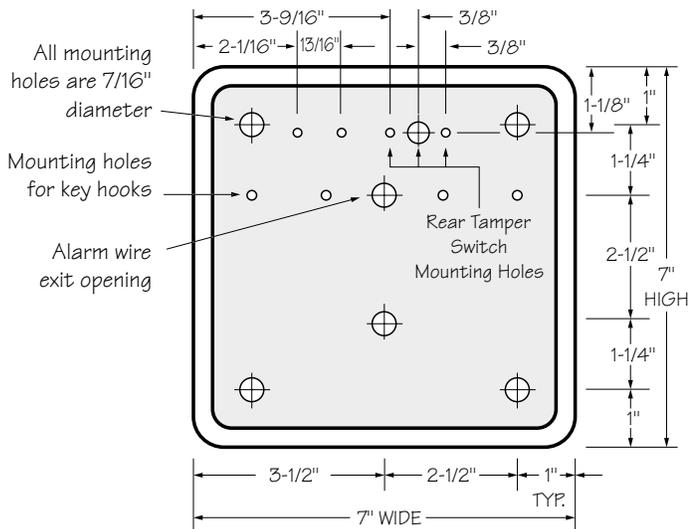
The optional Recessed Mounting Kit is for use in new concrete or masonry construction only. The kit includes a shell housing and mounting hardware to be cast-in-place. The KNOX-VAULT is mounted into the shell housing after construction is completed.

Rough-In Dimensions

8 1/2"H x 8 1/2"W x 7"D

IMPORTANT: Care should be taken to insure that the front of the RMK shell housing, including the cover plate and screw heads, is flush with the finish wall. The RMK must be plumbed to insure vertical alignment of the vault.

INSIDE VIEW

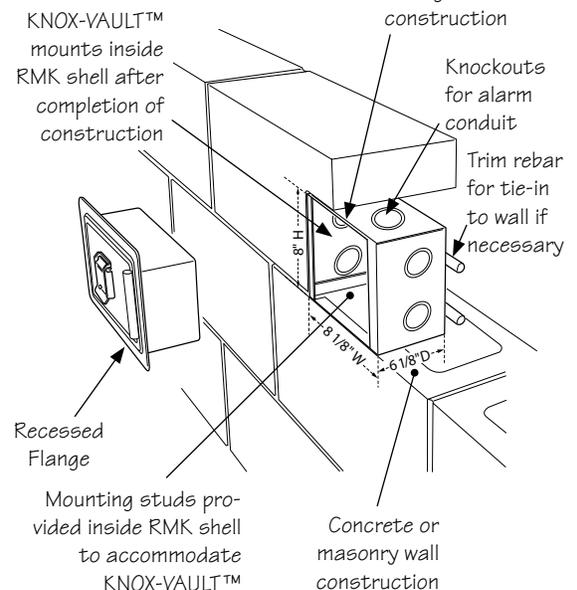


Attention: KNOX-VAULT™ is a very strong device that MUST be mounted properly to ensure maximum security and resist physical attack.

Knox® Rapid Entry System

The Knox Company manufactures a complete line of high security products including Knox-Box key boxes, key vaults, cabinets, key switches, padlocks, locking FDC caps, plugs and electronic master key security systems. For more information or technical assistance, please call Customer Service at 1-800-552-5669.

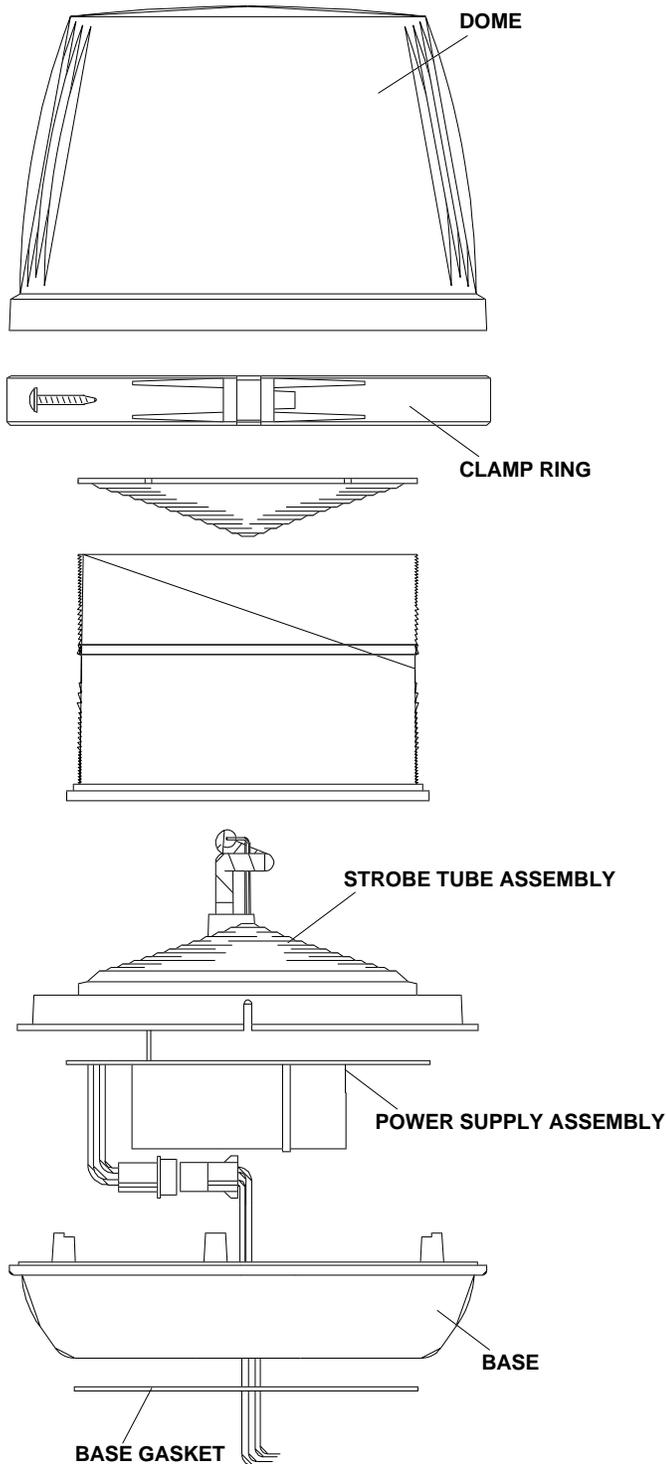
Recessed Mounting Using Recessed Mounting Kit (RMK)



Route 145, Winthrop Road
Chester, CT 06412-0684
TELEPHONE: (860) 526-9504
TOLL FREE: 1-800-637-4736
FACSIMILE: (860) 526-4784

ISB SERIES STROBE LIGHT BEACONS

ISB24, 12/24 VOLTS DC, COMET FLASH
ISB120, 120 VOLTS AC, COMET FLASH



SEE OTHER SIDE
OF PAGE FOR
REPLACEMENT
PARTS LISTING.

WARNING...
DISCONNECT THE
POWER SOURCE AND
WAIT 10 MINUTES
BEFORE INSTALLING
OR SERVICING THE
STROBE LIGHT.

**REPLACEMENT PARTS
LISTING FOR ISB
SERIES STROBES**

ITEM	DESCRIPTION	QTY.	PART NUMBER	ISB24	ISB120
1	OPTIC DOME, AMBER	1	68-2180347-10	■	■
	OPTIC DOME, BLUE	1	68-2180347-20	■	■
	OPTIC DOME, CLEAR	1	68-2180347-30	■	■
	OPTIC DOME, GREEN	1	68-2180347-40	■	■
	OPTIC DOME, RED	1	68-2180347-50	■	■
2	STROBE TUBE ASSEMBLY	1	01-0468256-00	■	■
3	STROBE POWER SUPPLY, 120 VAC	1	02-0167154-00		■
	STROBE POWER SUPPLY, 12/24 VDC	1	01-0267042-00	■	
4	FUSE, 10 AMP, AUTO	1	32-0632010012	■	

MOUNTING INSTRUCTIONS

PERMANENT MOUNT

The ISB Series must be disassembled to drill mounting holes for permanent mounting.

1. Remove the clamp ring, remove the optic dome and disassemble the strobe as shown in the drawing.
2. Locate the three dimples in the base casting and drill three mounting holes. Drill and deburr a hole for the power wires.
3. Place the base gasket between the base and mounting surface. Route the strobe power wires through the gasket and the mounting hole. Mount the base with three screws.
4. Connect the power wires to the power source.
5. Re-assemble the strobe. Make sure that the wires are not pinched.

WIRING INSTRUCTIONS

MODEL ISB24

1. Connect the RED wire to the positive DC voltage (+).
2. Connect the BLACK wire to DC ground (-).

MODEL ISB120

1. Connect the GREEN wire to the AC service green wire (ground).
2. Connect the BLACK wire to the AC service black wire (hot).
3. Connect the WHITE wire to the AC service white wire (neutral).

PIPE MOUNT

The ISB Series may be mounted to a 1" NPT pipe.

1. Feed the power source cable through the pipe and connect the cable to the ISB Series strobe.
2. Screw the strobe to the pipe threads. Make sure that the wires are not pinched or severely twisted.

WARNING - THE STROBE POWER SUPPLY IS A HIGH VOLTAGE DEVICE. DO NOT REMOVE TUBES OR DISMANTLE STROBE LIGHT ASSEMBLY WHILE IN OPERATION. WAIT 10 MINUTES AFTER TURNING OFF POWER BEFORE WORKING ON THE STROBE.

Starfire® Strobe Warning Lights

Models 131ST and 131DST



OUR BRIGHTEST MEDIUM DUTY STROBE LIGHT

- Available in 12-24VDC, 120VAC and 240VAC
- Five dome colors
- 10,000 hour strobe tube
- Single or double flash strobe
- 1/2-inch pipe mount or optional magnetic mount
- UL Listed, cUL Listed, CSA Approved for indoor/outdoor use
- NEMA 3R, IP45 enclosure

Federal Signal's Starfire® strobe warning lights are available in single-flash (131ST) and double-flash (131DST) models. Through precise timing of the strobe flash, the double flash unit produces 1,200 effective candlepower; the single flash unit produces 1,000 effective candlepower.

Starfire models are available in 12-24VDC, 120VAC (50/60Hz) and 240VAC (50/60Hz). All units are less than nine inches high and six inches in diameter, but powerfully effective.

Starfire strobe warning lights contain their own strobe power supply in the base of the light. The strobe flash tube is mounted in an eight-pin octal socket base. The fresnel dome stands up to impact and abuse and is available in amber, blue, clear, green and red. The base of the light is made of corrosion-resistant anodized aluminum. Each Starfire model comes with a standard 1/2-inch pipe mount. An optional magnetic mount or surface mount can be ordered.

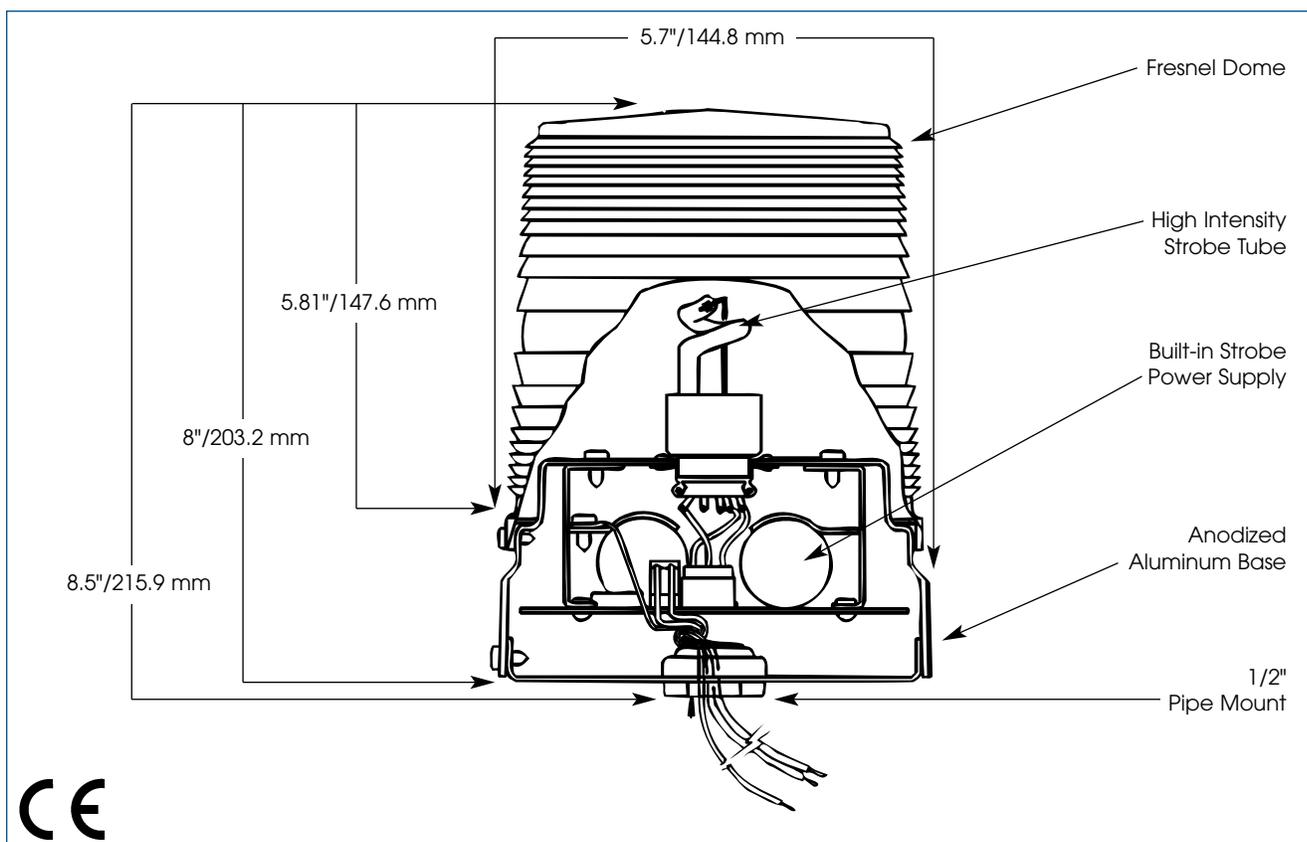
Because of its convenient size and intense light output, the Starfire strobes can be used for multiple applications. Excellent for in-plant use, the Models 131ST/DST warn of hazardous conditions, mark dangerous areas (either permanently or temporarily) and mounts on lift trucks, cranes and other moving devices. By using the magnetic mounting kit, these powerful strobes can be used on emergency, utility, maintenance or any other vehicle requiring temporary emergency warning.

Model	Voltage	Operating Current	Flash Rate/Minute	Candlepower Peak ¹	ECP ²	Mount ⁴
131DST	012-024VDC	4.50-2.10 amps	80 ³	1,000,000	1,200	1/2" Pipe
131DST	120VAC	0.60 amps	80 ³	1,000,000	1,200	1/2" Pipe
131DST	240VAC	0.30 amps	80 ³	1,000,000	1,200	1/2" Pipe
131ST	012-024VDC	2.75-1.25 amps	80	2,000,000	1,000	1/2" Pipe
131ST	120VAC	0.60 amps	80	2,000,000	1,000	1/2" Pipe
131ST	240VAC	0.30 amps	80	2,000,000	1,000	1/2" Pipe

¹ Peak candlepower is the maximum light intensity generated by a flashing light during its light pulse
² ECP (Effective Candlepower) is the intensity that would appear to an observer if the light were burning steadily
³ Double Flash
⁴ Magnet and surface mount kits available



STARFIRE® STROBE WARNING LIGHT (131ST/131DST)



SPECIFICATIONS

Lamp Life*:	10,000 Hours	10,000 Hours
Lamp Style:	Strobe	Strobe
Operating Temperature:	-31°F to 150°F	-35°C to 66°C
Net Weight:	2.0 lbs.	1.0 kg
Shipping Weight:	3.4 lbs.	1.5 kg
Height:	8.50"	215.9 mm
Width:	5.70"	144.8 mm

* Optimal hours under ideal conditions.

RATINGS

- UL Listed and CSA Approved for indoor/outdoor use
- CE Approved
- NEMA Type 3R; IP45 enclosure

HOW TO ORDER

- Specify model, voltage and color
- Specify options:
 Corner Bracket (LCMB2)
 Wall Bracket (LWMB2)
 Surface Mount (K844A211B)
 Magnetic Mount (131MMK)

REPLACEMENT PARTS

<u>Description</u>	<u>Part Number</u>	<u>Description</u>	<u>Part Number</u>
Dome, Amber	K8422B428A-01	PC Assembly, 12-24VDC (131ST)	K2001260C
Dome, Blue	K8422B428A-02	PC Assembly, 120VAC (131ST)	K2001188C
Dome, Clear	K8422B428A	PC Assembly, 240VAC (131ST)	K2001188C-01
Dome, Green	K8422B428A-03	PC Assembly, 12-24VDC (131DST)	K2001265C
Dome, Red	K8422B428A-04	PC Assembly, 120VAC (131DST)	K200865F
Strobe Tube	K8107178A	PC Assembly, 240VAC (131DST)	K200865F-01
Surface Mount Kit	K8444A211B	Dome Gasket	K8444A193A



Pleasant Prairie Fire & Rescue

Pre-Plan

Long Form

Building Name:		Building Address:	
Important locations			
Knox Boxes:		Strobe & Gong:	
MSDS Box:		Main Entrance:	
Electrical Shut Off:		Gas Shut Off:	
Sprinkler & Hydrant Information			
Pumper Pad Location:			
F.D. Connection:			
Hydrant #1(non-yard)		Hydrant #2 (non-yard)	
Fire Pump location:		Type and GPM:	
Riser Room Location:			
Standpipe Locations:			
Type of System:		# of Risers:	
Annunciator Panel:		# of Zones:	
Life Safety			
# of Employees 1St shift		Seating capacity:	
# of employees 2nd Shift		Special needs people:	
# of Employees 3rd . shift			
This Building Manufactures:			
Major Hazards:			
Drop off's:			

Building Information

Building length:			
Building width		Total square footage:	
Building height		High population area:	
Type of construction:		Confined spaces:	
Roof type and construction:	Steel/Masonry		
Roof access:			
Objects on the roof:			
Firewalls:			
Location of stairways			
Elevator location & type:			
Elevator mech. Rm. Location;			
Fire escape locations:			
Exterior exit door locations:			
Salvage priorities:			
Extra comments:			
Hazardous Materials			
Pressure vessel locations:			
(UN numbers & amounts)			
Other Hazardous materials that may affect Fire & Rescue operations:			
(UN numbers and amounts)			
Your clean up or supply company:			

Exterior

Designated meeting location:	
Close water sources: (Dry hydrants, ponds. Location & depth)	
Exposure to the North:	
Exposure to the South:	
Exposure to the East:	
Exposure to the West: (exposure= building surrounding yours, list height & construction type.)	

Contacts

Keyholder #1:	
Keyholder #2:	
Keyholder #3: (Keyholders: after hour contacts List name & home phone numbers)	
Local Manager::	
District Manager:	
Maintenance Supervisor:	
Hazardous Materials (Local):	
Hazardous Materials (Corporate): (List name, office, & home phone)	
Business Owner: (Name, address, phones)	
Building Owner; (Name, address, phones)	
Central alarm station: (List company if any, and phone)	

Please Note: Along with this form we require a copy of the building plans on the software program Autocad 14. If no plans had been done in this format, please submit a plot, floor, and roof plan. The Plans should show all the above aforementioned items. If at any time you have a question, please contact us at 262-694-8027. Our fax number is 262-697-1901.

Emergency Plan

10.9.1 Where Required. Emergency plans shall be provided for high-rise, health care, ambulatory health care, residential board and care, assembly, day-care centers, special amusement buildings, hotels and dormitories, detention and correctional occupancies, educational, underground and windowless structures, facilities storing or handling materials covered by Chapter **60**, or where required by the AHJ.

10.9.2 Plan Requirements.

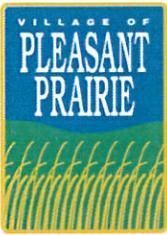
10.9.2.1* Emergency plans shall include the following:

- (1) Procedures for reporting of emergencies
- (2) Occupant and staff response to emergencies
- (3)* Evacuation procedures appropriate to the building, its occupancy, and emergencies (*see Section 4.3 of NFPA 101*)
- (4) Appropriateness of the use of elevators
- (5) Design and conduct of fire drills
- (6) Type and coverage of building fire protection systems
- (7) Other items required by the AHJ

10.9.2.2 Emergency plans shall be submitted to the AHJ for review when required by the AHJ.

A.10.9.2.1 Items to be considered in preparing an emergency plan should include the following:

- (1) Purpose of plan
- (2) Building description, including certificate of occupancy
- (3) Appointment, organization, and contact details of designated building staff to carry out the emergency duties
- (4) Identification of events (man-made and natural) considered life safety hazards impacting the building
- (5) Responsibilities matrix (role-driven assignments)
- (6) Policies and procedures for those left behind to operate critical equipment
- (7) Specific procedures to be used for each type of emergency
- (8) Requirements and responsibilities for assisting people with disabilities
- (9) Procedures for accounting for employees
- (10) Training of building staff, building emergency response teams, and other occupants in their responsibilities
- (11) Documents, including diagrams, showing the type, location, and operation of the building emergency features, components, and systems
- (12) Practices for controlling life safety hazards in the building
- (13) Inspection and maintenance of building facilities that provide for the safety of occupants
- (14) Conducting fire and evacuation drills
- (15) Interface between key building management and emergency responders
- (16) Names or job titles of persons who can be contacted for further information or explanation of duties
- (17) Post-event (including drill) critique/evaluation, as addressed in 5.14 of [NFPA 1600](#), *Standard on Disaster/Emergency Management and Business Continuity Programs*
- (18) Means to update the plan, as necessary [**101**: A.4.8.2.1]



Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director

From: Sandro Perez, Building Inspection Superintendent

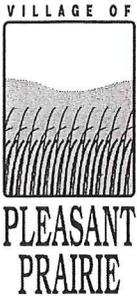
Subject: St. Catherine's Surgical Wing

Date: October 7, 2016

1. Building Inspection Department information:
Hours: Mon-Fri, 8am-5pm.
Phone# 262-694-9304
Email: buildinginspection@plprairiewi.com
2. Permit applications can be found online at pleasantprairieonline.com.
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance (including low voltage contractors). We have 10 business days to review and issue permits please plan accordingly. If there are any questions on which contractors need a permit please contact Building Inspection Department.
5. Electrical plans are no longer reviewed by the State, however the Building Inspection Department will require a complete set of electrical plans prior to issuance of electrical permit. Please submit emergency egress lighting plan with photometrics and energy compliance worksheets form SBD 10512 to Building Inspection Department prior to issuance of Electrical Permit.
6. Combination water mains will need plan review and approval by the Fire Department prior to issuance of Exterior Plumbing Permit. Contact Chief Dough McElmury at 262-694-5600 for submittal requirements. All underground inspections will be performed by the Building Inspection Department. All system function inspections will be performed by the Fire Department.
7. Fire alarm systems require plan review and approval by the Fire Department prior to the Building Inspection Department issuing a Low Voltage Fire Alarm Permit. Contact Chief Dough McElmury at 262-694-5600 for submittal requirements. Inspections will be required by both the Fire Department and Building Inspection Department.

8. Erosion Control Standards must be adhered to at all times during construction. The Building Inspection Department will not perform any inspection if the erosion control measures are non-compliant.
9. Any tradesmen requiring state license will be “carded” on the jobsite for compliance.
10. We inspect to the current state adopted IBC, IEBC, IMC, IECC, IFGC, 2003 ANSI A117.1, NEC and WI. Plumbing code SPS 381-386.
11. Keep jobsite clean and safe, inspectors will not perform inspection if there is a safety hazard in the area of their inspection.
12. A \$50 re-inspection fee will be charged if you are not ready for your scheduled inspection.
13. All exterior lighting is recommended to be LED 5000K color temperature and “Dark Sky” compliant.
14. This project will require DHS and State plan review.

82500



Filed _____ 20 _____ Published _____ 20 _____
 Public Hearing _____ 20 _____ 20 _____
 Fee Paid _____ 20 _____ Approved _____ 20 _____
 Notices Mailed _____ 20 _____ Denied _____ 20 _____

**VILLAGE OF PLEASANT PRAIRIE
 CONCEPTUAL PLAN APPLICATION**

(ADVANCE OUTPATIENT SURGICAL WING OF UNITED HOSPITAL SYSTEM)

1. Development Name: ST. CATHERINE'S MEDICAL CENTER CAMPUS
2. General Location of Development: 9555 76th STREET
3. Tax Parcel Number(s): 91-4-122-082-0117
4. Number of Lots: 1 Number of Outlots: 1
5. Size of Development: 42.39 acres.
6. The Development is proposed to be constructed in Phases: Yes No
7. The Development abuts or adjoins a State Trunk Highway: Yes No
8. The Development abuts or adjoins a County Trunk Highway or a Kenosha County Park or the Kenosha County Bike Trail: Yes No
9. The following number and types of plans shall be submitted with this application:
 - ³ 10 full size sets of Conceptual Plan + ELECTRONIC COPY
 - 1 copy of the Conceptual Plan reduced to 11" by 17"
 - Conceptual Plan application fee
 - 10 sets of Conceptual Engineering Plan
 - Phasing Plan, if applicable
 - Draft of Declarations, Covenant, Restrictions and any Easement Documents
 - Any other information as specified by the Village

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: RICHARD O. SAMOIT JR.
 Signature: Richard O. Samoit Jr.
 Address: 6308 8th AVE
KENOSHA WI 53143
 (City) (State) (Zip)
 Phone: 262-656-2011
 Fax: 262-653-5742
 Date: 8-29-16

OWNER'S AGENT:

Print Name: PETER J. MOUTON
 Signature: Peter J. Mouton
 Address: 6308 8th AVE
KENOSHA WI 53143
 (City) (State) (Zip)
 Phone: 262-656-2420
 Fax: 262-653-5742
 Date: 8-29-16

RECEIVED
 SEP 09 2016

BY: _____

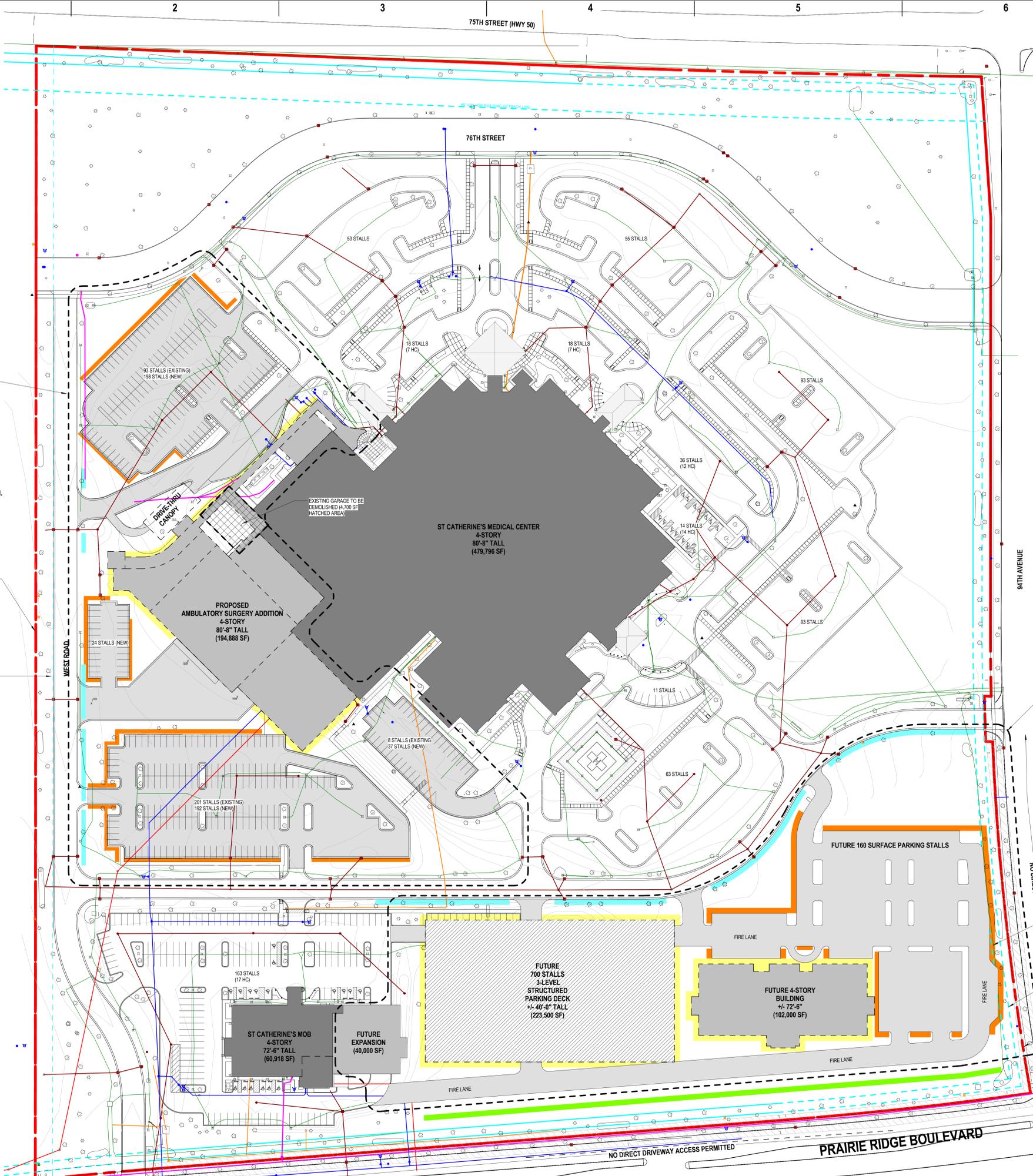
MASTER CAMPUS CONCEPTUAL PLAN FOR THE ST. CATHERINE'S MEDICAL CENTER CAMPUS

In 2001, a Site and Operations Plan was submitted by United Hospital System for the development of a regional medical center campus consisting of an acute-care hospital facility and medical offices on a 50-acre parcel of land in the Prairie Ridge development in Pleasant Prairie. Through an expansion project in 2008, additional capacity was added to the hospital facility and in 2010, a medical office building was added to the campus. Though not anticipated in the 2001 Site and Operations Plan, this Master Campus Conceptual Plan incorporates an addition to the hospital facility primarily to house the Advanced Outpatient Surgical Wing of United Hospital System.

The facility expansion for the Advanced Outpatient Surgical Wing of United Hospital System is intended to be used for same-day/ambulatory/outpatient surgical procedures and will have the full support and resources of the main acute-care hospital readily available in the event a patient experiences an unexpected emergency condition. This approach for less-than-24-hour surgery stays differs from that of a typical free-standing ambulatory surgery center where, due to lack of sufficient resources, emergency events are usually addressed with a "911" call to summon an ambulance to transport the affected patient to a hospital or regional medical center, such as the St. Catherine's Medical Center Campus. For example, in the event of a situation such as that experienced by the late Joan Rivers, or in the event a patient in the Advanced Outpatient Surgical Wing experiences a stroke or heart attack during his/her less-than-24-hour stay, emergency staff and support from the hospital will respond and immediately address the patient's needs, following which the patient will be transferred to an appropriate location within the main hospital. In reality, the expansion will combine the convenience of an ambulatory surgery center with the safety of an acute-care hospital setting.

The proposed 61,941 square foot first floor space of the expansion will feature: an open-design lobby, lounge and café; a courtyard; registration and waiting areas; private preoperative suites with toilet rooms; at least eight new surgical suites; and recovery areas. Easy access to the Advanced Outpatient Surgical Wing will be provided via a separate entrance which features a protected patient drop-off and pick-up vehicle bay to minimize exposure to nature's elements. In addition, easy access to the main hospital building will be available for visitors through a convenient enclosed walkway, as well as through internal corridors for staff and patients, if and when needed, to access the support services of the main hospital facility. This access allows for the direct transfer of a patient from the new Surgical Wing to the acute care/inpatient hospital without the need for ambulance transport. Support areas for the surgical facility will be housed in an 46,653 square foot new lower level, along with a relocated receiving dock and trash enclosure. The 40,448 square foot second floor, and the 22,923 square foot third and fourth floors of the building will ultimately house various outpatient services. Staffing for this 194,888 square foot addition will likely add approximately 100 to 125 employees with full build-out.

The facility addition will integrate into the existing facility architecture using the same natural materials that are used on the existing building including the brick details and stone work. In addition, the building will use similar glass and roof lines to match up to the existing buildings. Existing internal site roads on the campus, including those for truck traffic, will be modified as a result of this addition and additional surface parking will added. Storm water will be distributed into the existing storm water management plan for the Prairie Ridge development. On site utilities, such as water, sanitary sewers and electrical service, will be rerouted, but contained on site. The campus will have full fire protection throughout and include new fire hydrants, fire alarm system components and sprinkler systems. Existing security system including access control and exterior cameras will be expanded from the current systems.



STORMWATER MANAGEMENT NOTE:
 STORMWATER WILL BE COLLECTED IN AN ON-SITE STORM SEWER SYSTEM DISCHARGING TO THE PUBLIC STORM SEWERS IN PRAIRIE RIDGE BOULEVARD, THEN TO A REGIONAL STORMWATER BASIN TO THE SOUTHWEST.

- UTILITY LEGEND**
- ELECTRICAL
 - GAS
 - SANITARY SEWER
 - STORM SEWER
 - TELEPHONE
 - WATER
- CONCEPTUAL LANDSCAPING LEGEND**
- ROADWAY SCREENING/BUFFER
 - BUILDING FOUNDATION TREATMENT
 - PARKING LOT TREATMENT
 - BERM WITH PLANTINGS

PARKING REQUIREMENTS

(1) STALL PER (2) INPATIENT BEDS (EXCLUDING BASSINETS)
 (1) STALL PER (5) OUTPATIENTS
 (1) STALL PER (1) EMPLOYEE ON THE LARGEST SHIFT

EXISTING HOSPITAL CAMPUS (NOT INCLUDING MOB (SOUTH SIDE))

INPATIENT PARKING	160 BEDS	80 STALLS
OUTPATIENT PARKING	243 VISITS	49 STALLS
EMPLOYEE PARKING	562 EMPLOYEES	562 STALLS
TOTAL REQUIRED PARKING		691 STALLS

TOTAL EXISTING PROVIDED PARKING: 756 STALLS

PROPOSED AMBULATORY SURGERY ADDITION PARKING REQUIREMENTS

INPATIENT PARKING	0 INPATIENT BEDS	0 STALLS
OUTPATIENT PARKING	207 VISITS	41 STALLS
EMPLOYEE PARKING	100 EMPLOYEE	100 STALLS
TOTAL ADDITIONAL REQUIRED PARKING		141 STALLS

OVERALL REQUIRED PARKING: 832 STALLS
TOTAL PROPOSED PROVIDED PARKING: 840 STALLS

PERVIOUS OPEN SPACE REQUIREMENTS

GROSS LAND AREA	2,177,989 SF (50 ACRES)
REQUIRED PER I-1 ZONING	30%

EXISTING SITE

BUILDING FOOTPRINT AREA	221,559 SF
PAVED AREA	779,378 SF
TOTAL PERVIOUS AREA	1,007,437 SF
% IMPERVIOUS AREA	45.9%
% PERVIOUS OPEN SPACE	54.1%

PROPOSED DEVELOPED SITE

BUILDING FOOTPRINT AREA	284,282 SF
PAVED AREA	792,978 SF
TOTAL PERVIOUS AREA	1,077,120 SF
% IMPERVIOUS AREA	49.4%
% PERVIOUS OPEN SPACE	50.6%

FUTURE DEVELOPED SITE

BUILDING FOOTPRINT AREA	395,505 SF
PAVED AREA	898,035 SF
TOTAL PERVIOUS AREA	1,293,040 SF
% IMPERVIOUS AREA	58.3%
% PERVIOUS OPEN SPACE	40.7%

eua

eppstein uhen : architects
 milwaukee 333 East Chicago Street
 Milwaukee, Wisconsin 53202
 telephone 414.271.5380
 madison 309 West Johnson Street, Suite 202
 Madison, Wisconsin 53703
 telephone 608.462.5360

PROJECT INFORMATION

UNITED HOSPITAL SYSTEM

ADVANCED OUTPATIENT SURGICAL WING OF UNITED HOSPITAL SYSTEM

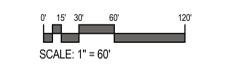
9555 76TH STREET
 PLEASANT PRAIRIE, WI 53158

ISSUANCE AND REVISIONS

CONCEPTUAL PLAN REVIEW

#	DATE	DESCRIPTION
---	------	-------------

KEY PLAN



TRUE NORTH

SHEET INFORMATION

PROJECT MANAGER	CD
PROJECT NUMBER	416193-01
DATE	09/09/2016

ARCHITECTURAL SITE PLAN - FUTURE DEVELOPMENT

CC100

© Eppstein Uhen Architects, Inc.

CURRENT DEVELOPMENT INDICATED WITHIN DASHED BOUNDARY

CURRENT USE:
 AMBULATORY SURGERY CENTER, HOSPITAL FACILITY SERVICES, MEDICAL OFFICE SUITES AND PHYSICIAN OFFICES

ZONING:
 CURRENT ZONING DISTRICT I-1 TO REMAIN. PLANNED UNIT OVERLAY DISTRICT (PUD)

PROPERTY LINE (RED)

25'-0" STORMWATER MANAGEMENT & MAINTENANCE EASEMENT

POTENTIAL FUTURE DEVELOPMENT INDICATED WITHIN DASHED BOUNDARY (FOR REFERENCE ONLY)

CURRENT USE:
 MEDICAL OFFICE BUILDING HOUSING AN AMBULATORY SURGERY CENTER, REHABILITATION SUITE AND PHYSICIAN OFFICES

ZONING:
 CURRENT ZONING DISTRICT I-1 TO REMAIN. PLANNED UNIT OVERLAY DISTRICT (PUD)

25'-0" LANDSCAPE EASEMENT (CYAN)

12'-0" UTILITY EASEMENT (CYAN)

PROPERTY LINE (RED)

NO DIRECT DRIVEWAY ACCESS PERMITTED

94TH AVENUE

NO DIRECT DRIVEWAY ACCESS PERMITTED

PRAIRIE RIDGE BOULEVARD

1 2 3 4 5 6 7

E

D

C

B

A

1 2 3 4 5 6 7

1

2

3

4

5

6

7



eppstein uhen : architects

milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
telephone 414.271.5350
madison 309 West Johnson Street, Suite 202
Madison, Wisconsin 53703
telephone 608.442.5350

PROJECT INFORMATION



ADVANCED
OUTPATIENT
SURGICAL WING OF
UNITED HOSPITAL
SYSTEM

9555 76TH STREET
PLEASANT PRAIRIE,
WI 53158

ISSUANCE AND REVISIONS

CONCEPTUAL PLAN REVIEW

#	DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

PROJECT MANAGER	CD
PROJECT NUMBER	416193-01
DATE	09/09/2016

PROPOSED
PERSPECTIVE
IMAGES

CC101

© Eppstein Uhen Architects, Inc.



BIRDSEYE VIEW LOOKING SOUTHWEST



PEDESTRIAN VIEW FROM 76TH STREET



BIRDSEYE VIEW LOOKING SOUTHWEST



PEDESTRIAN VIEW OF LOADING DOCK



NORTHWEST APPROACH TO SURGICAL CENTER ENTRANCE



NORTHEAST APPROACH TO SURGICAL CENTER ENTRANCE

1

2

3

4

5

6

7

PRAIRIE RIDGE COMMERCIAL OWNERS ASSOCIATION, INC.

Architectural Control Committee
c/o Madison Realty Group, Inc.
1144 W. Fulton Market, Suite 200
Chicago, IL 60607
312-759-5000

September 15, 2016

VIA EMAIL: peter.molter@uhsi.org

Peter Molter
United Hospital System, Inc

RE: St. Catherine's Medical Center Campus

Dear Mr. Molter:

The Prairie Ridge Commercial Owners Association Architectural Control Committee is in receipt of your submission (hereinafter collectively referred to as the "Approved Plans"), which contains:

1. Architectural Site Plan and images (3 sheets) prepared by Eppstein Uhen architects (attached)
2. One page of text describing the changes to the Site and Operational Plan (attached)

A Majority of the Architectural Control Committee has approved the above submission provided:

1. You comply with all requirements of all applicable governmental and municipal authorities.
2. You seek re-approval of the Architectural Control Committee for any change to the exterior of the buildings that would be different than what was submitted as listed above, or the addition or change of any other onsite features such as accessory structures, walks, landscaping, pool, patio, fences or mechanical equipment.

Please keep in mind that the Declaration of Development Standards and Protective Covenants for the Prairie Ridge Commercial Development recorded on March 12, 1998, as Document Number 1088729, as amended from time to time, (the "Declaration") contains several restrictions for the benefit of you and your fellow property owners.

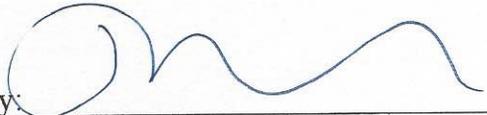
Except as provided in the Approved Plans, this letter is not a waiver or modification of any terms or provisions of the Declaration. You are deemed to have read the Declaration in its entirety, as

it also contains many restrictions; and you are responsible for your complete compliance with all of the covenants, restrictions and provisions of the Declaration.

These requirements and restrictions have been enacted to enhance and protect the values of the property in the Subdivision. Architectural Control Committee approval does not relieve you from any requirement of the Village of Pleasant Prairie or any other governmental agency. The Architectural Control Committee shall not be liable for any defects in the Plans and Specifications; and nothing in this letter shall relieve the property owner and its contractors from complying with all applicable codes, regulations, ordinances or good judgment. Please do not hesitate to contact us if you should have any questions about the provisions of the Declaration.

Very truly yours,

**PRAIRIE RIDGE COMMERCIAL OWNERS ASSOCIATION, INC.
ARCHITECTURAL CONTROL COMMITTEE**

By: 

David H. Galowich

DHG:bs

cc: Jean Werbie-Harris
Peter Molter
Marti Mills
Keith Radtke
Russ Brewer

ABBREVIATIONS

A ALTERNATE	B BENCH MARK	F FINISH	J JOINT	P PAVEMENT	T TYPICAL
AC AIR CONDITIONING	BM BENCH MARK	FR FINISH RAMP	JO JOINT	PA PAVEMENT	TR TRUCK
AD AIR DUCT	CA CATCH BASIN	FS FINISH SURFACE	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AE AIR EXHAUST	CB CURB	FT FINISH TOP	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AF AIR FILTER	CC CONCOURSE	GA GRADE ADJUSTMENT	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AG AIR GATE	CD CURB DRAIN	GB GRADE BOUNDARY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AH AIR HEAT EXCHANGER	CE CURB ELEVATION	GC GRADE CONTROL	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AI AIR INLET	CF CURB FINISH	GD GRADE DRAIN	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AJ AIR JUNCTION	CG CURB GRADING	GE GRADE ELEVATION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AK AIR KICK	CH CURB HEIGHT	GF GRADE FINISH	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AL AIR LIFT	CI CURB INLET	GG GRADE GRADING	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AM AIR MOUNT	CJ CURB JUNCTION	GH GRADE HATCH	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AN AIR NAIL	CK CURB KICK	GI GRADE INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AO AIR OUTLET	CL CURB LIFT	GJ GRADE JUNCTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AP AIR PORT	CM CURB MOUNT	GK GRADE KICK	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AQ AIR QUANTITY	CN CURB NAIL	GL GRADE LIFT	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AR AIR REGISTER	CO CURB OFFSET	GM GRADE MOUNT	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AS AIR SPLIT	CP CURB PATTERN	GN GRADE NAIL	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AT AIR TANK	CQ CURB QUANTITY	GO GRADE OFFSET	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AV AIR VALVE	CR CURB RAMP	GP GRADE PATTERN	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AW AIR WASH	CS CURB SLOPE	GQ GRADE QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AX AIR WASH	CT CURB TYPICAL	GR GRADE RAMP	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AY AIR YIELD	CU CURB UPLIFT	GS GRADE SLOPE	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
AZ AIR ZONE	CV CURB VENT	GT GRADE TYPICAL	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BA BATTERY	CW CURB WALL	GU GRADE UPLIFT	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BB BATTERY	CX CURB WASH	GV GRADE VALVE	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BC BATTERY	CY CURB YIELD	GW GRADE WALL	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BD BATTERY	CA CATCH BASIN	GX GRADE WASH	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BE BATTERY	CB CURB	GY GRADE WASH	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BF BATTERY	CC CONCOURSE	HZ HATCH	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BG BATTERY	CD CURB DRAIN	IA INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BH BATTERY	CE CURB ELEVATION	IB INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BI BATTERY	CF CURB FINISH	IC INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BJ BATTERY	CG CURB GRADING	ID INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BK BATTERY	CH CURB HEIGHT	IE INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BL BATTERY	CI CURB INLET	IF INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BM BATTERY	CJ CURB JUNCTION	IG INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BN BATTERY	CK CURB KICK	IH INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BO BATTERY	CL CURB LIFT	II INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BP BATTERY	CM CURB MOUNT	IJ INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BQ BATTERY	CN CURB NAIL	IK INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BR BATTERY	CO CURB OFFSET	IL INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BS BATTERY	CP CURB PATTERN	IM INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BT BATTERY	CQ CURB QUANTITY	IN INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BV BATTERY	CR CURB RAMP	IO INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BW BATTERY	CS CURB SLOPE	IP INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BX BATTERY	CT CURB TYPICAL	IQ INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BY BATTERY	CU CURB UPLIFT	IR INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
BZ BATTERY	CV CURB VENT	IS INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CA CATCH BASIN	CW CURB WALL	IT INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CB CURB	CX CURB WASH	IU INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CC CONCOURSE	CY CURB YIELD	IV INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CD CURB DRAIN	CA CATCH BASIN	IW INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CE CURB ELEVATION	CB CURB	IY INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CF CURB FINISH	CC CONCOURSE	IZ INTERSECTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CG CURB GRADING	CD CURB DRAIN	JA JUNCTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CH CURB HEIGHT	CE CURB ELEVATION	JB JUNCTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CI CURB INLET	CF CURB FINISH	JC JUNCTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CJ CURB JUNCTION	CG CURB GRADING	JD JUNCTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
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CL CURB LIFT	CI CURB INLET	JF JUNCTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
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CP CURB PATTERN	CM CURB MOUNT	JJ JUNCTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
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CR CURB RAMP	CO CURB OFFSET	JL JUNCTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CS CURB SLOPE	CP CURB PATTERN	JM JUNCTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CT CURB TYPICAL	CQ CURB QUANTITY	JN JUNCTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CU CURB UPLIFT	CR CURB RAMP	JO JUNCTION	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CV CURB VENT	CS CURB SLOPE	JP JOINT PATTERN	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
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CY CURB YIELD	CV CURB VENT	PM PAVEMENT	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CA CATCH BASIN	CW CURB WALL	PN PAVEMENT	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CB CURB	CX CURB WASH	PO PAVEMENT	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CC CONCOURSE	CY CURB YIELD	PP PAVEMENT	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CD CURB DRAIN	CA CATCH BASIN	PQ PAVEMENT	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CE CURB ELEVATION	CB CURB	PR PAVEMENT	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CF CURB FINISH	CC CONCOURSE	PS PAVEMENT	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CG CURB GRADING	CD CURB DRAIN	PT PAVEMENT	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CH CURB HEIGHT	CE CURB ELEVATION	PV PAVEMENT	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CI CURB INLET	CF CURB FINISH	PW PAVEMENT	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CJ CURB JUNCTION	CG CURB GRADING	PX PAVEMENT	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CK CURB KICK	CH CURB HEIGHT	PY PAVEMENT	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CL CURB LIFT	CI CURB INLET	PZ PAVEMENT	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CM CURB MOUNT	CJ CURB JUNCTION	QA QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CN CURB NAIL	CK CURB KICK	QB QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CO CURB OFFSET	CL CURB LIFT	QC QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
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CU CURB UPLIFT	CR CURB RAMP	QI QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CV CURB VENT	CS CURB SLOPE	QJ QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CW CURB WALL	CT CURB TYPICAL	QK QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CX CURB WASH	CU CURB UPLIFT	QL QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CY CURB YIELD	CV CURB VENT	QM QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CA CATCH BASIN	CW CURB WALL	QN QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CB CURB	CX CURB WASH	QO QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CC CONCOURSE	CY CURB YIELD	QP QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CD CURB DRAIN	CA CATCH BASIN	QR QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CE CURB ELEVATION	CB CURB	QS QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CF CURB FINISH	CC CONCOURSE	QT QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
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CH CURB HEIGHT	CE CURB ELEVATION	QV QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CI CURB INLET	CF CURB FINISH	QW QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CJ CURB JUNCTION	CG CURB GRADING	QX QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CK CURB KICK	CH CURB HEIGHT	QY QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CL CURB LIFT	CI CURB INLET	QZ QUANTITY	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CM CURB MOUNT	CJ CURB JUNCTION	RA RAMP	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CN CURB NAIL	CK CURB KICK	RB RAMP	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CO CURB OFFSET	CL CURB LIFT	RC RAMP	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CP CURB PATTERN	CM CURB MOUNT	RD RAMP	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CQ CURB QUANTITY	CN CURB NAIL	RE RAMP	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CR CURB RAMP	CO CURB OFFSET	RF RAMP	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
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CU CURB UPLIFT	CR CURB RAMP	RI RAMP	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CV CURB VENT	CS CURB SLOPE	RJ RAMP	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
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CX CURB WASH	CU CURB UPLIFT	RL RAMP	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CY CURB YIELD	CV CURB VENT	RM RAMP	JP JOINT PATTERN	PE PAVEMENT EDGE	TR TRUCK
CA CATCH BASIN	CW CURB WALL	RN RAMP			



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PROJECT INFORMATION
UNITED
 HOSPITAL SYSTEM

ADVANCED
 OUTPATIENT
 SURGICAL WING OF
 UNITED HOSPITAL
 SYSTEM

9655 76TH STREET
 PLEASANT PRAIRIE,
 WI 53158

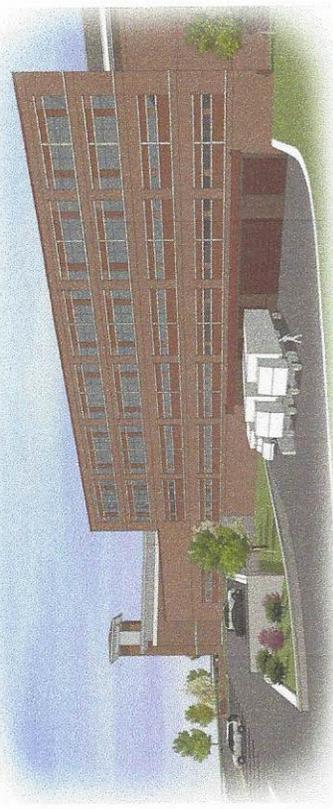
ISSUANCE AND REVISIONS
 CONCEPTUAL PLAN REVIEW

#	DATE	DESCRIPTION

KEY PLAN



PEDESTRIAN VIEW FROM 76TH STREET



PEDESTRIAN VIEW OF LOADING DOCK



BIRDSEYE VIEW LOOKING SOUTHWEST



BIRDSEYE VIEW LOOKING SOUTHWEST



NORTHEAST APPROACH TO SURGICAL CENTER ENTRANCE



NORTHWEST APPROACH TO SURGICAL CENTER ENTRANCE

SHEET INFORMATION

PROJECT NUMBER: 41818-01
 PROJECT NUMBER: 41818-01
 DATE: 08/08/2014

PROPOSED
 PERSPECTIVE
 IMAGES

CC101

APPSTEIN URBAN ARCHITECTS

MASTER CAMPUS CONCEPTUAL PLAN FOR THE ST. CATHERINE'S MEDICAL CENTER CAMPUS

In 2001, a Site and Operations Plan was submitted by United Hospital System for the development of a regional medical center campus consisting of an acute-care hospital facility and medical offices on a 50-acre parcel of land in the Prairie Ridge development in Pleasant Prairie. Through an expansion project in 2008, additional capacity was added to the hospital facility and in 2010, a medical office building was added to the campus. Though not anticipated in the 2001 Site and Operations Plan, this Master Campus Conceptual Plan incorporates an addition to the hospital facility primarily to house the Advanced Outpatient Surgical Wing of United Hospital System.

The facility expansion for the Advanced Outpatient Surgical Wing of United Hospital System is intended to be used for same-day/ambulatory/outpatient surgical procedures and will have the full support and resources of the main acute-care hospital readily available in the event a patient experiences an unexpected emergency condition. This approach for less-than-24-hour surgery stays differs from that of a typical free-standing ambulatory surgery center where, due to lack of sufficient resources, emergency events are usually addressed with a "911" call to summon an ambulance to transport the affected patient to a hospital or regional medical center, such as the St. Catherine's Medical Center Campus. For example, in the event of a situation such as that experienced by the late Joan Rivers, or in the event a patient in the Advanced Outpatient Surgical Wing experiences a stroke or heart attack during his/her less-than-24-hour stay, emergency staff and support from the hospital will respond and immediately address the patient's needs, following which the patient will be transferred to an appropriate location within the main hospital. In reality, the expansion will combine the convenience of an ambulatory surgery center with the safety of an acute-care hospital setting.

The proposed 61,941 square foot first floor space of the expansion will feature: an open-design lobby, lounge and café; a courtyard; registration and waiting areas; private preoperative suites with toilet rooms; at least eight new surgical suites; and recovery areas. Easy access to the Advanced Outpatient Surgical Wing will be provided via a separate entrance which features a protected patient drop-off and pick-up vehicle bay to minimize exposure to nature's elements. In addition, easy access to the main hospital building will be available for visitors through a convenient enclosed walkway, as well as through internal corridors for staff and patients, if and when needed, to access the support services of the main hospital facility. This access allows for the direct transfer of a patient from the new Surgical Wing to the acute care/inpatient hospital without the need for ambulance transport. Support areas for the surgical facility will be housed in an 46,653 square foot new lower level, along with a relocated receiving dock and trash enclosure. The 40,448 square foot second floor, and the 22,923 square foot third and fourth floors of the building will ultimately house various outpatient services. Staffing for this 194,888 square foot addition will likely add approximately 100 to 125 employees with full build-out.

The facility addition will integrate into the existing facility architecture using the same natural materials that are used on the existing building including the brick details and stone work. In addition, the building will use similar glass and roof lines to match up to the existing buildings. Existing internal site roads on the campus, including those for truck traffic, will be modified as a result of this addition and additional surface parking will added. Storm water will be distributed into the existing storm water management plan for the Prairie Ridge development. On site utilities, such as water, sanitary sewers and electrical service, will be rerouted, but contained on site. The campus will have full fire protection throughout and include new fire hydrants, fire alarm system components and sprinkler systems. Existing security system including access control and exterior cameras will be expanded from the current systems.

ORDINANCE # 11-07

**ORDINANCE TO AMEND THE
ST. CATHERINE'S HOSPITAL/MEDICAL CENTER CAMPUS PLANNED UNIT
DEVELOPMENT PLANNED UNIT DEVELOPMENT
(PUD #6 IN APPENDIX C OF CHAPTER 420, THE VILLAGE ZONING ORDINANCE)
IN THE VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN**

BE IT ORDAINED by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, that the St. Catherine's Hospital/Medical Center Campus Development Planned Unit Development Ordinance 6 in Appendix C of Chapter 420 is hereby amended pursuant to Chapter 420-137 of the Village Zoning Ordinance to read as follows:

6. ST. CATHERINE'S HOSPITAL/MEDICAL CENTER CAMPUS PLANNED UNIT DEVELOPMENT PLANNED UNIT DEVELOPMENT

a. Purpose and Intent.

It is the intent that the St. Catherine's Hospital/Medical Center Campus Development will provide for development and uses on the properties as legally described below in conformity with the Village of Pleasant Prairie adopted Comprehensive Land Use Plan and the basic underlying I-1, Institutional District; that the Development will not be contrary to the general health, safety and welfare and economic prosperity of the Village; and that the structures, landscaping, fencing, parking areas, architectural design and materials, lighting, general site development and signage for the Development shall be properly maintained and general site development will result in an attractive and harmonious institutional facility, which will operate as a uniform Hospital and Medical Center Campus development and will not adversely affect the property values of the surrounding properties.

b. Legal Description: Parcels 1 and 2 of CSM #2226, located in a part of U.S. Public Land Survey Section 8, Township 1 North, Range 22 East in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin further identified as Tax Parcel Numbers: 91-4-122-082-0113 and 91-4-122-082-0117 and herein after referred to as the "DEVELOPMENT".

c. Requirements within the DEVELOPMENT:

- i. The DEVELOPMENT shall be in compliance with all Federal, State, County and Village ordinances and regulations except as expressly modified in Section d below. Additionally, all portions of the Village Zoning Ordinance not modified by this Planned Unit Development (PUD) shall apply to the DEVELOPMENT.
- ii. The DEVELOPMENT, including but not limited to, each building or structure, landscaping, fencing, parking, lighting, general site development and signage shall be maintained in a neat, presentable, aesthetically pleasing, structurally sound and non-hazardous condition.
- iii. All buildings or structures and site modifications (excluding general building and site maintenance) within the DEVELOPMENT shall be made in accordance with the Village Ordinance and Codes at the time the modification is proposed.

St. Catherine's Hospital PUD

- iv. All buildings and all exterior additions, remodeling or alterations to the existing hospital building, medical office building or to any of future buildings, structures, or to any signage within the DEVELOPMENT shall be constructed of the same or complimentary exterior materials, colors and architectural style to ensure a unified commercial development, as approved by the Village. No alterations or modifications to these colors or materials shall be made without the Village's approval. In no instance shall the exterior brick/block or stone materials on any buildings, structures or signage be painted.
 - v. The DEVELOPMENT shall be operated and maintained in a uniform manner, regardless of property or building ownership. If the DEVELOPMENT, or any portion of the DEVELOPMENT, is sold to another party(s) or entity(s), the DEVELOPMENT shall continue to operate as a unified institutional development and shall be maintained as a unified development, as stated above.
 - vi. The DEVELOPMENT consists of two separate parcels, which are divided by 76th Street. No signage within the DEVELOPMENT shall be construed to be "off-site" signage.
- d. Specific Modifications to the Village Zoning Ordinance Regulations and Specific Requirements for the DEVELOPMENT:
- i. Section 420-76 T of the Village Zoning Ordinance related to **Primary Monument Signs** is amended as follows:
 - (1) One sign for the DEVELOPMENT is required as shown on **Exhibit C.1**.
 - (2) Maximum area: 140 square feet per face.
 - (3) Maximum height: 13 feet:
 - (4) Minimum setback distance: 15 feet from any public street or highway right-of-way line.
 - (5) Shall include the street address of "9555 76th Street". If said address is placed on the base of the sign it will not count toward the maximum area of the sign display. Said address shall not be obscured by sign landscaping.
 - (6) Landscaping shall extend a minimum of five feet in every direction from the base or other support structure of the sign.
 - (7) May be illuminated.
 - (8) Shall be placed on a solid-appearing decorative base which supports a minimum of 75% of the horizontal dimension of the sign display.
 - (9) The base of the sign shall:
 - (a) Have a height that does not exceed the vertical dimension of the sign display.

St. Catherine's Hospital PUD

- (b) Not extend to either side of the sign display by a distance exceeding 1/2 of the horizontal dimension of the sign display, or extend above the level of the top of the sign display by a distance exceeding 1/2 of the vertical dimension of the sign display.
- ii. Section 420-76 Y of the Village Zoning Ordinance related to **Secondary Monument Signs** is amended as follows:
 - (1) Maximum number: four signs permitted within the DEVELOPMENT, as shown on **Exhibit C.1**; however, the Zoning Administrator may allow for additional secondary monument signs within the DEVELOPMENT to facilitate advance notification and assist the patients, visitors and emergency personnel in finding their way within the DEVELOPMENT.
 - (2) Maximum area: 32 square feet per face.
 - (3) Maximum height: seven feet.
 - (4) Minimum setback from any public street or highway right-of-way line: six feet.
 - (5) Landscaping: three feet in every direction from the sign base; except if located within a boulevard island.
 - (6) May include the street address (number and street name). If said address is placed on the base of the sign it will not count toward the maximum area of the sign display.
 - (7) May be illuminated.
 - (8) The base of the sign shall:
 - (a) Have a height that does not exceed the vertical dimension of the sign display.
 - (b) Not extend to either side of the sign display by a distance exceeding 1/2 of the horizontal dimension of the sign display, or extend above the level of the top of the sign display by a distance exceeding 1/2 of the vertical dimension of the sign display.
- iii. Section 420-76 S of the Village Zoning Ordinance related to **On-site Information Signs** is amended as follows:
 - (1) Primary Directional Signs.
 - (a) Maximum number: six signs permitted within the DEVELOPMENT, as shown on **Exhibit C-2**; however, the Zoning Administrator may allow for additional primary directional signs within the DEVELOPMENT to facilitate advance notification and assist the patients, visitors and emergency

St. Catherine's Hospital PUD

personnel in finding their way within the DEVELOPMENT.

- (b) Maximum area: 18 square feet per face.
 - (c) Maximum height: 7¹/₂ feet.
 - (d) Minimum setback from any public street or highway right-of-way line or back of curb of a private street: five feet.
 - (e) May include the street address (number and street name). If said address is placed on the base of the sign it will not count toward the maximum area of the sign display.
 - (f) May be illuminated.
 - (g) The base of the sign shall:
 - (i) Have a height that does not exceed the vertical dimension of the sign display.
 - (ii) Not extend to either side of the sign display by a distance exceeding 1/2 of the horizontal dimension of the sign display, or extend above the level of the top of the sign display by a distance exceeding 1/2 of the vertical dimension of the sign display.
- (2) Secondary Directional Signs.
- (a) Maximum number: 38 signs permitted within the DEVELOPMENT, as shown on **Exhibit C.2**; however, the Zoning Administrator may allow for additional secondary directional signs within the DEVELOPMENT to facilitate advance notification and assist the patients, visitors and emergency personnel in finding their way within the DEVELOPMENT.
 - (b) Maximum area: 18 square feet per face.
 - (c) Maximum height: 6¹/₂ feet.
 - (d) Minimum setback from any public street or highway right-of-way line or back of curb of a private street: five feet.
 - (e) May be illuminated.
 - (f) The base of the sign shall:
 - (i) Have a height that does not exceed the vertical dimension of the sign display.
 - (ii) May be placed on two supports.

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- (iii) May be placed on a solid-appearing decorative base which supports a minimum of 75% of the display of the sign and does not extend to either side of the sign display by a distance exceeding 1/2 of the horizontal dimension of the sign display.

iv. Amendments to the DEVELOPMENT:

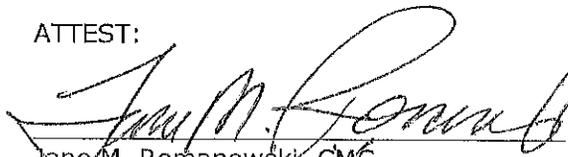
- (1) The PUD regulations for the DEVELOPMENT may be amended pursuant to Section 12.02-11 of the Village Zoning Ordinance.
- (2) A complete application for an amendment to this PUD shall be filed by the owner(s) of said properties.
- (3) The Village Zoning Administrator has the discretion to approve minor changes, adjustments and additions to this PUD ordinance document without the need for Village Plan Commission and Village Board of Trustees review and approval.
- (4) Amendments to these PUD regulations for the DEVELOPMENT shall be approved by the Prairie Ridge Commercial Business Association.

Adopted this 18th day of April, 2011.

VILLAGE OF PLEASANT PRAIRIE


John P. Steinbrink
Village President

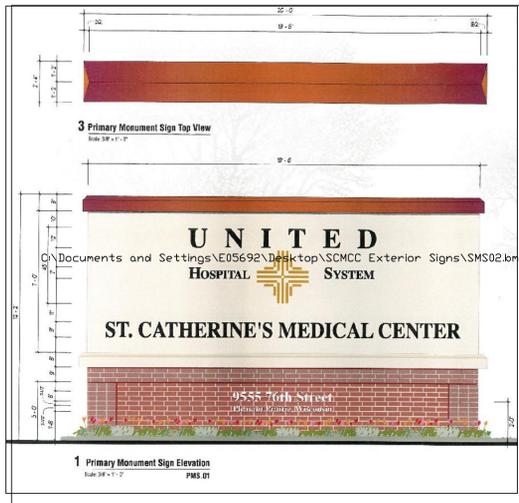
ATTEST:


Jane M. Romanowski, CMC
Village Clerk

Posted: 4-19-11

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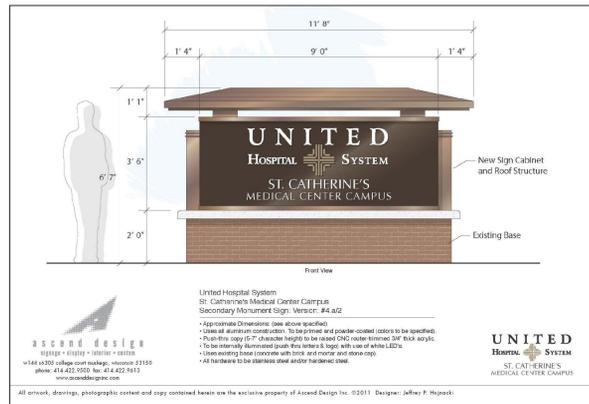
SIGN IMAGES



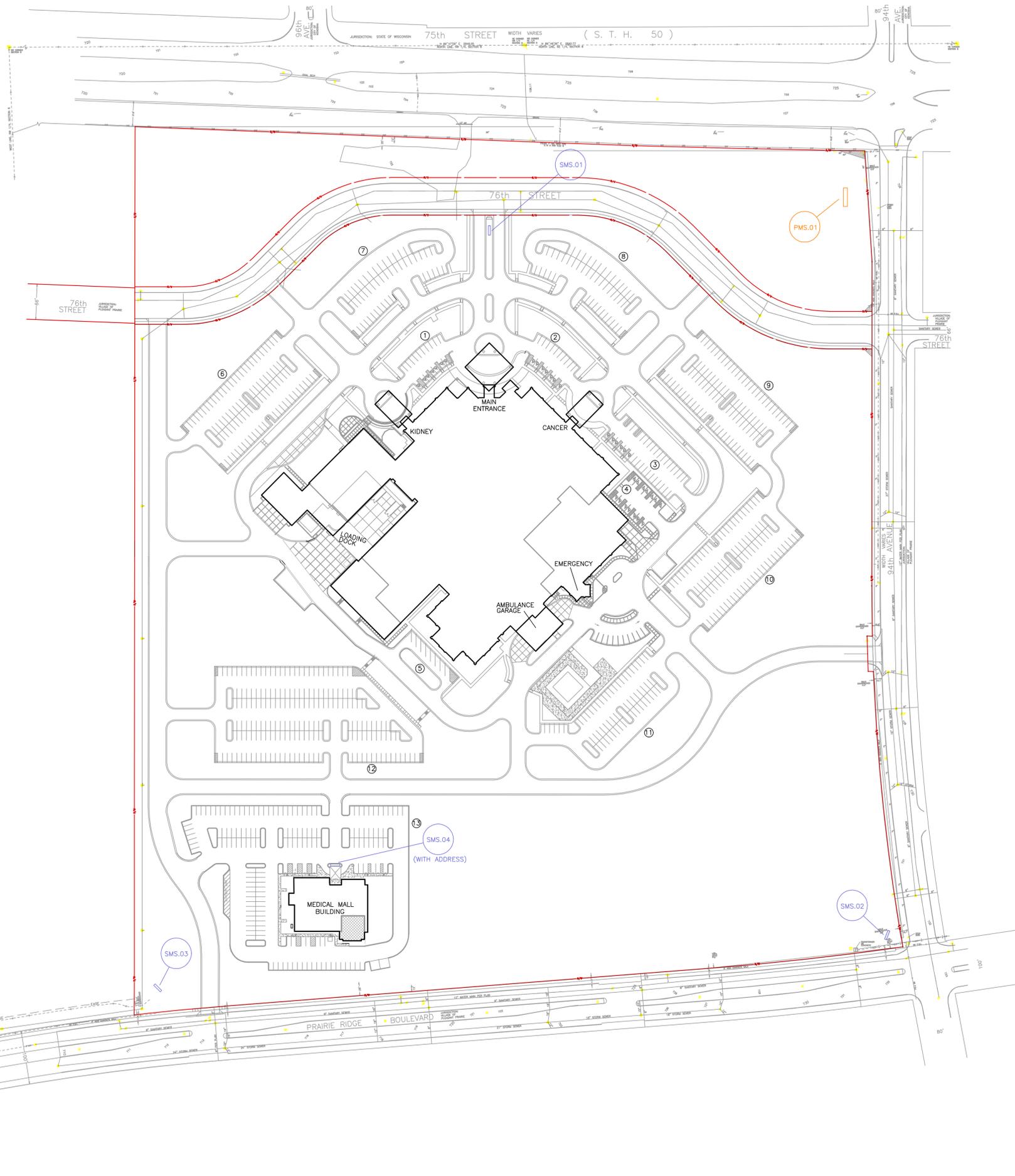
FOR DIMENSIONS ONLY



PMS.01



SMS.01



MAIN LEGEND

PRIMARY MONUMENT SIGN PMS

SECONDARY MONUMENT SIGN SMS

***NOTE: ALL PRIMARY AND SECONDARY MONUMENT SIGNAGE TO RESPECT THE MINIMUM SIX FOOT SETBACK FROM ANY PUBLIC STREET OR HIGHWAY RIGHT-OF-WAY LINE**



9555 76TH STREET
ATTN: ENGINEERING
PLEASANT PRAIRIE, WI 53158

EXTERIOR SIGNAGE SCMCC

REVISION:

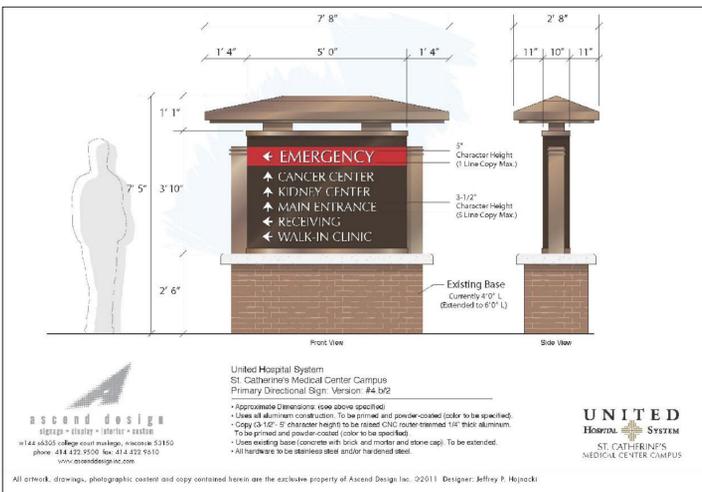
PROJECT NO. 1000

DATE: 03.28.11

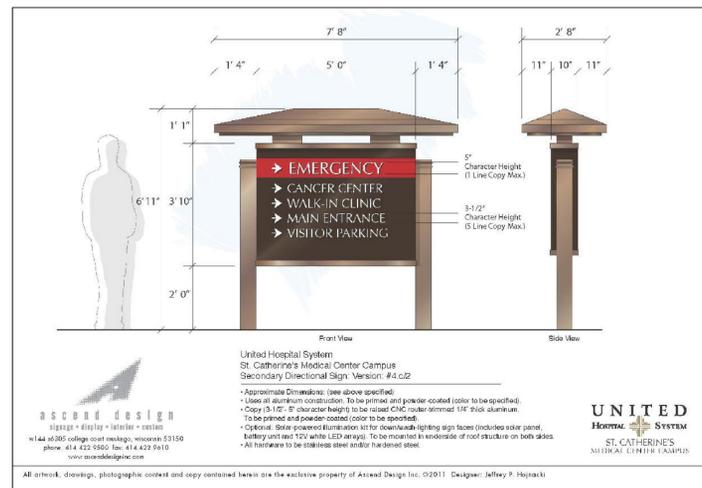
SHEET NAME: PRIMARY AND SECONDARY MONUMENT SIGNS

SHEET NO:

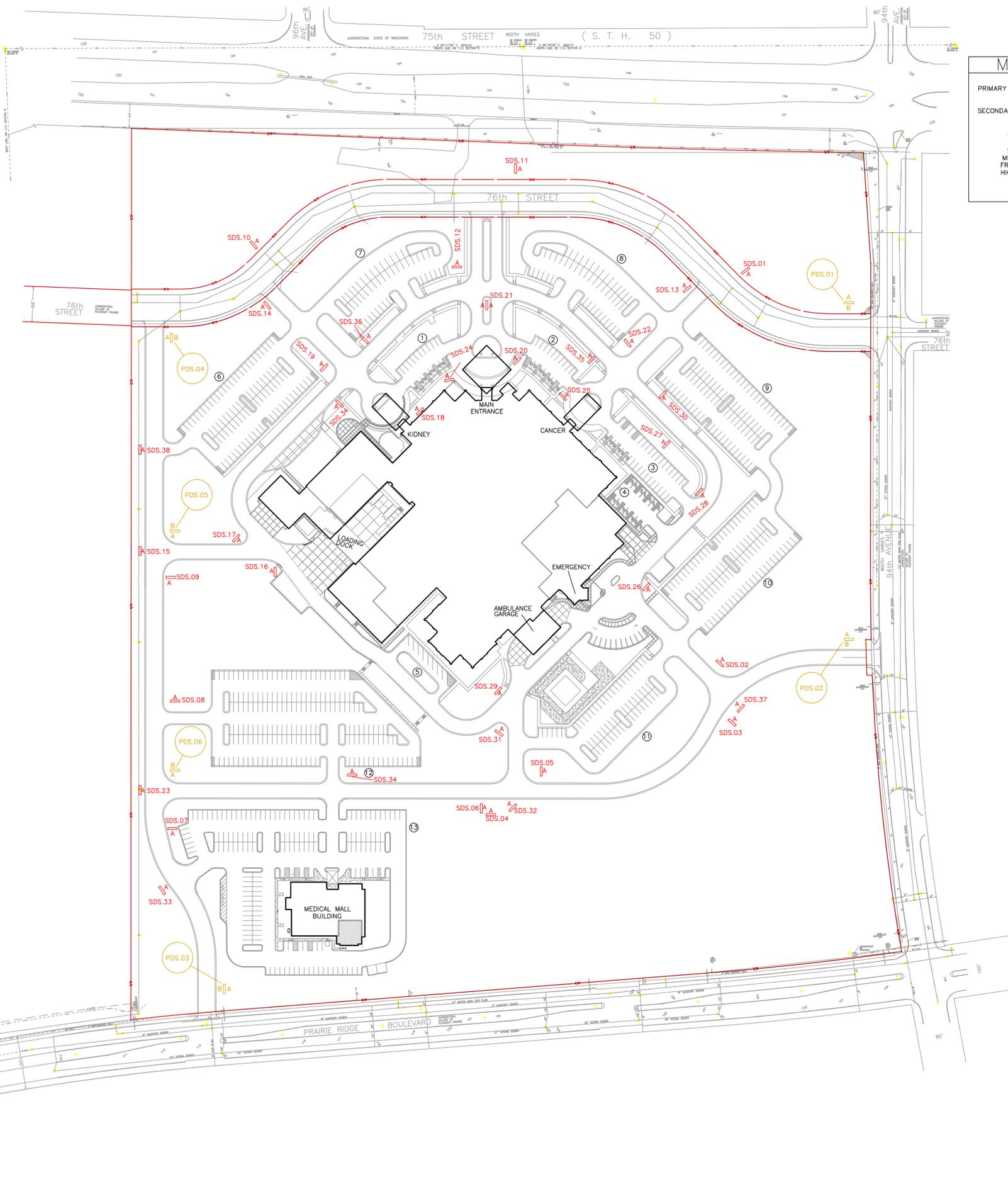
SIGN IMAGES



PDS.01



SDS.01



MAIN LEGEND

PRIMARY DIRECTIONAL SIGN PDS

SECONDARY DIRECTIONAL SIGN SDS

***NOTE:** ALL PRIMARY AND SECONDARY DIRECTIONAL SIGNAGE TO RESPECT THE MINIMUM FIVE FOOT SETBACK FROM ANY PUBLIC STREET OR HIGHWAY RIGHT-OF-WAY LINE OR BACK OF CURB OF A PRIVATE STREET



9555 76TH STREET
ATTN: ENGINEERING
PLEASANT PRAIRIE, WI 53158

EXTERIOR SIGNAGE SCMCC

REVISION:

PROJECT NO. 1000

DATE: 03.28.11

SHEET NAME:
PRIMARY AND SECONDARY DIRECTIONAL SIGNS

SHEET NO:

**THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME
HOWEVER SEPARATE ACTION IS REQUIRED.**

- B. **PUBLIC HEARING CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING PRELIMINARY SITE AND OPERATIONAL PLANS** for the request of Dixit Patel, on behalf of VIDHYA Corp, VIII, Inc., the property owners related to a Dunkin Donuts (with a drive-thru) proposed to be located within the BP Amoco convenience store located at 10477 120th Avenue.

Recommendation: Village staff recommends that the Plan Commission approve the Preliminary Site and Operational Plans and continue the public hearing for the Conditional Use Permit until the Final Site and Operational Plans including amended DSIS plans are submitted that comply with the comments and conditions of the Village Staff Report of October 10, 2016. This public hearing is proposed to be continued until a future Plan Commission meeting—new notices will be sent when this meeting is scheduled. [Note: The Preliminary Site and Operational Plans will allow the owner, at their own risk, proceed with the interior alterations with this approval.]

- C. **PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AMENDMENT** for the request of Dixit Patel, on behalf of VIDHYA Corp, VIII, Inc., the property owners to amend the BP-Amoco Planned Unit Development (Chapter 420 Attachment, Appendix C Specific Development Plan 10) related to the specific zoning regulations for the installation of the drive thru facility for Dunkin Donuts (proposed to be located within the BP Amoco convenience store located at 10477 120th Avenue for BP Amoco.

Recommendation: Village staff recommends that the Plan Commission table the Zoning Text Amendment until the Final Site and Operational Plans are submitted. This public hearing is proposed to be continued until a future Plan Commission meeting--new notices will be sent when this meeting is scheduled.

VILLAGE STAFF REPORT OF OCTOBER 10, 2016

CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING PRELIMINARY SITE AND OPERATIONAL PLANS for the request of Dixit Patel, on behalf of VIDHYA Corp, VIII, Inc., the property owners related to a Dunkin Donuts (with a drive-thru) proposed to be located within the BP Amoco convenience store located at 10477 120th Avenue.

CONSIDERATION OF A ZONING TEXT AMENDMENT for the request of Dixit Patel, on behalf of VIDHYA Corp, VIII, Inc., the property owners to amend the BP-Amoco Planned Unit Development (Chapter 420 Attachment, Appendix C Specific Development Plan 10) related to the specific zoning regulations for the installation of the drive thru facility for Dunkin Donuts (proposed to be located within the BP Amoco convenience store located at 10477 120th Avenue for BP Amoco.

THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME HOWEVER SEPARATE ACTION IS REQUIRED.

PUBLIC HEARING COMMENTS:

As a part of the hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's request as presented and described below:

Findings of Fact

1. The petitioner is requesting approval of a Conditional Use Permit including Preliminary Site and Operational Plans for associated site improvements and building alterations for related to a proposed Dunkin Donuts (with a drive-thru) and a future sandwich shop proposed to be located within the BP Amoco convenience store located at 10477 120th Avenue. (See **Exhibit 1** for a copy of the application and plans). This preliminary approval will allow for the owner to proceed with interior building modifications, at their own risk. Final Site and Operational Plans shall be submitted to address all the site and exterior building modifications as noted in the staff report.
2. The petitioner is also requesting approval of an amendment to the BP-Amoco Planned Unit Development (Chapter 420 Attachment, Appendix C Specific Development Plan 10) related to the specific zoning regulations for the installation of the drive thru facility for Dunkin Donuts. (See **Exhibit 2** for a copy of the Zoning Text Amendment Application).
3. The property is known as a Lot 14 of CSM 1489 (Document #872365) located in the Northwest One Quarter of U.S. Land Survey Section 30, Township 1 North, Range 22 East in the Fourth Principal Meridian, lying and being in the Village of Pleasant Prairie, Kenosha County Wisconsin and further identified as a part of Tax Parcel Number 92-4-122-302-0130.
4. The operation of the gasoline station and convenience store shall continue to remain in compliance with Conditional Use Permit #13-03 as amended. (See **Exhibit 3** for a Copy of CUP#13-03 Amendment #4). This Conditional Use Permit approval is in addition to the requirements set forth in the existing conditional use permit.
5. Dunkin Donuts is proposing to occupy the northern portion of the existing building with a drive-thru facility along the east and north sides of the building. The interior modifications to the building include reconfiguration of the convenience store to include the Dunkin Donuts and a future sandwich shop. In addition, the restroom facilities are being altered and updated. The exterior of the building is also being modified to add a stone tower features, painting of exterior brick, canopies, lighting and other features.

6. The existing Digital Security Imaging System (DSIS) shall be upgraded from analog to digital systems and modified to include additional cameras to monitor the drive-thru lane and pickup window for Dunkin Donuts. The amendment to the DSIS Agreement will be considered at the time the Final Site and Operational Plans are considered.
7. Parking: The site reconfiguration will include 17 parking spaces (which includes two (2) handicapped accessible parking spaces). In addition, the site will provide stacking of 10 cars in the drive-thru and 20 fueling positions. Pursuant to the Village Zoning Ordinance the number of parking spaces required for the facility is listed below:
 - a. Gas station with convenience store and fast-food restaurant requires a minimum of 5 spaces for every 1,000 square feet of gross floor area plus 1 space for each employee on the largest shift.
 - b. In addition, to these minimum parking spaces, handicapped accessible parking spaces are required by the State Code.

The existing floor area of the building, excluding the carbon capture ground water monitoring room and exterior electrical room is 4,588 square feet. Based on the foregoing information the total number of parking spaces required is 23, plus the handicapped accessible parking spaces for a total of 25 parking spaces not including the 10 spaces within the drive-thru and 20 fueling positions. Off-street parking shall not be allowed on the adjacent public streets (104th Street, 120th Avenue or Corporate Drive) or the abutting private street (105th Street). The private street shall be designated with "No Parking" signage. The PUD is proposed to be amended to specify these parking requirements.

8. Agreements are being prepared for signatures between BP Amoco and its abutting neighbors regarding:
 - a. Roadway issues pertaining to the maintenance of 105th Street (private road) for its resurfacing including paving, signage and pedestrian pavement markings shall be addressed. In addition ongoing road and snow plowing maintenance are being addressed (BP Amoco, Culver's and McDonalds).
 - b. Sidewalk matters pertaining to the extension of a 4 foot pedestrian sidewalk extending from BP Amoco to and through Culver's property to the Culver's driveway adjacent to 105th Street and the removal of the side walk area between BP Amoco and Culver's on the east side of BP Amoco extending to Culver's parking lot shall be addressed. In addition, to its installation, ongoing sidewalk maintenance and snow removal maintenance shall be addressed (BP Amoco and Culver's).
 - c. Liability issues related to possible contamination matters due to infiltration extending from BP Amoco to Culver's shall be addressed.
9. Signage: The monument signs and the wall signs on the site are proposed to be changed to include:
 - a. New Primary Monument sign (at the northwest corner of the site): The sign is 15 feet high and the display area is 153.8 square feet (11.83' x 13'). This sign shall be revised to include the full address (10477 120th Avenue) on the base of the sign. The sign shall be setback a minimum of 15 feet from all property lines and shall not be placed within the vision triangle. In addition, landscaping shall extend a minimum of five (5) feet in all directions at the base of the sign. Show the setback to property lines on site plans to ensure

setback compliance.

- b. New Secondary Monument Sign (at the southwest corner of the site): The sign is 4.5 foot high and the display area is 54 square feet (4.5' x 12'). The sign shall be setback a minimum of 15 feet from all property lines and shall not be placed within the vision triangle. In addition, landscaping shall extend a minimum of three (3) feet in all directions at the base of the sign. Show the setback to property lines on site plans to ensure setback compliance.
- c. Wall Signs: There is a total of 302.7 square feet of wall signage proposed for the building including the following signs
 - West Side: Dunkin Donut Sign—58.3 square feet
To Go Sign—46.9 square feet to remain
Wall sign are for future sandwich shop: 66.6 square feet
 - East Side: Dunking Donut Sign-14.3 square feet
 - South Side: Dunkin Donut Sign—58.3 square feet
 - North Side: Dunkin Donut Sign—58.3 square feet

This signage is excessive: The Dunkin Donuts signs at 58.3 square feet each and the wall sig for the future sandwich shop at 66.6 square feet are too large. These signs shall be reduced and shall be smaller than the BP signs of 46.9 square feet. Also, the menu board that is almost 70 square feet is also too large Signage to remain or proposed on the existing gasoline canopy shall be submitted.

- 10. **Zoning Text Amendment.** The PUD Zoning Text amendment is being proposed for the development (See **Exhibit 2** for the application and **Exhibit 4** for the current PUD Ordinance). The amendments that are being considered include: 1) to reduce setbacks to common lot line between BP Amoco and the Culvers Restaurant to the east and will allow for additional total aggregate wall signage for the building and gasoline canopy, modification to the minimum on-site parking as noted above and may include a decrease in the % of open space. This ordinance amendment will be drafted and presented when Final Site and Operational Plans are submitted.
- 11. Notices were sent to adjacent property owners via regular mail on September 22, 2016 and notices were published in the Kenosha News on September 26 and October 3, 2016.
- 12. The petitioner was e-mailed a copy of this memo on October 7, 2016.
- 13. According to the Article XVIII of the Village Zoning Ordinance, the Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings of fact, the application and related materials that the project as planned, will not violate the intent and purpose of all Village Ordinance and meets the minimum standards for granting of a Conditional Use Permit. Furthermore, the Plan Commission shall not approve any Site and Operational Plan application without finding in the decision that the application, coupled with satisfaction of any conditions of approval, will comply with all applicable Village ordinance requirements and all other applicable Federal, State or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, noise, storm water management, streets and highways and fire protection.

Village Staff Conclusions and Recommendation: (to be read out loud)

The Village staff has determined that based upon the foregoing information presented in the application, at the public hearing and the memorandum from the Fire & Rescue Department that the project meets the following standards for granting a Conditional Use Permit and Site and Operational Plan approval in that the project:

- The project does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services.
- The project does not impair an adequate supply of light and air to the adjacent properties.
- The project does not increase danger of fire, insofar as the danger of fire does not exceed the capabilities of the Village Fire & Rescue Department.
- The project does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare.
- There are no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use.
- The proposed and applied for use on this particular parcel is not inherently inconsistent with the B-4 District in which it is located or the adjoining zoning districts and land uses.

Recommendation Item B: Village staff recommends that the Plan Commission approve the Preliminary Site and Operational Plans subject to the above comments and the following conditions and further recommends that the public hearing for the Conditional Use Permit be continued until the Final Site and Operational Plans and the amended DSIS documents are submitted that comply with the comments and conditions of the Village Staff Report of October 10, 2016. This public hearing is proposed to be continued until a future Plan Commission meeting—new notices will be sent when this meeting is scheduled.

1. The Owners may, at their own risk, proceed with the interior alterations with this approval with the understanding that ***Final Site and Operational Plans and DSIS Agreement amendment are required to be submitted for final review and approval prior to any exterior site and building modifications are made. The following shall be submitted for issuance of permits for the interior work:***
 - a. Resubmit sample colors and building/finishing materials for the internal store and bathrooms.
 - b. Subject to compliance with the ***attached*** Fire & Rescue Department Memo dated October 3, 2016. **Note that Condition #2 requires that a letter be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within the October 3, 2016 memorandum. A copy of this letter shall also be provided to the Community Development Department.**
 - c. Subject to compliance with the ***attached*** Building Inspection Department Memo dated October 4, 2016.
 - d. Commercial Building Permit application and plans for interior alterations.

- e. Written approval for the LakeView Commercial Owner's Association for the Preliminary Site and Operational Plans.
2. The Plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and detailed engineering plans are prepared and reviewed. The following changes shall be made and Final Site and Operational Plans (3 full size paper copies and a pdf) with all the additional information noted below shall be submitted for Village review with an complete application and the \$825 application fee.
- a. Submit an updated written operational plan with the Final Site and Operational Plans that includes the Dunkin Donuts expansion for the station. A minimum of 3 employees shall be working at any one time during the convenience store, gas station and Dunkin Donuts hours of operations. Identify the hours of operation. The 24-hour (extended hour) operations would only be permitted by separate agreement and a temporary use permit granted by the Village Board for Black Friday (day after Thanksgiving). Identify that a future sandwich shop may located in the store. Also explain that the DSIS system shall be upgraded to current Village requirements and that additional cameras shall be installed on the east side of the building.
 - b. An environmental impact and action plan shall be submitted at the same time as the engineering plan submittal.
 - c. Provide documentation from the WI DNR that there will be no objections to the land disturbance (opening up a contaminated site for the construction of the new drive-thru. In addition, provide the executed Liability Agreement with Culver's
 - d. Provide executed Agreement from all landowners regarding the private roadway 105th Street resurfacing work including crack filing, pavement markings and signage.
 - e. Provide executed Agreement of acceptance (including executed easement) from Culver's on the support for the pedestrian walkway crossing from BP to Culver's which articulates who is installing, maintaining, plowing, salting, replacing and insuring the sidewalk.
 - f. Detailed civil engineering plans shall be submitted for review and approval.
 - g. Identify where and how the snow will be moved through the drive thru –and not placed on Culver's property.
 - h. Verify that all turning movements can be made for vehicles passing through the drive-thru.
 - i. The DSIS shall be updated (and the agreement amended) to meet the current requirements of the Chapter 410 and to insure that the drive through and while waiting at the drive-thru window areas are covered. Detailed plans shall be submitted for review.
 - j. The % of open space shall be calculated and provided. The site shall maintain a minimum of 25 % open space, or a modification to the PUD will be required.

- k. Modify the exterior architecture –Add a canopy or some other type of architecture and some gooseneck or more attractive lighting on front, rear and sides of building.
- l. Provide updated colored elevations for each side of the building which shows the materials.
- m. Any existing neon banding on the gas canopy shall be clearly shown on the plans.
- n. Provide information on re-reroofing the building – materials and colors. Provide a materials on a sample board.
- o. Provide paint color samples for brick-add a striping or other variation to the east and other sides of the building.
- p. Provide color paint samples for exterior doors. All doors shall be sanded, primed and repainted to match new adjacent building colors.
- q. Downspout extensions shall be brought to grade and painted to match downspouts- no exposed PVC white pipe or metal piping.
- r. Detailed landscaping plans which should the planting methods, planting beds, staking, mulching and other details.
- s. Provide details for the garbage dumpster enclosure (painting to match building colors)– changes being proposed?
- t. The ice machine may need to be removed from the site. It shall not block the sidewalk, any window or any door openings.
- u. Provide details (size and dimensions and materials and colors) on all existing and proposed building signage and totals - no other signage will be permitted unless approved—message board, sandwich wall sign, clearance pole sign, gas canopy signage, logo signage, etc. In addition, signage on the existing gasoline canopy shall be submitted for review as well.
- v. No roof mounted speakers shall be allowed – under the gas canopy they would be permitted.
- w. The walls sign calculations on the plan sheets shall be corrected once all of the signage is finalized including any existing or proposed sign changes to the gasoline canopy. The total allowable wall signage will be included as a specific requirement in the PUD amendment.
- x. Show all setbacks to new signs to the property line to ensure all required setbacks are being met.
- y. The primary monument sign shall include the full address of the building – 10477 120th Avenue – legibly affixed to the brick base at least 18 inches from grade. The lettering shall be a minimum of 3 inches in height.
- z. The Village is recommending that the future sandwich shop sign be revised to be similar in size to the Dunkin Donut sign on the west façade.
- aa. The signage plans shall also include all informational signage and menu ordering signs. Provide details on the size of the menu board and location relative to the elevation of the building.
- bb. No raceway mounted signage is permitted.

- cc. The “No parking”, STOP and other site directional and information signage on site shall be mounted on black poles with caps (not u channel poles). Show location and details on the plans.
 - dd. No exterior glass, building or sidewalk mounted commercial signage shall be permitted. Remove the existing commercial advertising sign frames on the exterior of the building. Non-illuminated signage inside the convenience store not occupying more than 30 percent of the glass is allowed. No interior window or display signage or interior products shall block the view into the convenience store or the cash register location. Neon signage in the window counts towards building signage total. Signs shall not be attached via raceways.
 - ee. Detailed parking lot and building lighting and photometric plan shall be revised to also include the sizes, fixture heads, heights, and bases details.
 - ff. The landscape plan shall be submitted with the base map being the grading and drainage plan.
3. **Upon approval of the Final Site and Operational Plans, and prior to the issuance of the required building, zoning and erosion control permits the following shall be submitted:**
- a. Three (3) copies and a pdf of the revised Final Site and Operational Plans.
 - b. A copy of the written approval of the Final Site and Operational Plans from the LakeView Business Owners Association, including a copy of a letter which outlines approval for all variances from the LakeView Commercial Declarations.
 - c. The Commercial Building Permit applications (building, HVAC, plumbing, electrical etc.) and required plans shall be submitted for the modification to the building. [Note when a sandwich tenant is proposed, a commercial permit will be required to be submitted.].
 - d. An Erosion Control Permit Application and plans. [Note: The required \$2,000 street sweeping cash deposit shall be deposited with the Village. The street sweeping cash deposit is refundable, less 6% for administrative processing upon issuance of a Certificate of Compliance for the entire project, if the amount is not drawn upon by the Village in maintaining the adjacent roadways free from dirt, mud clumps and mud tracking during the construction process. Silt fence shall be installed and inspected prior to any work starting.]

General Conditions:

- 4. A Temporary Use Permit shall be applied for Black Friday Extended Hours.
- 5. Prior to work commencing on the site, all required permits shall be issued by the Village, all required erosion control measures shall be in place on the site and a pre-construction conference shall be held at the Village Offices.
- 6. All signage shall comply with requirements of Article X of Chapter 420 of the Village Municipal Code and any specific sign requirements of the PUD Ordinance.
- 7. No roof mounted vents or HVAC units shall be visible to the public’s view. All ground mounted HVAC or transformer units shall be screened by rooflines.

8. There shall be no parking of any vehicles on the private roadway (105th Street), 120th Avenue, Corporate Drive or STH 165 (public streets) adjacent to the property. Signage shall be installed on 105th Street which designates "No Parking".
9. Prior to occupancy each handicapped accessible parking space shall be appropriately signed and painted on the pavement pursuant to ADA requirements. (All site signage, including HC parking signage shall have decorative black poles – no green/gray u-channel poles).
10. All landscaped areas will be required to be irrigated with a sprinkler system. The irrigation system shall be used during dry conditions and monitored and maintained yearly. The base map for these landscape plans shall include the approved grading plan.
11. Prior to occupancy all required landscaping shall be installed. A written letter of verification and certification shall be provided to the Village by the landscape designer that all site (including street trees and their related maintenance), building foundation and signage landscaping has been installed in accordance with the approved landscape plan prior to the issuance of a verbal occupancy for the first tenant. However, if weather conditions prevent installation of all or portions of the landscape materials, the developer, owner or occupant shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and grants the Village a temporary easement to complete the landscaping if not timely completed and shall deposit with the Village Clerk a cash deposit, an irrevocable letter of credit, performance bond or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping; the amount of the financial assurance shall be equal to 110% of the contracted amount (Landscape's written contract estimate of unfinished work) to complete the landscaping improvements in order to reasonably compensate the Village for the cost of completion of any landscaping improvements not completed within the specified time.
12. Prior to occupancy all required site signage shall be installed. A written letter of verification and certification shall be provided to the Village by the signage installer that all building and site signage has been installed in accordance with the approved signage plan prior to the issuance of a verbal occupancy for the first tenant. (Reminder that the full building address shall be legibly shown on the Primary Monument Sign).
13. Prior to occupancy, an as-built record drawing of graphical data of the new utilities shall be provided to the Village for the Village to update the Village's Geographic Informational System. Information shall conform to the Village's electronic format requirements. In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.
14. Prior to occupancy as-built graphical data of all private sewer, water, and storm sewer facilities shall be provided to update the Village's Geographical Information System. Information shall conform to the Village's format requirements. In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.
15. Prior to occupancy, a record drawing of the utility plans will be required to reflect actual construction records and utility alignments. Record drawing(s) of all the private water main, storm sewers, and sanitary sewers shall be prepared by the Engineer of Record for the project.

16. Prior to occupancy, three (3) copies of a building and site as-built plan, stamped by a Wisconsin Registered Land Surveyor, shall be submitted to the Village to verify that and all impervious surfaces meet the minimum setbacks and that all signage and pavement markings were installed per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans. In addition, written certification from the signage companies that the signage was installed pursuant to the Village approved Signage Plans shall be submitted.
17. This development shall be in compliance with the Village Land Division and Development Control Ordinance, the Village Municipal and Zoning Codes, the Village Construction Site Maintenance and Erosion Control Ordinance, Kenosha County Health Department Ordinances and the State of Wisconsin Statutes.
18. All Village fees incurred by the Village Community Development and Engineering Departments and/or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner. If fees are not paid in a timely manner the Village will not continue to review said plans or inspect the project. Outstanding fees shall be paid in full at the time of the occupancy inspection.
19. An annual Business License will be required for all businesses in the Village beginning in 2017. Notices for such license will be sent to all existing businesses in November 2016.
20. **The following additional conditions shall be included in the Conditional Use Grant approval document:**
 - a. Continued compliance with Conditional Use Permit #13-03 as amended and as recorded at the Kenosha County Register of Deeds Office.
 - b. A minimum of three (3) employees shall be working at any one time during the convenience store, gas station and Dunkin Donuts hours of operations.
 - c. All required permits from Kenosha County Health Department shall be obtained for all restaurant (food preparation) tenants/uses in the building. Violations may result in the suspension or revocation of the Health Permit and the Conditional Use Permit.
 - d. The owner shall comply with all provisions of the Site & Operational Plan approvals, including compliance with the Village Performance Standards and the LakeView Commercial Business Owners Association.
 - e. The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/ dismantled/unlicensed vehicles that are parked overnight will be issued citations.
 - f. At no time shall the site be used to sell or advertise any vehicles that are "for sale".
 - g. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.
 - h. There shall be no semi-truck/trailers, delivery trucks or commercial box trucks or commercial van parking permitted on the site within the Development, except temporarily, for routine deliveries.
 - i. There shall be no outdoor storage of materials or display of materials, goods or equipment on this site (e.g. wood, washer fluid or convenience store

merchandize), unless as expressly approved by the Village.

- j. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited. Outdoor storage of any materials, including but not limited to: raw materials, business supplies, pallets, crates, etc., is prohibited.
 - k. No trucks, trailers or cars shall be parked in a manner that would constitute advertising for the tenant business on the properties.
 - l. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
 - m. This Conditional Use Grant and all of its related conditions shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land.
 - n. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
 - o. The property owner shall comply with all provisions of the Conditional Use Permit and Site & Operational Plan submittal, including compliance with the Village Performance Standards.
 - p. Operation of the use granted herein shall be in strict conformity to both plans and documents filed and approved in connection with the petition for Site and Operational Plan and Conditional Use Permit approvals. Any violation of these conditions may result in the revocation of the approval or zoning violation prosecution, or both.
 - q. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance.
 - r. All plans and the proposed and applied for use shall conform to applicable Village Ordinance requirements, and to all other applicable local, County, State and Federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, noise, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.
21. **Upon approval of the Village will prepare the required Conditional Use Grant Document to be executed by the property owner. After the document is executed, it shall be recorded at the Kenosha County Register of Deeds office at the owner's expense.**

Recommendation for item C: Village staff recommends that the Plan Commission table the Zoning Text Amendment until the Final Site and Operational Plans are submitted. This public hearing is proposed to be continued until a future Plan Commission meeting--new notices will be sent when this meeting is scheduled.



Office of the
Chief of Fire & Rescue
Doug McElmury

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue Department
CC: Deputy Chief, Craig Roepke
Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the BP Convenience Store / Dunkin Donuts Plans
DATE: October 3, 2016

This is a review of the Building Plans for the proposed remodel to the BP facility. The building is located at 10477 120th Avenue.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*

IT IS CRITICAL THAT ALL CONTRACTORS SPECIFICALLY FIRE SPRINKLER & ALARM DESIGNERS AND INSTALLERS RECEIVE AND UNDERSTAND THE CONTENT OF THIS DOCUMENT.

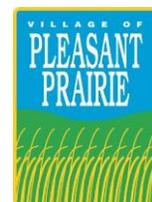
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State and or Village when applicable.

FIRE ALARM AND SPRINKLER PLANS ARE A SEPARATE SUBMITTAL TO THE FIRE DEPARTMENT.

DUE TO CONSTRUCTION AND TIME CONSTRAINTS FIRE PROTECTION SUBMITTALS MAY AND ARE TYPICALLY BROKEN INTO AN UNDERGROUND SUBMITTAL AND AN ABOVE GROUND SUBMITTAL.

INFORMATION REGARDING PLAN SUBMITTAL CAN BE FOUND AT

<http://www.pleasantprairieonline.com/services/fireandrescue/ForContractors.asp>



Upon review of the plans submitted, we have the following concerns:

- This is a review of the building plans, however, it is understood, that typical and customary fire protection features have not been shown of the plans.
- AED. Because of the overall building size the owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee use in the event of a sudden cardiac arrest. The Fire & Rescue Department can provide the training necessary to perform CPR and to operate the AED.
- Fire Sprinkler System: The existing building is not protected by fire sprinklers; per Village Ordinance 180-16 (R) (1), since more than 50% of the building is being, or has been remodeled, the entire building shall be protected by fire sprinklers. Both underground and aboveground fire sprinkler plans shall be submitted to the Fire & Rescue Department for review and all applicable permits applied for.
- Fire Alarm Control Panel: The existing building is not protected by a fire alarm system; per Village Ordinance 180-16 (R) (1), since more than 50% of the building is being, or has been remodeled, the entire building shall be protected by a fire alarm system and monitored by a central station. Fire alarm plans shall be submitted to the Fire & Rescue Department for review and all applicable permits applied for.
- Fire safety system plans, such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from **both** departments. A Wisconsin Licensed Sprinkler Designer shall determine if the existing combination water main has adequate capacity for the additional sprinkler work.
- Severe Weather Shelter: The architect shall identify the area within the building that can be used as a “severe weather shelter” or “safe haven” during severe weather such as a tornado. That area will be identified with signage.

4. **Fire and Rescue Department Review and Comments:**

A. Site and Operational Permits

1. Site accessibility
2. Fire Pump Location **If required**
3. Pumper Pad
4. Fire hydrant spacing

B. **Conditional Use and Operational**

1. Standpipe outlet locations **Not shown at this time.**
2. Fire alarm pull stations **Not shown at this time.**
3. Emergency and Exit Lighting **Not shown at this time.**
4. Fire extinguishers **Not shown at this time.**

5. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for review of all fire protection plans submitted. Payment for the permits must be submitted with the plans. A satisfactory review must be completed before any permits will be issued and before construction can begin.
6. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.
7. **Hazardous Occupancies:** The Fire & Rescue Department will need more than the typical four week time period to review proposed Hazardous Occupancies. The owner must contact the Fire & Rescue Department as soon as possible to begin the review process.
8. **The following information must be submitted with the sprinkler plans for review:**
 - Building height:
 - Number of stories/floors:
 - Mezzanines:
 - Clear space:
 - Elevators:
 - Hazard class:
 - Commodity:
 - Maximum storage height:
 - Square footage, office space:
 - Square footage, Manufacturing including maintenance and equipment:
 - Square footage, receiving space:
 - Square footage, shipping space:
 - Square footage, warehouse space:
 - Exterior storage:
 - Fire protection:
9. **The following Fees and Permits are generated directly from the Fire & Rescue Department.**

NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.

Bulk Water

- Water Usage
- Fire Protection Plans for Underground and Aboveground
- Fire Alarm System Plans
- Kitchen Hood Systems Plans
- Occupancy Permit & Re-Inspection fees

Permit fees shall be paid at time of plan submission. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.

10. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.

11. **Pre-Construction Meeting:** A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire & Rescue Department, Building Inspection Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Safety and Professional Services.
12. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2009 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.
 - a. All entrances from public streets, as well as road and driveways around the proposed building must be a minimum of 30 feet wide.
 - b. All exterior exit pathways as well as access to the Fire Riser Room shall have a hard surface, leading to a hard surface.
 - d. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.
 - e. Each door must access from the outside.
13. **Sprinkler System:** The building shall be equipped with an "automatic fire sprinkler system". The systems shall be designed and constructed to the current printed edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.
14. **Fire Pump:** It will need to be determined if a fire pump will be needed to supply the added fire sprinkler system. There shall be direct ingress/egress from the fire pump room directly to the exterior of the building; a paved surface shall lead to the fire pump room. There shall be Emergency Lighting installed within the Fire Pump Room. The pump test header location shall comply with 180.16.
- **Storage:** The Owner needs to be aware of the restrictions that apply to the storage of pallets, cardboard, finished products, etc. Maximum height, width and aisle ways must be maintained and will be enforced. The same concerns apply to the storage of large quantities of combustibles (plastics, plastic wrap and cardboard) such as those used in packaging and storage.
15. **Water Service:** The main must be sized by the fire protection (sprinkler) contractor. No main is allowed to travel underground, under the building.
16. **Plan Review (Underground):** A review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire & Rescue Department. Underground plans shall be submitted a minimum of four (4) weeks before installation begins.
17. **Fire Hydrants:** Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. The insurance carrier must agree in writing to the hydrant spacing. The hydrants shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches. The Fire Department connections shall be located, and of sufficient height where typical snow fall or snow removal operations will not obstruct access.
18. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic

and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA–National Fire Code) Standard 24 and witnessed by the Fire Chief and or the Chief’s representative, the installing contractor and the fire sprinkler contractor at a minimum.

19. Fire hydrant and water main flushing can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety.
20. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a ‘clean water sample’ on this site.
21. **Pumper Pad:** There shall be dedicated space for a fire engine to have unobstructed access to the Pumper Pad. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant. The Fire Department connection shall be constructed along with an underground drain with access for inspection. Both the fire department sprinkler connection and the fire hydrant, (pumper pad), shall be installed remote from the building(s) and located a minimum distance from the building equal to the highest wall. *(Refer to Appendix A for FDC detail)*
NOTE: The Fire Department Connection riser shall include a single five (5) inch Storz fitting.
22. **Bollards:** Shall be placed near all on site fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) to prevent damage. Bollards shall be 6 inches in diameter. Bollards shall not obstruct charged fire hoses. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.
23. **Strobe Light:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16(m) of the Sprinkler Ordinance. A strobe light(s) shall also be provided, visible from the pumper pad to indicate a fire pump run and/or a waterflow alarm, with signage installed under each strobe light. This is typically installed in proximity to the pump/riser room service door. *(Refer to Appendix A for Strobe & Bell detail)*
24. **Fire Alarm System:** **The system shall be fully addressable so that detailed information will be received about the device in alarm.** Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system.
 - a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
 - b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.

- c. **Smoke and Heat Detection:** Shall be installed as required.
- d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
- e. **Duct Detectors:** Duct detectors shall be programmed as a Supervisory Alarm, not as a fire alarm.
- f. **FACP Nomenclature:** Confirmation of nomenclature shall be discussed between the Fire Department and the fire alarm program technician prior to any inspections
- g. **Fire Alarm Control Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire & Rescue Department. The Fire Alarm Control Panel shall be located within the Fire Pump Room. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
- h. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
- i. **Transmission of Fire Alarms.** The method of transmission to central station must be approved by the Fire & Rescue Department. i.e. Phone line, RF Radio and /or Cellular technologies.
- j. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.
 - 1) The central station shall be provided with this information regarding the geographical location of this alarm:

Village of Pleasant Prairie, County of Kenosha, State of Wisconsin

Fire: Pleasant Prairie Fire & Rescue

Medical: Pleasant Prairie Fire & Rescue

Phone numbers:

Emergency: (262) 694-1402

Non-emergency: (262) 694-7105

Business: (262) 694-8027

- 25. **Knox Box Key System:** A determination if any additional Knox Boxes will be required will need to be made during the pre-construction meeting. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.
- 26. **MSDS Knox Box:** A minimum of One (1) Knox Box(s) designed for Material Safety Data Sheet storage shall be provided, if not already present. The box is to contain the data sheets on all products that are considered hazardous within the facility. The MSDS Box(s) shall be installed within the Fire Pump Room.

27. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
28. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. An Emergency light shall be placed within the fire pump room. Emergency and Exit lighting will be inspected after sunset to assure it is adequate and meets the Code.
29. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
- a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
 - b. Copy of contract with fire alarm central monitoring station.
 - c. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
 - d. Copies of the fire protection underground flushing documents.
 - e. Copies of the underground and fire sprinkler hydrostatic test certificates.
 - f. Copies of the fire sprinkler operational test certificates.
 - g. Copies of the fire alarm test documents.
 - h. Copies of other test documents such as, hood/duct, smoke, etc...
 - i. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy. (See Appendix A)
 - j. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
 - k. Severe Weather Shelter: The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado.
 - l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire riser/pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
 - m. AED, in place at such time a tenant takes occupancy.
 - n. Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.
30. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.

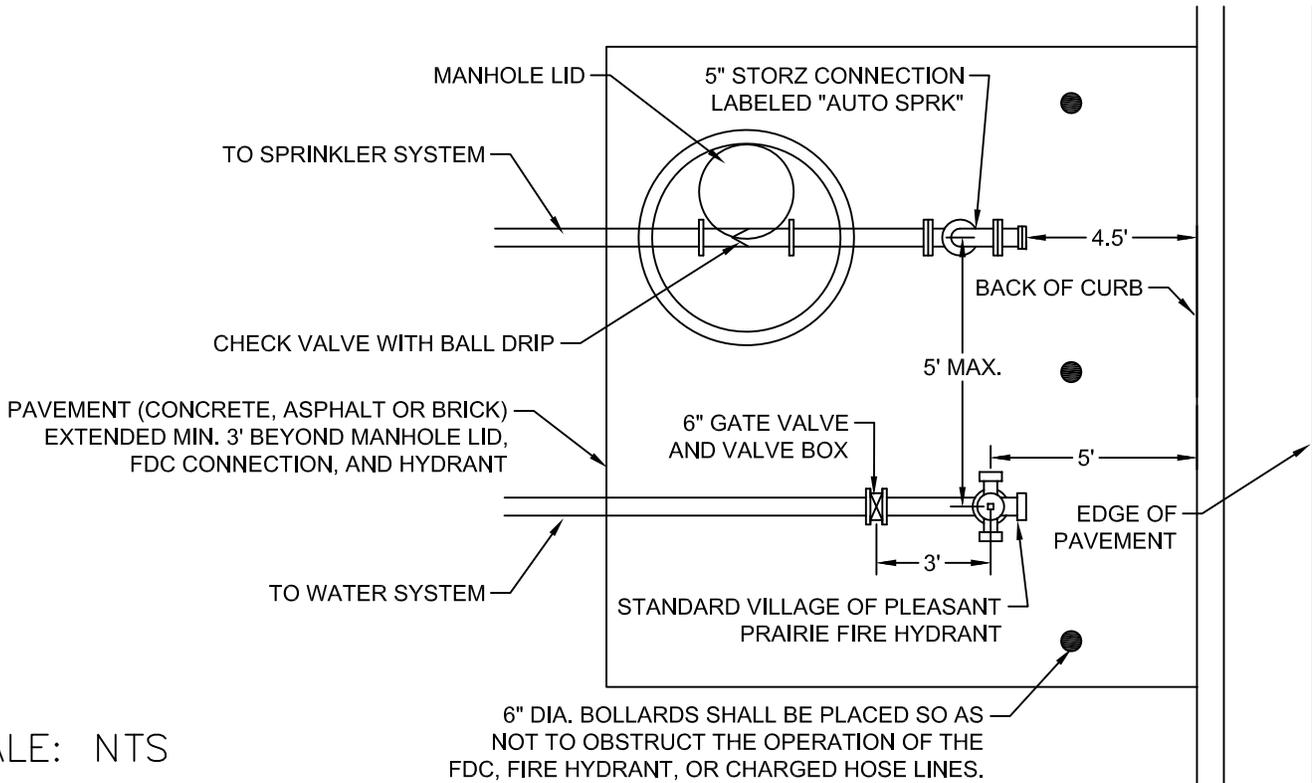
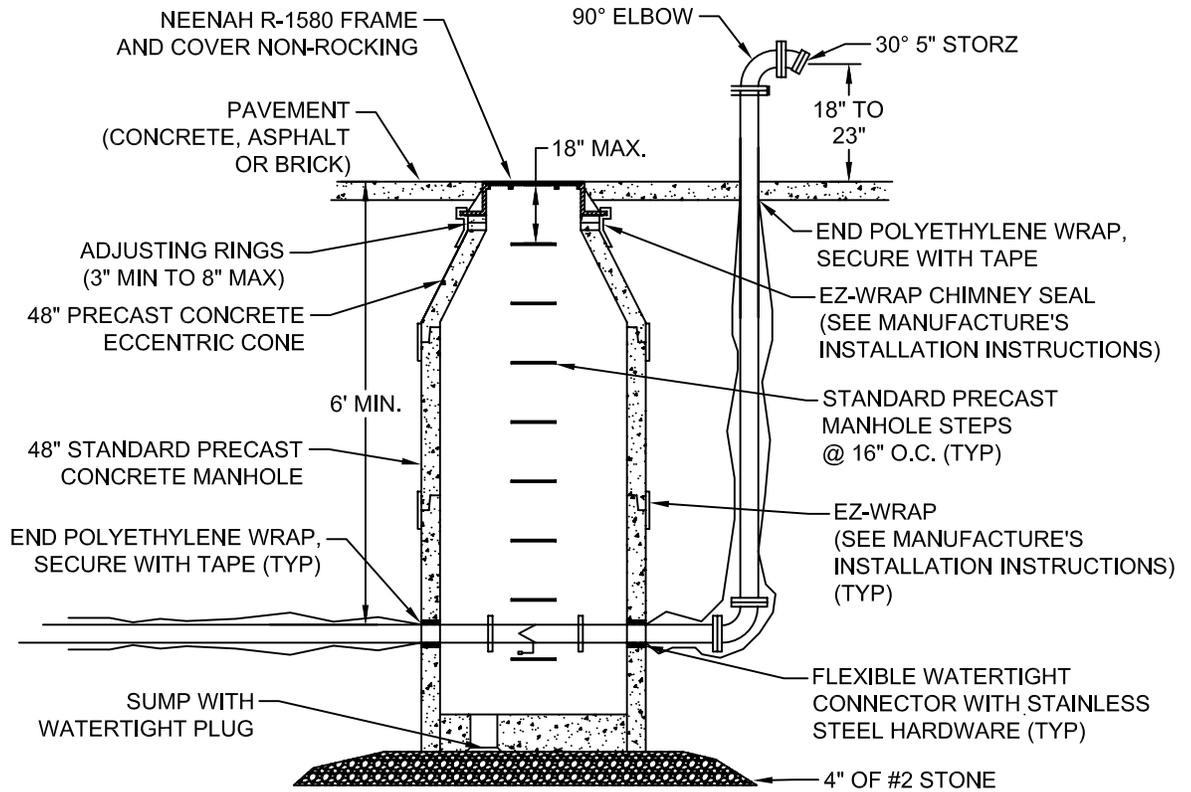
Appendix A

Contents

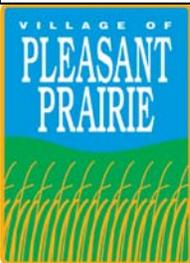
1. Standard pumper pad with hydrant & FDC connection
2. Standard Village Hydrant specifications
3. Standard Exterior Bell & Strobe for Pump/Riser room and/or additional riser locations
4. Knox box (4400) location installation Guide
5. Knox Company – Knox vault 4400 series
6. Strobe – Whelen ISB Series – ISB 120 RED
7. Strobe – Federal Model 131ST RED
8. Pre-Plan Information requirements
9. Emergency Plan components

NOTE:

- SYSTEM SIZING SHALL BE COMPLETED BY A FIRE SUPPRESSION ENGINEER AND APPROVED OF BY THE VILLAGE OF PLEASANT PRAIRIE FIRE DEPARTMENT.
- SYSTEM INSTALLATION MUST BE CONSTRUCTED UNDER THE ONSITE SUPERVISION OF A LICENSED SPRINKLER FITTER.



SCALE: NTS



PUMPER PAD FDC DETAIL

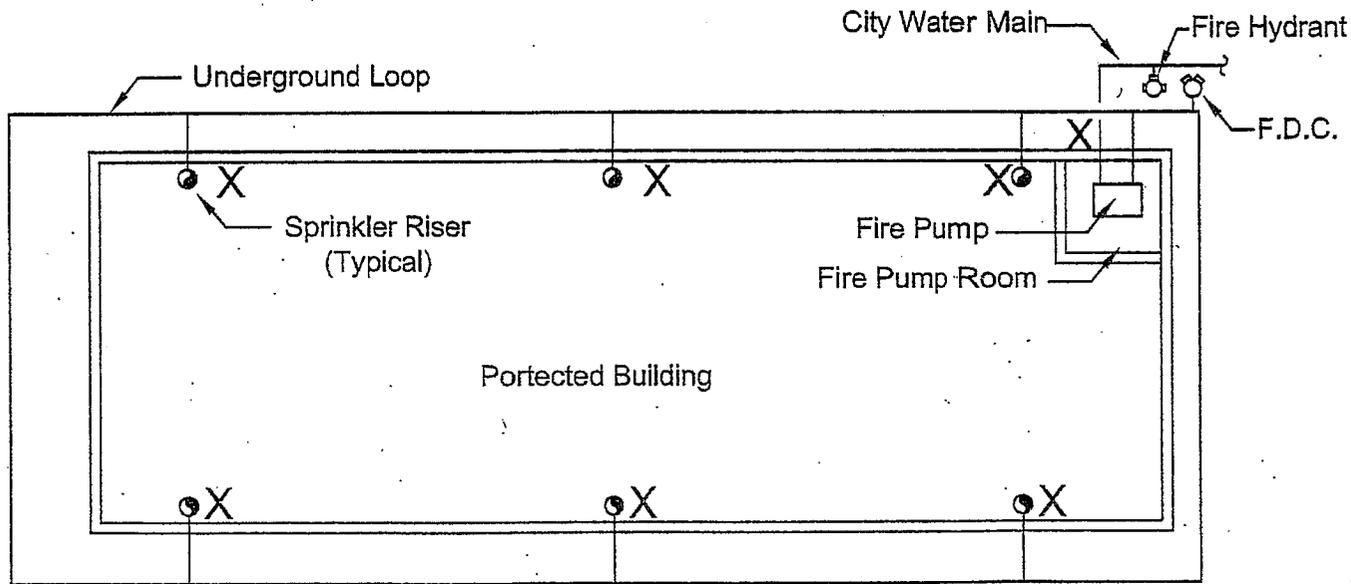
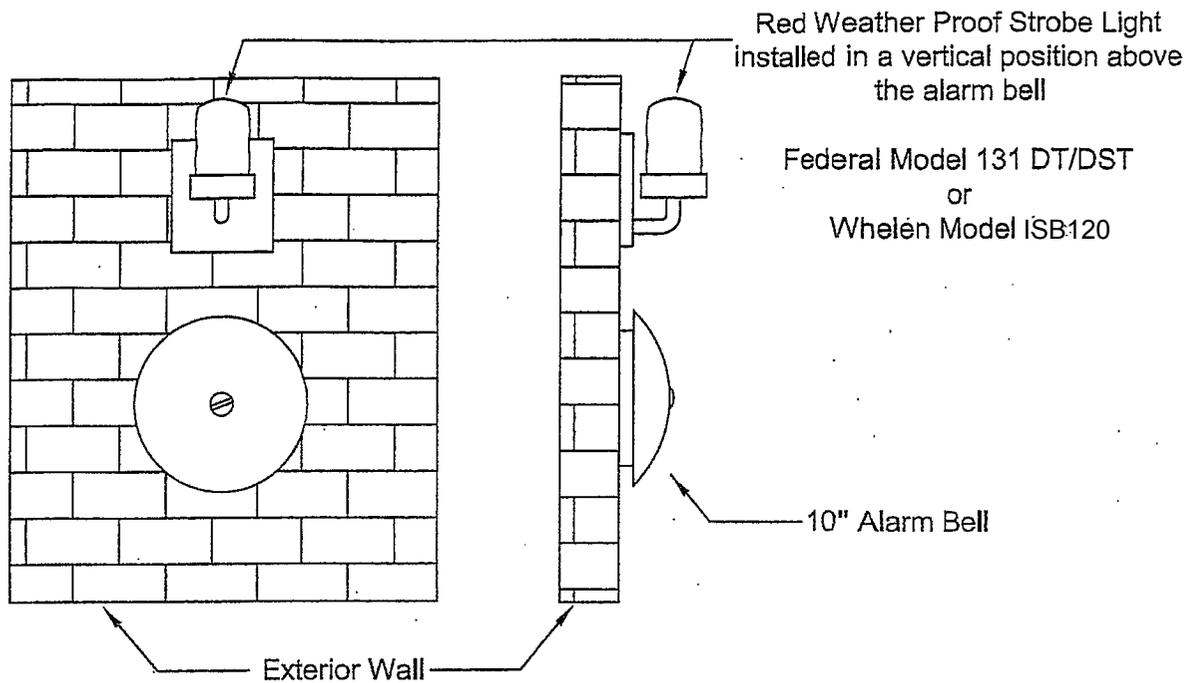
DETAIL: FD - 1

CREATED: 4-16-13

REVISED: 3-2-16

APPROVED BY: D. McELMURY





X = Required Notification Device Location

Scale: Not to Scale	Notification Device Location Details Ordinance # 180-16 K	Approved By:
Date: 12 / 17 / 2007		Fire Chief Paul Guilbert
Drawn By: M.D.	Village of Pleasant Prairie Fire & Rescue Department 8044 88th Ave Pleasant Prairie Wi. 53158 262-694-8027	Drawing Number:
Revised:		FPSK-2
Revised:		Fire Safety Consultants, Inc. 2420 Alft Lane, B100 Elgin, Illinois. 60124 Ph: 847-697-1300 Fax: 847-697-1310

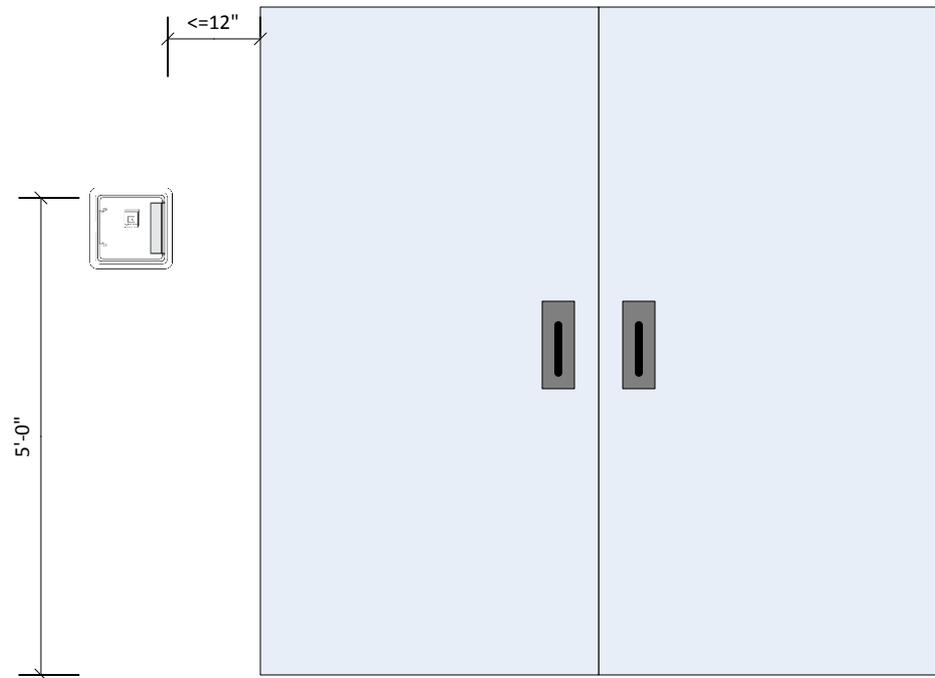
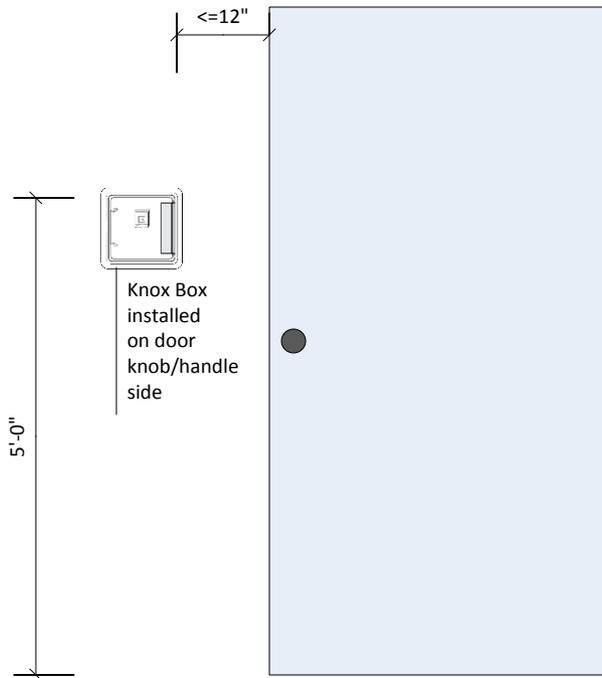
Knox Box Placement Guide

Pleasant Prairie Fire & Rescue
 8044-88th Avenue
 Pleasant Prairie, WI 53158

fireandrescue@plprairie.com
 262.694.8027
 Pleasantprairieonline.com

On Recessed boxes, measurements are taken from box base (inside of flange)

NOTE: To order Knox Boxes – contact the Fire Department. Knox Company will only accept orders from the Fire Department.



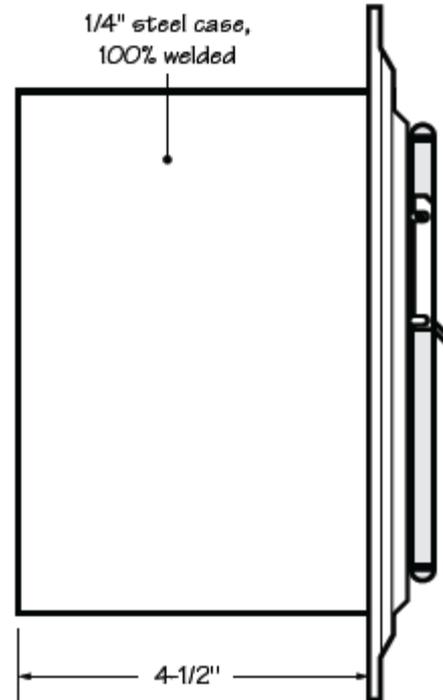
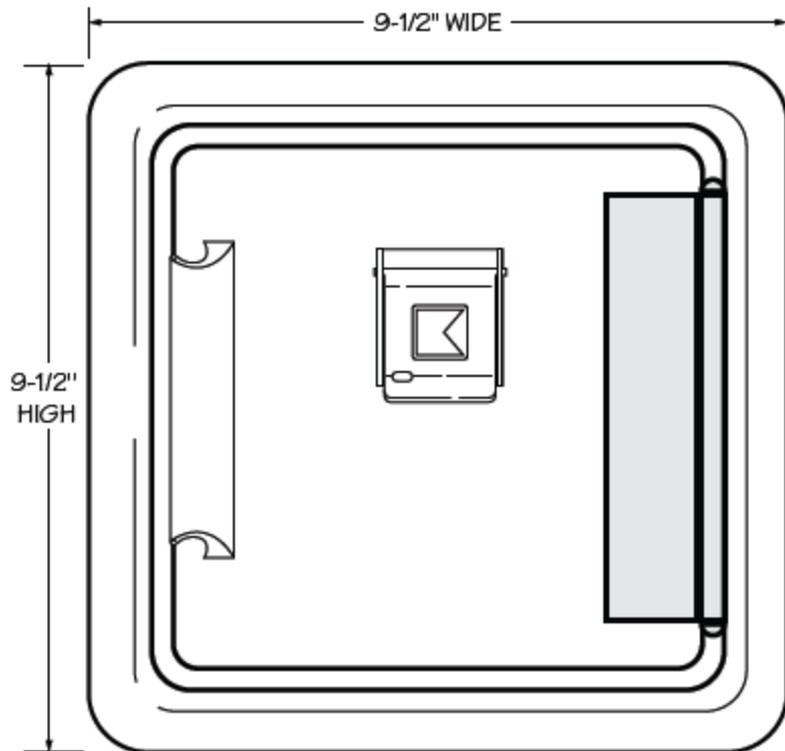
Typical installation locations for single and double doors. Exterior features such as lighting or stairways may alter standard installation locations.

Consult Fire Department prior to installations that may not fit typical locations and/or doorways.



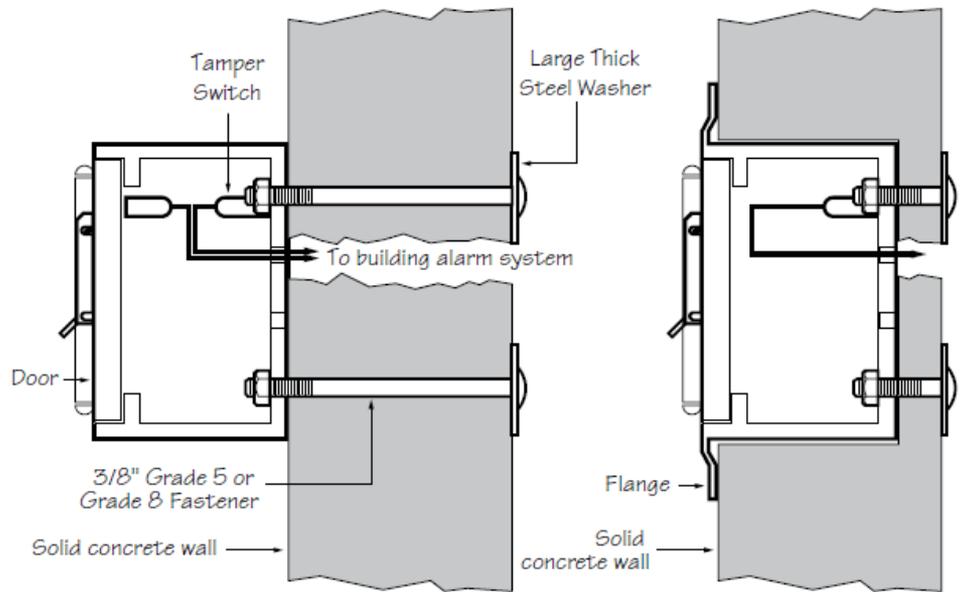
KNOX BOX 4400 PLACEMENT GUIDE		SIZE	FSCM NO	DWG NO	REV
DRAWN	CRAIG ROEPKE			KNOX BOX DOOR PLACEMENT LOCATION	A
ISSUED	2/23/2016	SCALE	1/2" = 1'-0"	SHEET	1 OF 3





KNOX BOX 4400 PLACEMENT GUIDE		SIZE	FSCM NO	DWG NO	REV
DRAWN	CRAIG ROEPKE			KNOX BOX 4400 FRONT/SIDE VIEWS	A
ISSUED	2/23/2016	SCALE	NO SCALE	SHEET	2 OF 3

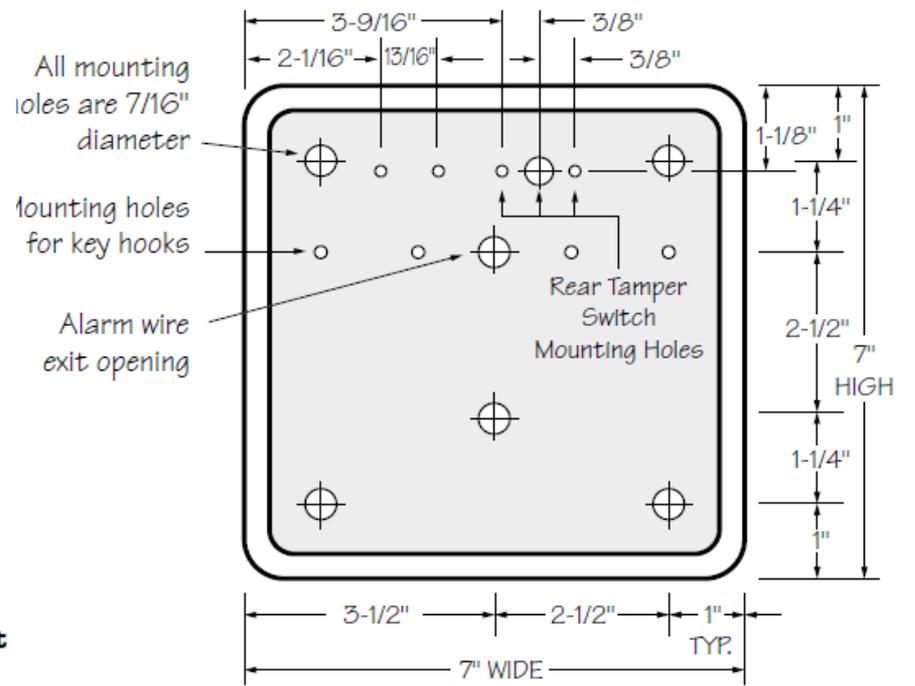




Series 4400 Surface Mount

Series 4400 Recessed Mount

INSIDE VIEW



KNOX BOX 4400 PLACEMENT GUIDE		SIZE	FSCM NO	DWG NO	REV
DRAWN	CRAIG ROEPKE			KNOX BOX MOUNTING & INSIDE VIEW	A
ISSUED	2/23/2016	SCALE	NO SCALE	SHEET	3 OF 3



High Security Industrial/Government Key Vault

Recessed Mount
with Face Flange



Surface Mount
with optional
Tamper Switch



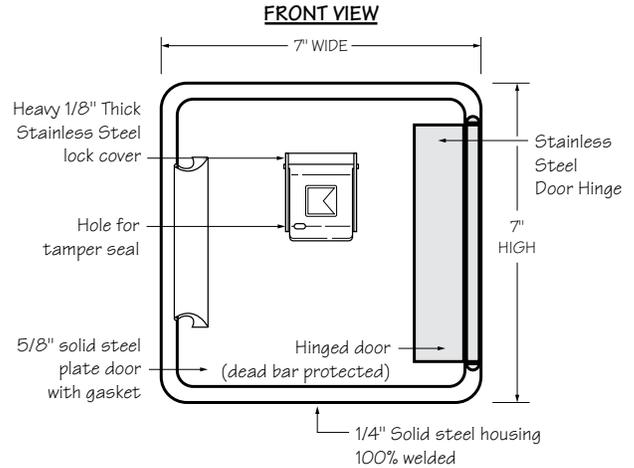
Knox-Vault™ key boxes are used in larger businesses, industrial properties, public buildings and universities. The heavy-duty, high security 4400 Series Knox-Vault protects and stores building keys, access cards and floor plans for emergency entry. The vault also provides secure storage for other internal and external applications.

Features and Benefits

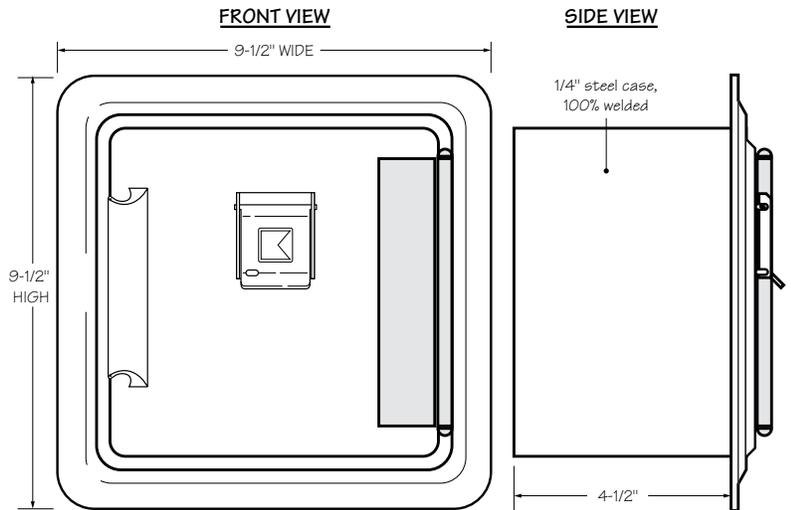
- Holds up to 50 keys in the large interior compartment
- Ensures high security with UL® Listed Medeco lock(s)
- Includes Knox-Coat® that is four times better than standard powder coat
- Resists moist conditions with a weather resistant door gasket
- Colors: Black, Dark Bronze or Aluminum
- Weight: Surface mount - 28 lbs.
Recessed mount - 29 lbs.

Options

- Alarm tamper switches (UL Listed)
- Additional rust and corrosion protection (Aluminization)
- Recessed Mounting Kit (RMK) for recessed models only
- Custom vault depth available
- Dual lock configuration
- Inside switch for use on electrical doors, gates and other electrical equipment



4400 Surface Mount



4400 Recessed Mount

Ordering Specifications

To insure procurement and delivery of the 4400 Series Knox-Vault, it is suggested that the following specification paragraph be used:

KNOX-VAULT surface/recessed mount, with/without UL Listed tamper switches. 1/4" plate steel housing, 5/8" thick steel door with interior gasket seal and stainless steel hinge. Vault and lock UL Listed. Lock has 1/8" thick stainless steel dust cover with tamper seal mounting capability. Vault has anti-theft re-locking mechanism with drill resistant hard-plate lock protector.

Exterior Dimensions: Surface mount - 7"H x 7"W x 5"D
Recessed mount flange - 9 1/2"H x 9 1/2"W

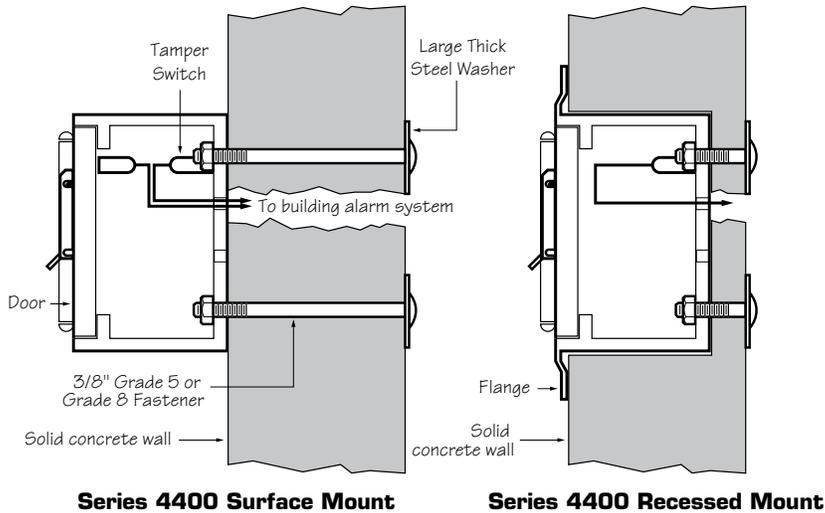
Lock: UL Listed. Double-action rotating tumblers and hardened steel pins accessed by a biased cut key.

Finish: Knox-Coat® proprietary finishing process
Finish Color - Black, Dark Bronze or Aluminum

P/N: 4400 Series Knox-Vault (mfr's cat. ID)

Mfr's Name: **KNOX COMPANY**

**Suggested minimum mounting height
6 feet above ground**



Recessed Mounting Kit

The 4400 Recessed Mounting Kit (RMK) is used for recessed models only. It contains a shell housing and mounting hardware to be cast-in-place in new concrete or masonry construction. After construction is completed, the Knox-Vault mounts inside the recessed shell housing. The RMK may only be used in new concrete or masonry construction.

Installation In Cast Concrete

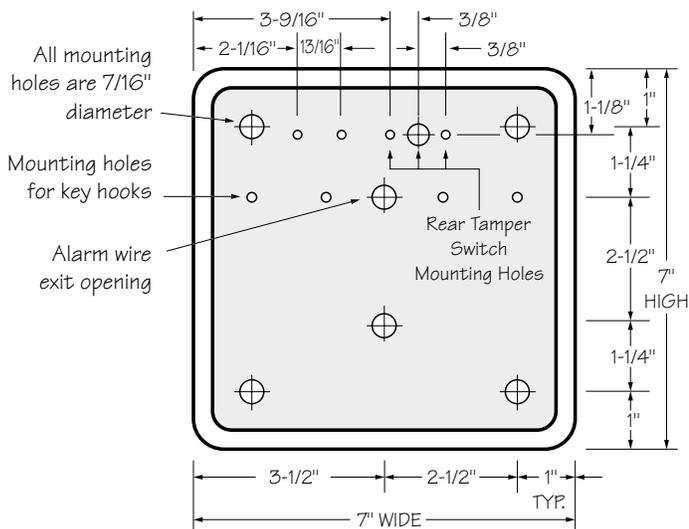
The optional Recessed Mounting Kit is for use in new concrete or masonry construction only. The kit includes a shell housing and mounting hardware to be cast-in-place. The KNOX-VAULT is mounted into the shell housing after construction is completed.

Rough-In Dimensions

8 1/2"H x 8 1/2"W x 7"D

IMPORTANT: Care should be taken to insure that the front of the RMK shell housing, including the cover plate and screw heads, is flush with the finish wall. The RMK must be plumbed to insure vertical alignment of the vault.

INSIDE VIEW

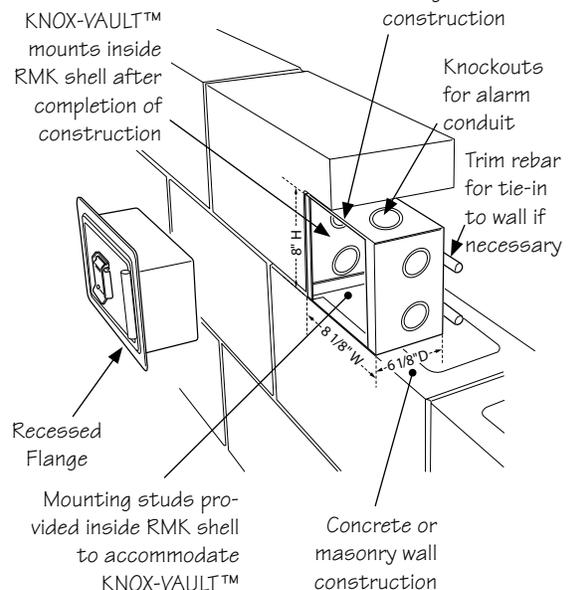


Attention: KNOX-VAULT™ is a very strong device that MUST be mounted properly to ensure maximum security and resist physical attack.

Knox® Rapid Entry System

The Knox Company manufactures a complete line of high security products including Knox-Box key boxes, key vaults, cabinets, key switches, padlocks, locking FDC caps, plugs and electronic master key security systems. For more information or technical assistance, please call Customer Service at 1-800-552-5669.

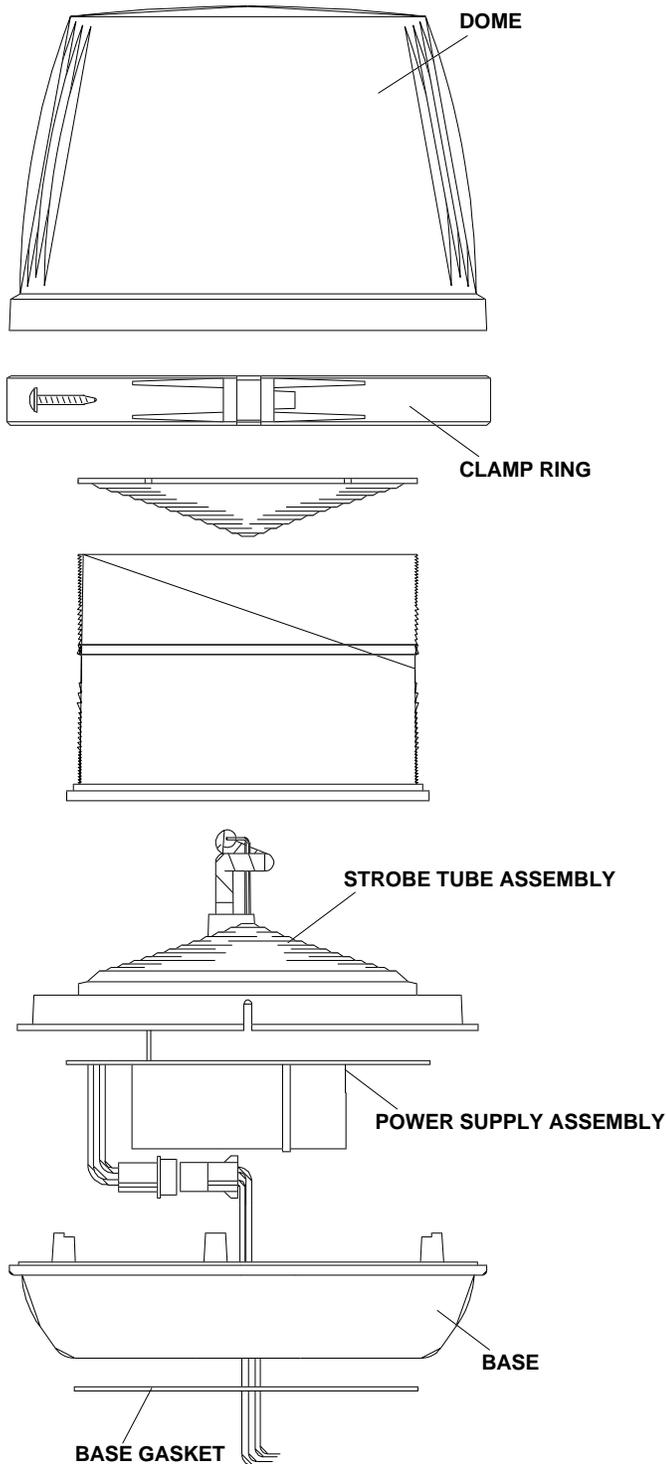
Recessed Mounting Using Recessed Mounting Kit (RMK)



Route 145, Winthrop Road
Chester, CT 06412-0684
TELEPHONE: (860) 526-9504
TOLL FREE: 1-800-637-4736
FACSIMILE: (860) 526-4784

ISB SERIES STROBE LIGHT BEACONS

ISB24, 12/24 VOLTS DC, COMET FLASH
ISB120, 120 VOLTS AC, COMET FLASH



SEE OTHER SIDE
OF PAGE FOR
REPLACEMENT
PARTS LISTING.

WARNING...
DISCONNECT THE
POWER SOURCE AND
WAIT 10 MINUTES
BEFORE INSTALLING
OR SERVICING THE
STROBE LIGHT.

**REPLACEMENT PARTS
LISTING FOR ISB
SERIES STROBES**

ITEM	DESCRIPTION	QTY.	PART NUMBER	ISB24	ISB120
1	OPTIC DOME, AMBER	1	68-2180347-10	■	■
	OPTIC DOME, BLUE	1	68-2180347-20	■	■
	OPTIC DOME, CLEAR	1	68-2180347-30	■	■
	OPTIC DOME, GREEN	1	68-2180347-40	■	■
	OPTIC DOME, RED	1	68-2180347-50	■	■
2	STROBE TUBE ASSEMBLY	1	01-0468256-00	■	■
3	STROBE POWER SUPPLY, 120 VAC	1	02-0167154-00		■
	STROBE POWER SUPPLY, 12/24 VDC	1	01-0267042-00	■	
4	FUSE, 10 AMP, AUTO	1	32-0632010012	■	

MOUNTING INSTRUCTIONS

PERMANENT MOUNT

The ISB Series must be disassembled to drill mounting holes for permanent mounting.

1. Remove the clamp ring, remove the optic dome and disassemble the strobe as shown in the drawing.
2. Locate the three dimples in the base casting and drill three mounting holes. Drill and deburr a hole for the power wires.
3. Place the base gasket between the base and mounting surface. Route the strobe power wires through the gasket and the mounting hole. Mount the base with three screws.
4. Connect the power wires to the power source.
5. Re-assemble the strobe. Make sure that the wires are not pinched.

WIRING INSTRUCTIONS

MODEL ISB24

1. Connect the RED wire to the positive DC voltage (+).
2. Connect the BLACK wire to DC ground (-).

MODEL ISB120

1. Connect the GREEN wire to the AC service green wire (ground).
2. Connect the BLACK wire to the AC service black wire (hot).
3. Connect the WHITE wire to the AC service white wire (neutral).

PIPE MOUNT

The ISB Series may be mounted to a 1" NPT pipe.

1. Feed the power source cable through the pipe and connect the cable to the ISB Series strobe.
2. Screw the strobe to the pipe threads. Make sure that the wires are not pinched or severely twisted.

WARNING - THE STROBE POWER SUPPLY IS A HIGH VOLTAGE DEVICE. DO NOT REMOVE TUBES OR DISMANTLE STROBE LIGHT ASSEMBLY WHILE IN OPERATION. WAIT 10 MINUTES AFTER TURNING OFF POWER BEFORE WORKING ON THE STROBE.

Starfire® Strobe Warning Lights

Models 131ST and 131DST



OUR BRIGHTEST MEDIUM DUTY STROBE LIGHT

- Available in 12-24VDC, 120VAC and 240VAC
- Five dome colors
- 10,000 hour strobe tube
- Single or double flash strobe
- 1/2-inch pipe mount or optional magnetic mount
- UL Listed, cUL Listed, CSA Approved for indoor/outdoor use
- NEMA 3R, IP45 enclosure

Federal Signal's Starfire® strobe warning lights are available in single-flash (131ST) and double-flash (131DST) models. Through precise timing of the strobe flash, the double flash unit produces 1,200 effective candlepower; the single flash unit produces 1,000 effective candlepower.

Starfire models are available in 12-24VDC, 120VAC (50/60Hz) and 240VAC (50/60Hz). All units are less than nine inches high and six inches in diameter, but powerfully effective.

Starfire strobe warning lights contain their own strobe power supply in the base of the light. The strobe flash tube is mounted in an eight-pin octal socket base. The fresnel dome stands up to impact and abuse and is available in amber, blue, clear, green and red. The base of the light is made of corrosion-resistant anodized aluminum. Each Starfire model comes with a standard 1/2-inch pipe mount. An optional magnetic mount or surface mount can be ordered.

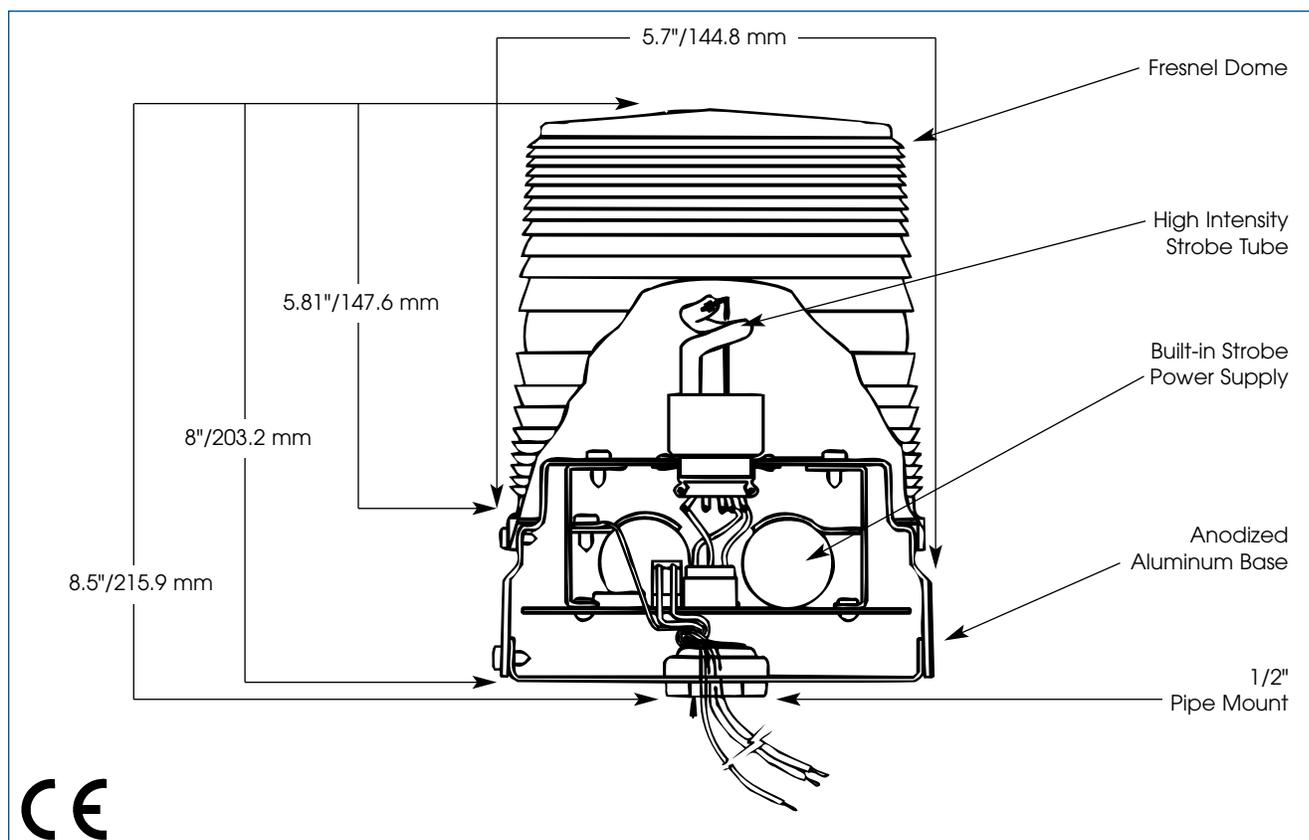
Because of its convenient size and intense light output, the Starfire strobes can be used for multiple applications. Excellent for in-plant use, the Models 131ST/DST warn of hazardous conditions, mark dangerous areas (either permanently or temporarily) and mounts on lift trucks, cranes and other moving devices. By using the magnetic mounting kit, these powerful strobes can be used on emergency, utility, maintenance or any other vehicle requiring temporary emergency warning.

Model	Voltage	Operating Current	Flash Rate/Minute	Candlepower Peak ¹	ECP ²	Mount ⁴
131DST	012-024VDC	4.50-2.10 amps	80 ³	1,000,000	1,200	1/2" Pipe
131DST	120VAC	0.60 amps	80 ³	1,000,000	1,200	1/2" Pipe
131DST	240VAC	0.30 amps	80 ³	1,000,000	1,200	1/2" Pipe
131ST	012-024VDC	2.75-1.25 amps	80	2,000,000	1,000	1/2" Pipe
131ST	120VAC	0.60 amps	80	2,000,000	1,000	1/2" Pipe
131ST	240VAC	0.30 amps	80	2,000,000	1,000	1/2" Pipe

¹ Peak candlepower is the maximum light intensity generated by a flashing light during its light pulse
² ECP (Effective Candlepower) is the intensity that would appear to an observer if the light were burning steadily
³ Double Flash
⁴ Magnet and surface mount kits available



STARFIRE® STROBE WARNING LIGHT (131ST/131DST)



SPECIFICATIONS

Lamp Life*:	10,000 Hours	10,000 Hours
Lamp Style:	Strobe	Strobe
Operating Temperature:	-31°F to 150°F	-35°C to 66°C
Net Weight:	2.0 lbs.	1.0 kg
Shipping Weight:	3.4 lbs.	1.5 kg
Height:	8.50"	215.9 mm
Width:	5.70"	144.8 mm

* Optimal hours under ideal conditions.

RATINGS

- UL Listed and CSA Approved for indoor/outdoor use
- CE Approved
- NEMA Type 3R; IP45 enclosure

HOW TO ORDER

- Specify model, voltage and color
- Specify options:
 Corner Bracket (LCMB2)
 Wall Bracket (LWMB2)
 Surface Mount (K844A211B)
 Magnetic Mount (131MMK)

REPLACEMENT PARTS

<u>Description</u>	<u>Part Number</u>	<u>Description</u>	<u>Part Number</u>
Dome, Amber	K8422B428A-01	PC Assembly, 12-24VDC (131ST)	K2001260C
Dome, Blue	K8422B428A-02	PC Assembly, 120VAC (131ST)	K2001188C
Dome, Clear	K8422B428A	PC Assembly, 240VAC (131ST)	K2001188C-01
Dome, Green	K8422B428A-03	PC Assembly, 12-24VDC (131DST)	K2001265C
Dome, Red	K8422B428A-04	PC Assembly, 120VAC (131DST)	K200865F
Strobe Tube	K8107178A	PC Assembly, 240VAC (131DST)	K200865F-01
Surface Mount Kit	K8444A211B	Dome Gasket	K8444A193A



Pleasant Prairie Fire & Rescue

Pre-Plan

Long Form

Building Name:		Building Address:	
Important locations			
Knox Boxes:		Strobe & Gong:	
MSDS Box:		Main Entrance:	
Electrical Shut Off:		Gas Shut Off:	
Sprinkler & Hydrant Information			
Pumper Pad Location:			
F.D. Connection:			
Hydrant #1(non-yard)		Hydrant #2 (non-yard)	
Fire Pump location:		Type and GPM:	
Riser Room Location:			
Standpipe Locations:			
Type of System:		# of Risers:	
Annunciator Panel:		# of Zones:	
Life Safety			
# of Employees 1St shift		Seating capacity:	
# of employees 2nd Shift		Special needs people:	
# of Employees 3rd . shift			
This Building Manufactures:			
Major Hazards:			
Drop off's:			

Building Information

Building length:			
Building width		Total square footage:	
Building height		High population area:	
Type of construction:		Confined spaces:	
Roof type and construction:	Steel/Masonry		
Roof access:			
Objects on the roof:			
Firewalls:			
Location of stairways			
Elevator location & type:			
Elevator mech. Rm. Location;			
Fire escape locations:			
Exterior exit door locations:			
Salvage priorities:			
Extra comments:			
Hazardous Materials			
Pressure vessel locations:			
(UN numbers & amounts)			
Other Hazardous materials that may affect Fire & Rescue operations:			
(UN numbers and amounts)			
Your clean up or supply company:			

Exterior

Designated meeting location:	
Close water sources: (Dry hydrants, ponds. Location & depth)	
Exposure to the North:	
Exposure to the South:	
Exposure to the East:	
Exposure to the West: (exposure= building surrounding yours, list height & construction type.)	

Contacts

Keyholder #1:	
Keyholder #2:	
Keyholder #3: (Keyholders: after hour contacts List name & home phone numbers)	
Local Manager::	
District Manager:	
Maintenance Supervisor:	
Hazardous Materials (Local):	
Hazardous Materials (Corporate): (List name, office, & home phone)	
Business Owner: (Name, address, phones)	
Building Owner; (Name, address, phones)	
Central alarm station: (List company if any, and phone)	

Please Note: Along with this form we require a copy of the building plans on the software program Autocad 14. If no plans had been done in this format, please submit a plot, floor, and roof plan. The Plans should show all the above aforementioned items. If at any time you have a question, please contact us at 262-694-8027. Our fax number is 262-697-1901.

Emergency Plan

10.9.1 Where Required. Emergency plans shall be provided for high-rise, health care, ambulatory health care, residential board and care, assembly, day-care centers, special amusement buildings, hotels and dormitories, detention and correctional occupancies, educational, underground and windowless structures, facilities storing or handling materials covered by Chapter **60**, or where required by the AHJ.

10.9.2 Plan Requirements.

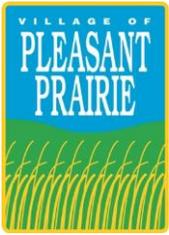
10.9.2.1* Emergency plans shall include the following:

- (1) Procedures for reporting of emergencies
- (2) Occupant and staff response to emergencies
- (3)* Evacuation procedures appropriate to the building, its occupancy, and emergencies (see *Section 4.3 of NFPA 101*)
- (4) Appropriateness of the use of elevators
- (5) Design and conduct of fire drills
- (6) Type and coverage of building fire protection systems
- (7) Other items required by the AHJ

10.9.2.2 Emergency plans shall be submitted to the AHJ for review when required by the AHJ.

A.10.9.2.1 Items to be considered in preparing an emergency plan should include the following:

- (1) Purpose of plan
- (2) Building description, including certificate of occupancy
- (3) Appointment, organization, and contact details of designated building staff to carry out the emergency duties
- (4) Identification of events (man-made and natural) considered life safety hazards impacting the building
- (5) Responsibilities matrix (role-driven assignments)
- (6) Policies and procedures for those left behind to operate critical equipment
- (7) Specific procedures to be used for each type of emergency
- (8) Requirements and responsibilities for assisting people with disabilities
- (9) Procedures for accounting for employees
- (10) Training of building staff, building emergency response teams, and other occupants in their responsibilities
- (11) Documents, including diagrams, showing the type, location, and operation of the building emergency features, components, and systems
- (12) Practices for controlling life safety hazards in the building
- (13) Inspection and maintenance of building facilities that provide for the safety of occupants
- (14) Conducting fire and evacuation drills
- (15) Interface between key building management and emergency responders
- (16) Names or job titles of persons who can be contacted for further information or explanation of duties
- (17) Post-event (including drill) critique/evaluation, as addressed in 5.14 of [NFPA 1600](#), *Standard on Disaster/Emergency Management and Business Continuity Programs*
- (18) Means to update the plan, as necessary [**101**: A.4.8.2.1]



Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director
From: Sandro Perez, Building Inspection Superintendent
Subject: BP- Dunkin Doughnuts
Date: October 4, 2016

1. Building Inspection Department information:
Hours: Mon-Fri, 8am-5pm.
Phone# 262-694-9304
Email: buildinginspection@plprairiewi.com
2. Permit applications can be found online at pleasantprairieonline.com.
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance (including low voltage contractors). We have 10 business days to review and issue permits please plan accordingly. If there are any questions on which contractors need a permit please contact us.
5. The Village recommends all exterior lighting to be LED (minimum 4000k) dark sky compliant.
6. The building, HVAC and plumbing plans will to be reviewed by the state.
7. Any fire alarm and fire protection alterations or additions will have to be reviewed by the fire department.



VILLAGE OF PLEASANT PRAIRIE
 SITE AND OPERATIONAL PLAN
 AND CONDITIONAL USE PERMIT ZONING APPLICATION

USE THIS FORM FOR:
 Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.
 To construct a new or addition to principal or accessory structure.
 Use requires a Conditional Use Permit.

FOR OFFICE USE ONLY	
Application Filed on	20
Preliminary Determination of Completeness on:	20
Revised Plans Submitted:	20
Public Hearing Required: Hearing Date:	20
Published on: and	20 Notices sent on: 20
Approved by Plan Commission on	20
Zoning Administrator on	20
Denied by Plan Commission on	20
Zoning Administrator on	20

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: VIDHYA Corp., VIII, Inc. d/b/a BP Gas & Convenience Store

SITE ADDRESS: 10477 - 120th Avenue, Pleasant Prairie, WI 53158

BRIEF PROJECT DESCRIPTION: Modification of the existing building in order to accomodate the installation of a Dunkin' Donuts franchise with a drive-thru lane along the eastern side of the building.

PROPOSED NUMBER OF FULL TIME EMPLOYEES: 10

PROPOSED NUMBER OF PART-TIME EMPLOYEES: 8

SITE SIZE: 59,241 sq. ft. 1.36 acres

PROPOSED BUILDING SIZE: n/a sq.ft. **HEIGHT:** ft.

PROPOSED ADDITION SIZE: n/a sq.ft. **HEIGHT:** ft.

LEGAL DESCRIPTION: Part of the Northeast 1/4 of the Northwest 1/4 of Section 30, Township 1 North, Range 22 East, Lot 14 of Certified Survey Map Number 1489 in Volume 1456, Page 153.

TAX PARCEL NUMBER(S): 92-4-122-302-0130

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: PUD

1. Is a zoning map amendment proposed with this project? Yes No
 - If yes, proposed Zoning Classification(s):
2. Is a zoning text amendment proposed with this project? Yes No
 - If yes, provide a copy of the proposed text amendment with this application

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) _____ sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) _____ sq ft
- Storage Group S-2 (Low-hazard) _____ sq ft
- Business Group B _____ sq ft
- High-Hazard Group H* _____ sq ft
- Other _____ sq ft
- Other _____ sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
 - If no, the closest public sewer is located at _____
2. Is the property serviced by Public Water? YES NO
 - If no, the closest public water is located at _____
3. Maximum number of gallons/minute of water expected to be used per day is: Unchanged

THIS APPLICATION IS FOR A: (check one)

- Preliminary Site and Operational Plan: An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan
- Amendment to an existing Site and Operational Plan
 - Date of initial site and operational plan approval: July 2, 2001
 - Date of each approved amendment: May 28, 2013 and January 13, 2014

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

Are there any existing buildings on the site? YES NO

- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
- If no, what is the current use of the property? _____

SECTION 3: PHOTOGRAPHS

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

SECTION 4: CONDITIONAL USE

1. Does the proposed project require a Conditional Use Permit? YES NO
 - If no then skip to Section 5.
 - If yes, then continue with this Section.
2. Are you amending an existing Conditional Use Permit? YES NO
 - If yes, provide a copy of the Conditional Use Grant Document you are proposing to amend.
 - If no, continue with this Section.
3. If you answered YES to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

SECTION 5: NON-CONFORMING USE

1. Is any use on the site a nonconforming use? YES NO
 - If no, then skip to Section 7.
 - If yes, then continue with this section.
2. If you answered YES to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. For specific details related to each of the required information and plans see the attachment entitled "*Plan Components and Related Standards*" in Section 420-57 of the Village Zoning Ordinance.

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

SECTION 8: SIGNATURES

I, (We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

PROPERTY OWNER:

Name: VIDHYA Corp VIII, Corp.
(Please Print)

Signature: *[Handwritten Signature]*

Address: 1491 W. Roosevelt Road

West Chicago IL 60185
(City) (State) (Zip)

Phone: 630.479.1529

Fax: 630.562.3349

E-mail: ddwcl@sbglobal.net

Date: _____

APPLICANT:

Name: Same as Owner
(Please Print)

Signature: *[Handwritten Signature]*

Address: Same as Owner

Same as Owner
(City) (State) (Zip)

Phone: Same as Owner

Fax: Same as Owner

E-mail: Same as Owner

Date: _____

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)

Name: N/A
(Please Print)

Signature: _____

Address: _____

(City) (State) (Zip)

Phone: _____

Fax: _____

E-mail: _____

Date: _____

USER OR OCCUPANT OF SITE:

Name: Same as Owner
(Please Print)

Signature: _____

Address: _____

(City) (State) (Zip)

Phone: _____

Fax: _____

E-mail: _____

Date: _____

REVISED SITE AND OPERATIONAL PLAN – NEW DUNKIN’ DONUTS FRANCHISE

BP Amoco Gas Station and Convenience Store located at 10477 – 120th Avenue is a self-service gasoline and diesel station, selling petroleum products to consumers of passenger vehicles and light trucks. It does not service or sell petroleum products to over-the-road trucks, cabs or other specialized commercial or construction vehicles. In addition, BP operates a convenience store that provides various grocery store and automobile supplies and accessories, and is expanding to include a Dunkin’ Donuts restaurant inside the building, and an e-commerce area for computerized assistance with weather and traffic information. The Dunkin’ Donuts restaurant will provide seating for approximately _____ people and quick food selections of bakery items and sandwiches. The facility also provides separate men’s and women’s washrooms, and various other related convenience service amenities, including but not limited to, vacuum cleaners and compressed air for automobile maintenance, automated teller machine, along with the sale of alcohol and tobacco products as authorized by its license.

Due to several reported hazardous substance releases at the BP gas station dating back to 1993, the owner’s consultants have developed and installed a carbon treatment system on the Property that has already successfully treated more than 250,000 gallons of contaminated ground water. This system has been installed in an enclosed and heated facility, located adjacent to the southern end of the existing gas station. This building addition was constructed in order to house the filters and pumps that are necessary to operate the operational carbon treatment system. Recently, the system was expanded to include the installation of a lead filters that were installed in order to clean the water of lead before it is discharged into the ditch. This entire system is in the process of being turned off under the direction of the DNR and Village engineering, along with various experts retained by the property owner. The building additional and all required improvements requested by the Village have been completed. The carbon treatment system is detailed in the Settlement Agreement entered into between the property owner and the Village, and the property owner has been obtained all applicable permits necessary for all of the applicable improvements noted herein.

The expansion of the building measures approximately 375 square feet (25 feet 7 inches by 14 feet 7 inches) and closely “squares” the building foot print, leaving the southern emergency exit in place. The building exterior is going to be modified to install four matching brick columns with signage for Dunkin’ Donuts placed on the northern brick columns. In addition, the BP ban on the front of the building will be replaced. Moreover, the exterior door will be closed off in order to safely accommodate a drive-thru lane on the east side of the building. As a result, a new door and remodeled bathrooms will be installed in the south end of the building.

The carbon treatment system will not create any disturbance to the surrounding property owners as it is housed in an enclosed and insulated expansion of the building. Even though more than 250,000 gallons of water have been treated to date, it is anticipated that the system will begin its shut-down mode over the next 18 months.

This system will not require any additional staff to manage and operate, as it will be automated and will only occasionally require the replacement of carbon filters that will be disposed of using sealed drums provided and retrieved by qualified environmental disposal companies, along with the occasional replacement of the lead filtering bags.

Moreover, the system will not alter existing operations of the gasoline station and convenience store, as those operations will continue as normal.

The addition of the Dunkin' Donuts will not change the hours of the business. BP is currently open for business between the hours of 6am through 11pm, seven days a week, but maintains expanded hours (up to 24 hours a day) during the various peak holiday seasons. During those expanded times, additional staff is maintained in order to service the increase in customers. Deliveries and shipments occur during those times that BP is open to the public. Currently, there are seven full time and three part time employees, but additional seasonal help is retained during those peak holiday seasons. Currently, there are only two shifts of employees, but a third shift is added when the hours are expanded. There are currently 19 parking spaces on the site due the expansion of the building, but with the addition of the drive-thru lane, _____ parking spaces were removed, leaving a total of _____ parking spaces (one handicapped access parking space, and twenty conventional parking spaces).

The drive-thru lane will require the installation of hardier plant materials along the eastern lot-line as snow, ice and salt will take a toll on plant materials. As a result, BP will replace, at its sole cost, all plant material that is damaged or destroyed during the winter months each spring, maintaining the same materials as approved by the Village.

It is anticipated that traffic volumes of 500 to 1,000 are going to slightly increase to _____ daily trips with the new Dunkin' Donuts franchise, but there will be no truck trips other than deliveries of goods to the BP. The main products being sold at the BP include, but are not limited to: gasoline and diesel fuels, related automobile supplies and parts, along with food and beverages, all of which are currently being sold at the BP, which will continue after the expansion of the Dunkin' Donuts. The Dunkin' Donuts franchise will be owned and operated by the current BP owners as they own and operate several other Dunkin' Donut franchises in Illinois. All of the existing equipment will continue to be utilized in the operation of the BP (petroleum delivery systems, coolers, ovens, and related food preparation equipment) but they will install the following additional items in the Dunkin' Donuts' space:_____.

Aside from the disposal of the carbon and lead filters, the BP only has normal household cleaners used in the maintenance of the business in order to clean the food preparation and service areas, floors and bathrooms. The only waste that is disposed of at the BP is spoiled food and drink products, grey water waste and sanitary waste from the bathrooms.

The owners have installed and maintained a fully functioning and operational security camera system and recently upgraded hold-up alarm system. This systems were upgraded, pursuant to terms and conditions approved by the Village. Technicians made those modifications to the system in order to comply with the current Village ordinances.

Moreover, the owners retain landscapers to regularly maintain, replace and upgrade the landscaping that surrounds the property, including the removal of all snow and ice from the parking lots, driveways and sidewalks. In addition, employees walk the property on a regular basis to pick up debris, empty garbage cans, restock self-service washer fluids and paper towels, and to monitor the entire property in order to maintain it in a first class condition.

New sidewalks will be installed along the southern end of the property, connecting the BP site to the Culver's site. Moreover, the private roadway will be resurfaced by November of 2018 in concert with the installation of new roadway improvements on Corporate Drive and 120th Avenue.

The owner maintains all permits and licenses required to operate its business. Those permits and licenses allow for the sale of petroleum, alcohol, tobacco, food, and related items sold in its business, issued from the various government agencies.

PROPOSED BUILDING ADDITION FOR VIDHYA CORP VIII 10477 120TH AVENUE PLEASANT PRAIRIE WI. 53158



INDEX OF DRAWINGS	
A1	TITLE SHEET, GENERAL NOTES, INDEX OF DRAWINGS, SITE LOCATION MAP
A2	SITE PLAN WITH LANDSCAPING SHOWN
A3	BUILDING FLOOR PLAN SHOWING PROPOSED INTERIOR REMODELING
A4	BUILDING ELEVATIONS
A5	SIGNAGE PHOTOS AND NOTES TO EXPLAIN

These drawings and Specifications: These Specifications and the accompanying drawings are complimentary and what is called for by one shall be binding as if called for by both the quality and quantity shall prevail.

Coordination of work: A general contract will be left for the work and successful contractor shall be responsible for all other sub-contractors and coordination of the Specifications and or dimensions of all work or where it comes in contact with others work. All details of material selections shall be reviewed and referred to the owner where questions occur. Errors due to failure to comply with this requirement shall be corrected at the expense of the contractor or contractors involved.

Codes Ordinances: All work shall comply with all local, state, and county codes and regulations as applicable.

Examination of the Site: Contractor shall visit the site and review all existing conditions. He shall familiarize himself as to the nature and location of the work and the general and local conditions that he is to perform. He shall have full knowledge as to the transportation, disposal, handling of materials, availability of water, electric power, and all other facilities in the area where work shall be performed or that having a bearing on the performance of his work. Dispose of all debris legally.

Contractor shall field verify all dimensions prior to starting work and coordinate same with all trades.

Construction is scheduled to occur while owners occupy the adjacent business. The contractor is responsible for providing safety and access at all times to the site for the owners clients as well as employees. The owner and Architect shall have no responsibility for means and methods of the work performed by contractors.

Weather conditions: Contractor shall protect all parts of their work from weather damage frost, rain, heat, ect. and shall be responsible for replacement and or repair of any damaged work to the satisfaction of the owner which in his opinion have become damaged due the above.

Responsibility of the Contractor: Each contractor is responsible for and must guarantee first class workmanship and materials that have been provided and installed by him.

Each contractor shall furnish all necessary barricades, temporary construction dust screens and scaffolding as required for completing their work in a safe workman like manner.

Surveys, Permits, and Regulations: The owner shall furnish all required surveys, contractors shall obtain and pay for all local necessary permits.

Auto Insurance: Each contractor shall maintain auto insurance for their respective vehicles used during project or on owners property.

Fire and Extended Insurance: The owner shall maintain in effect fire insurance and builders risk insurance coverage as required upon all items and materials on the property that are a part of or are necessary and stored on site for the completion of the work.

Pilferage: Each contractor shall be responsible for his own equipment, tools and materials required for construction and or including those items relating to any work furnished by the owner and delivered to the job site.

Electrical: All work shall comply with National Electrical Code, current edition, and any electrical code requirements of the local jurisdiction.

Guarantee: All contractors shall provide a one year guarantee of their work from the date of acceptance by the owner and shall leave the site in perfect and working order upon completion.

Dumpsters: General contractor shall provide all necessary dumpsters during construction and shall coordinate for all trades including that work which may be performed by the owner.

Clean up: General contractor shall at the end of the project fully broom clean all surfaces of dust and debris and leave site in a clean unconstructive condition.

- All work shall be performed in accordance with all applicable local, federal, state and national codes and ordinances and all authorities having jurisdiction.
- The Contractor and its Subcontractors shall verify all dimensions and/or discrepancies in plans and report any errors to the Architect prior to commencement of the work, or be responsible for same.
- Do not scale drawings. Verify all on site dimensions and conditions by each subcontractor.
- All carpentry, plumbing, mechanical and electrical work is to be coordinated between the trades as part of their installation layout. Verify locations of plumbing and HVAC lines with Builder before installation.
- On site verification of all dimensions and conditions shall be the responsibility of each subcontractor.
- Architect shall not have control or charge of, and not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, or for the acts or omissions of the subcontractors, or other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the intent of the contract documents.
- Verify sizes and installation requirements and specifications of all items supplied by others before proceeding with work related thereto.
- The commencement of each subcontractor's work shall constitute acceptance of all sub-surfaces.
- Should unsuitable soil conditions arise, promptly advise the Architect of same before proceeding with any further work.
- Stock pile material as directed by Owner or Builder, Protect all trees and wetland areas retained on site. Provide erosion control as required by the governing authority.
- Verify locations of all underground lines before proceeding with sub-soil work.
- Contact Diggers Hot line 48 hours before any underground work.
- Each Subcontractor shall obtain and provide necessary bonds, permits and necessary inspections as required by municipal, county, state, federal or other agencies having jurisdiction.
- Truss manufacturer to design and fabricate floor and roof trusses in accordance with all applicable codes.
- The minimum live load for floor shall be 100 p.s.f. and the minimum snow load for roofs shall be 35 p.s.f. The minimum dead load for floors and roofs shall be 10 p.s.f. The maximum deflection shall be L/480. All girder trusses shall be designed to accept all concentrated loads as required. Truss drawings shall be submitted to the Builder and shall be sealed by a State of Wisconsin licensed structural engineer or by the truss manufacturers engineer registered in Wisconsin. Truss Manufacturer shall confirm headers and lam beams for truss bearing on all span.
- All concrete and reinforcing work shall conform to ACI specifications and recommendations. All concrete footings shall bear on 2000 p.s.f. minimum soil capacity on virgin ground, minimum 3" below grade. All concrete shall attain a 28-day compressive strength of 3000 P.S.I. for walls and basement slab; 3500 P.S.I. exterior slab use 6% air entrainment.
- All construction lumber shall be Southern Yellow Pine 1000, E-1.3 #2 or better, unless otherwise noted. All wood in contact with concrete or grade shall be pressure treated. Shim all sill plates and provide sill sealer below plate and groud any gaps greater than 1/2".
- All engineered joists and beams, i.e., micro lams, TJs, etc. shall be installed in accordance with the manufacturers specifications.
- Provide doubts cripples under all headers greater than 4'-0".
- All concentrated loads from headers and beams shall be solid-blocked down to foundation, steel, or girder beams. No back filling of foundation shall occur until floor system is in place to brace top of concrete walls.
- All work shall be performed in a good workmanlike manner. Each subcontractor shall amend and make good at his own cost any defects and other faults in his workmanship and materials.
- Each contractor to clean up debris inside and outside the building site which has been caused by his work and place in dumpster provide by builder on a daily basis.
- All electrical work shall conform to the National Electric Code, NEC latest edition and local building code.

DATE
10-30-15

REVISIONS
8-29-16

WILLIAM A. MORRIS ARCHITECT LLC
5308 31ST AVENUE
KENOSHA WI. 53144

PROPOSED BUILDING ADDITION FOR
VIDHYA CORP VIII
10477 120TH AVENUE
PLEASANT PRAIRIE WI. 53158

A1

(Lakeview Parkway - 104th St.)
St. Tr. Hwy. "165"

Plat of Survey of
PARCEL 14 OF
CERTIFIED SURVEY MAP NO. 1489
in NW1/4 Section 30-1-22
VILLAGE OF PLEASANT PRAIRIE
KENOSHA COUNTY, WIS.

tax key no.: 92-4-122-302-0130

Refer to a current title report
for easements or restrictions
which may affect the use of this
site that are not shown on the
recorded certified survey map.

OPEN AREA: 23%
USABLE AREA: 4,588 SF
ELECTRICAL ROOM (EXT ACCESS): 56 SF
CARBON SCRUB ROOM: 398 SF
TOTAL BUILDING AREA: 5,042 SF

REQUIRED PARKING:
5 PER 1000SF: (4,588 SF) 25
+ 1 PER EMPLOYEE: 6
TOTAL REQUIRED: 31

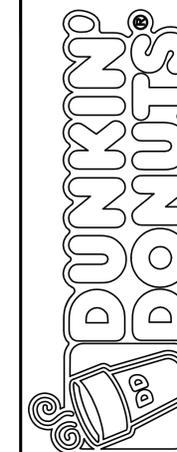
PROVIDED PARKING:
STALLS: 16 incl 2 HC
PUMP STATIONS: 20
TOTAL PARKING: 36

SITE NOTES

PROPOSED NEW LAYOUT FOR BP
CONVENIENCE STORE AT:
165 AND FRONTAGE ROAD
VILLAGE OF PLEASANT PRAIRIE, WI

BASED ON SURVEY PROVIDED BY:
J.K.R. SURVEYING, INC.
8121 22ND AVENUE
KENOSHA, WI 53143
DATED: MAY 18, 2016

CLIENT:



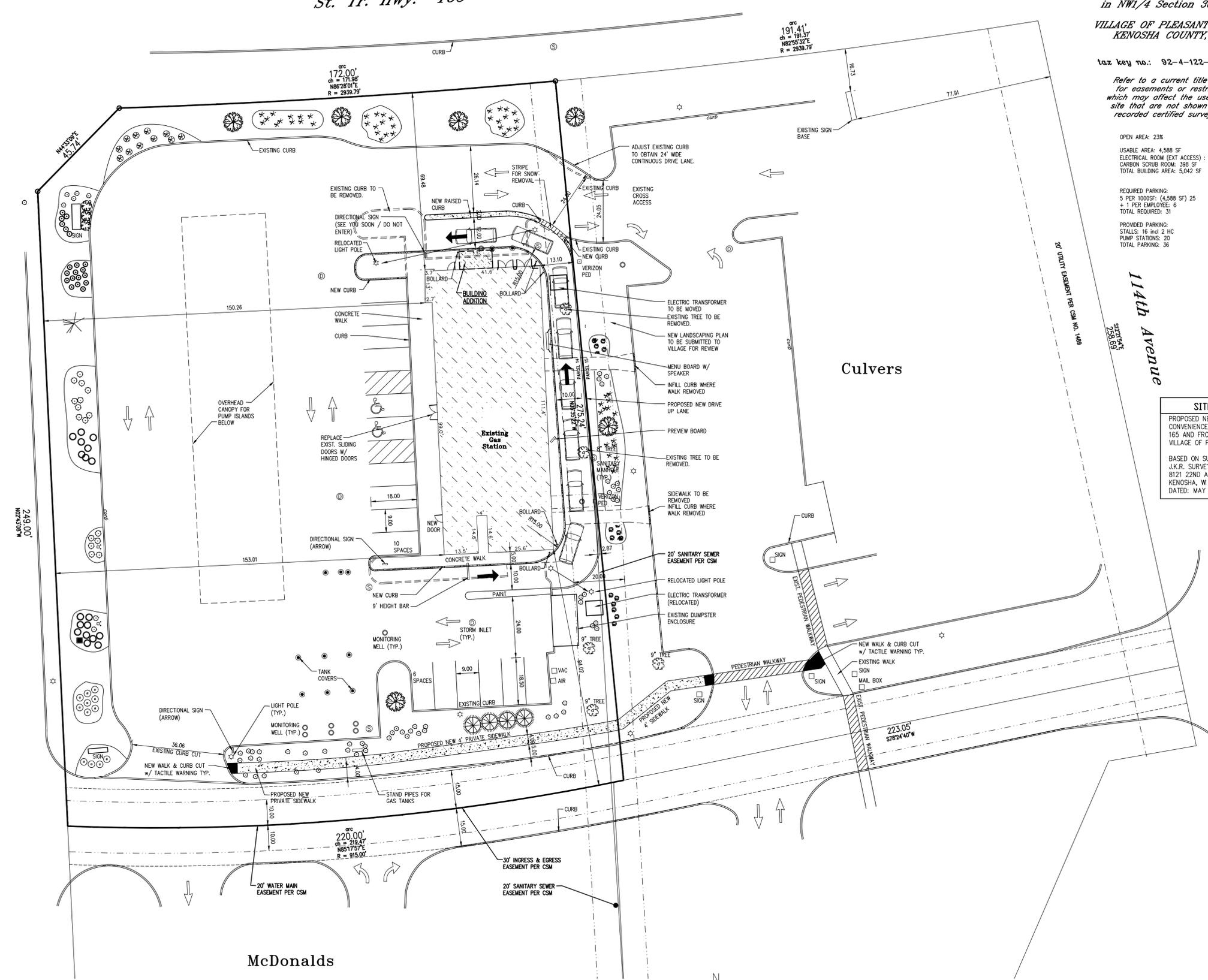
10477 120th Ave.
Pleasant Prairie, Wisconsin 53158

#	DESCRIPTION	DATE
1	INITIAL SUBMITTAL	07-07-16

FILE NAME: 15-173 BP-Pleasant Prairie
DRAWN BY: GVB REVIEWED BY: ERC 07-07-16

SHEET TITLE:
SITE PLAN
SHEET NO.
SPO.1

120th Avenue
(Frontage Road)



1 SITE PLAN
SCALE: 1" = 20'-0"



IF PRINTED TO SCALE, BOTH THESE BARS WILL MEASURE 1"

20. 11. 4472

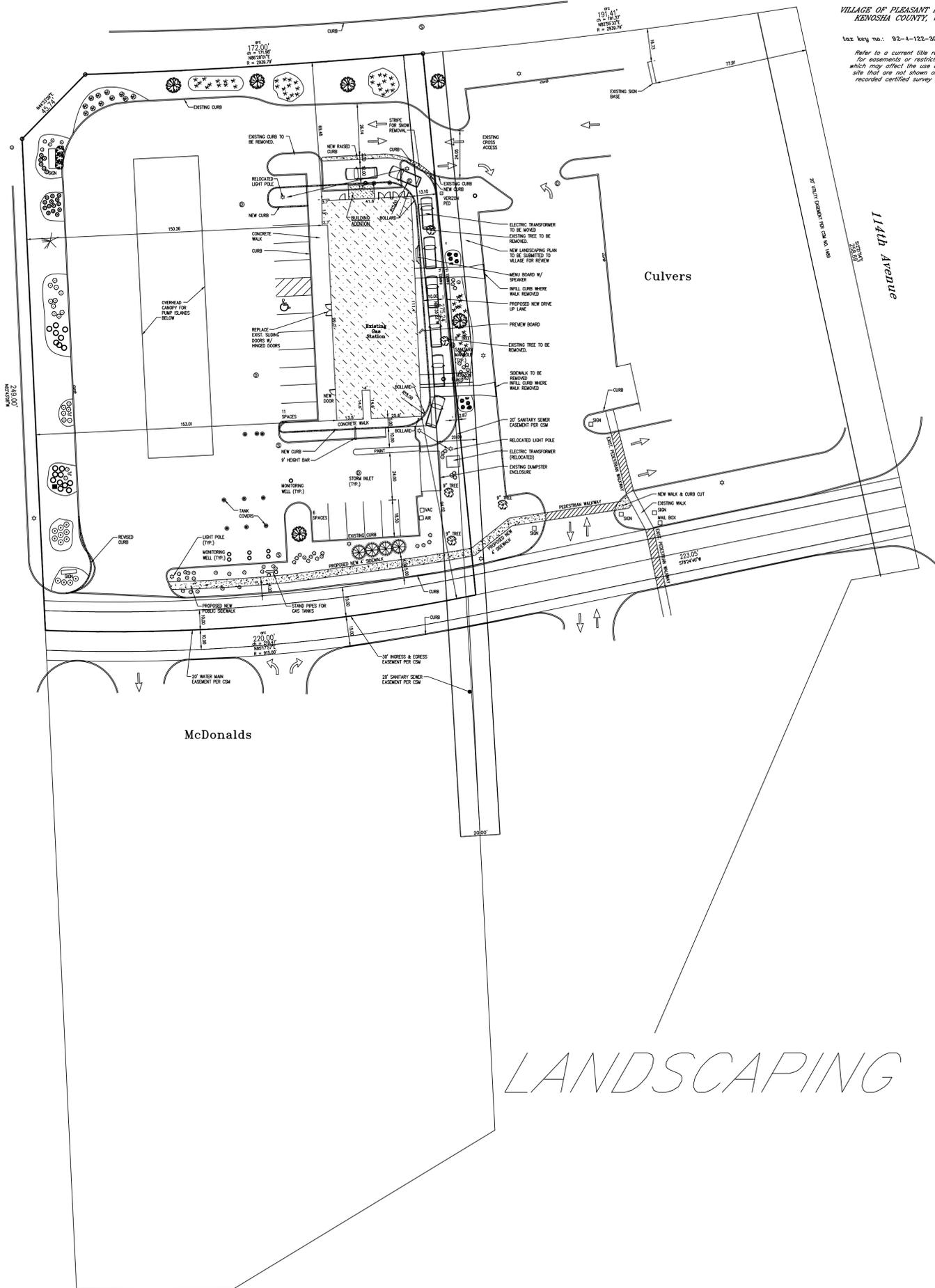
in NW1/4 Section 30-1-22
VILLAGE OF PLEASANT PRAIRIE
KEWASHA COUNTY, WIS.

tax key no.: 92-4-122-302-0130

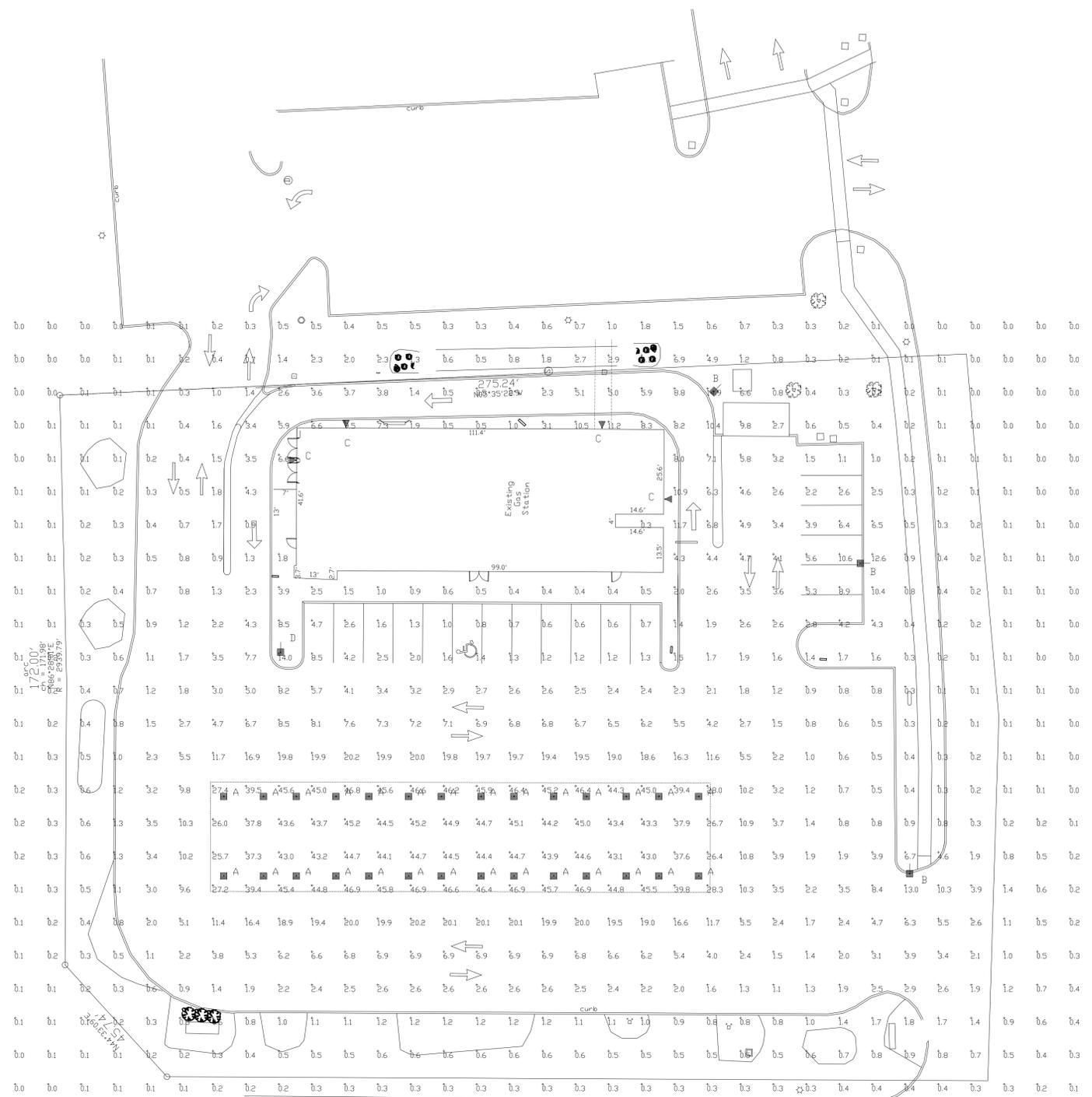
Refer to a current title report
for easements or restrictions
which may affect the use of this
site that are not shown on the
recorded certified survey map.

120th Avenue
(Frontage Road)

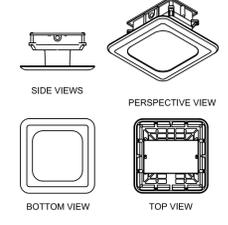
11th Avenue



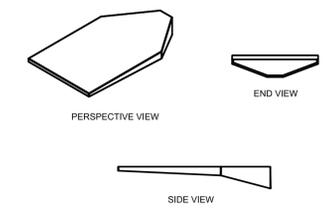
LANDSCAPING PLAN



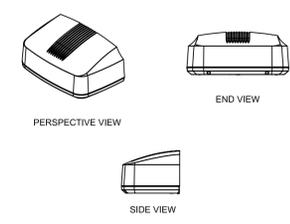
CRUS-SC-LED
LED CANOPY LIGHT - LEGACY



XLCS
LED Area Light



XPWS3
LED Wall Mount Light



120th Avenue (Frontage Road) 249.00'
N02°43'08"W

Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
	28	A	SINGLE	CRUS-SC-LED-SS-CW MTD @ 14.5'	1.000	N.A.	13554	114
	3	B	SINGLE	XLCS-FT-LED-HD-CW-SINGLE-18"POLE+2"BASE	1.000	N.A.	15535	138.6
	4	C	SINGLE	XPWS3-FT-LED-48-450-CW-UE MTD @ 12"	1.000	N.A.	6159	72
	1	D	SINGLE	XLCS-5-LED-HD-CW-SINGLE-18"POLE+2"BASE	1.000	N.A.	15674	138.2

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL_CALC_POINTS	Illuminance	Fc	6.08	46.9	0.0	N.A.	N.A.
CANDPY	Illuminance	Fc	41.98	46.9	25.7	1.63	1.82
INSIDE CURB	Illuminance	Fc	5.20	20.2	0.1	52.00	202.00

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Total Project Watts
Total Watts = 4034

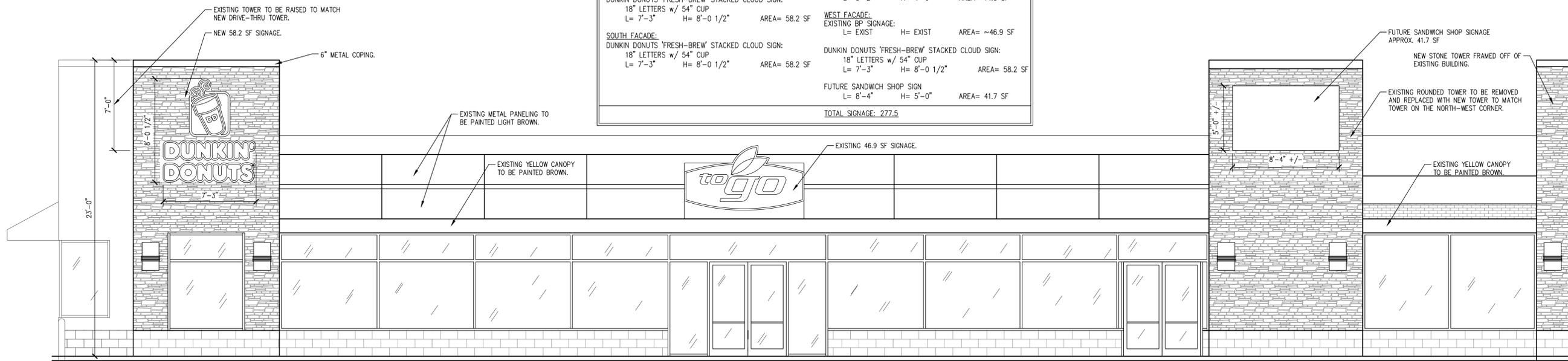


LIGHTING PROPOSAL LP-134373

BP
10477 120th AVE
PLEASANT PRAIRIE, WI

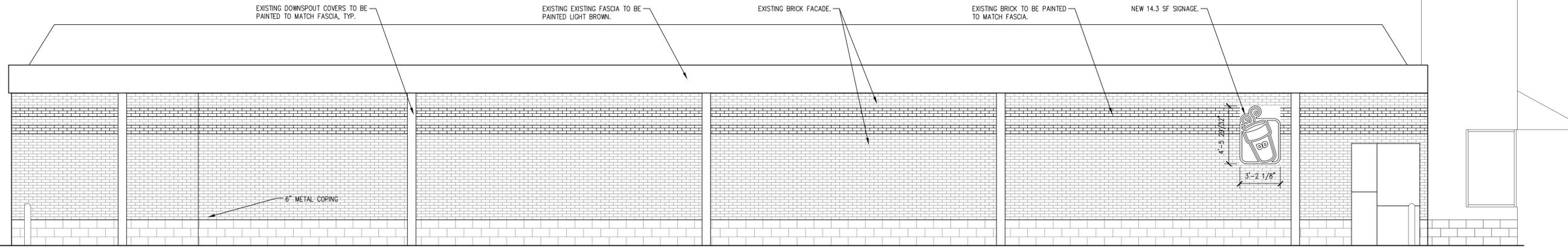
BY: MVE DATE: 8-19-16 REV: SHEET 1 OF 1
SCALE: 1"=20' 0 20

ALLOWABLE SIGNAGE:			
PER §420-78-K-1 @ 5,044 SF = 150SF ALLOWABLE			
NORTH FACADE:		EAST FACADE:	
DUNKIN' DONUTS 'FRESH-BREW' STACKED CLOUD SIGN: 54" CUP L= 3'-2" H= 4'-6" AREA= 14.3 SF		DUNKIN' DONUTS 'FRESH-BREW' STACKED CLOUD SIGN: 18" LETTERS w/ 54" CUP L= 7'-3" H= 8'-0 1/2" AREA= 58.2 SF	
DUNKIN' DONUTS 'FRESH-BREW' STACKED CLOUD SIGN: 18" LETTERS w/ 54" CUP L= 7'-3" H= 8'-0 1/2" AREA= 58.2 SF		WEST FACADE: EXISTING BP SIGNAGE: L= EXIST H= EXIST AREA= ~46.9 SF	
SOUTH FACADE:		DUNKIN' DONUTS 'FRESH-BREW' STACKED CLOUD SIGN: 18" LETTERS w/ 54" CUP L= 7'-3" H= 8'-0 1/2" AREA= 58.2 SF	
DUNKIN' DONUTS 'FRESH-BREW' STACKED CLOUD SIGN: 18" LETTERS w/ 54" CUP L= 7'-3" H= 8'-0 1/2" AREA= 58.2 SF		FUTURE SANDWICH SHOP SIGN L= 8'-4" H= 5'-0" AREA= 41.7 SF	
TOTAL SIGNAGE: 277.5			



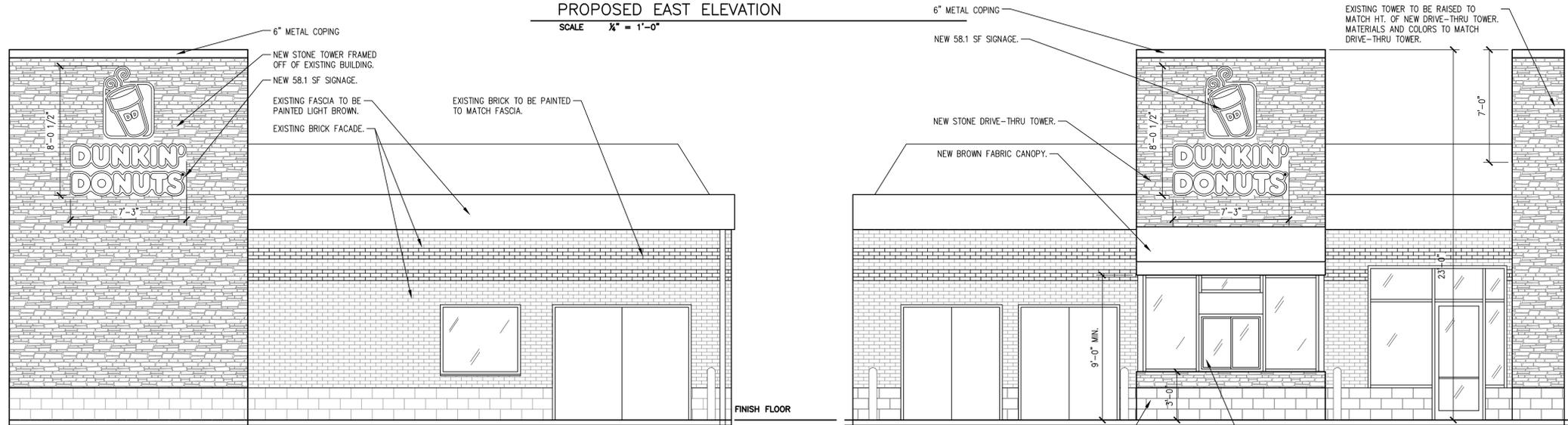
PROPOSED WEST ELEVATION

SCALE 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE 1/4" = 1'-0"

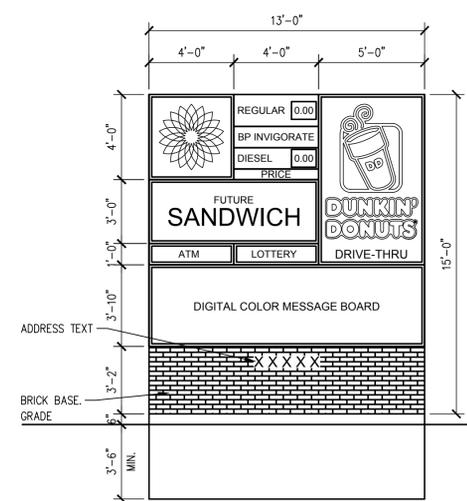


PROPOSED SOUTH ELEVATION

SCALE 1/4" = 1'-0"

PROPOSED NORTH ELEVATION

SCALE 1/4" = 1'-0"



PROPOSED MONUMENT SIGNS

SCALE 1/4" = 1'-0"

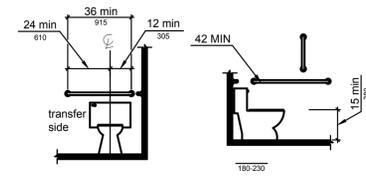
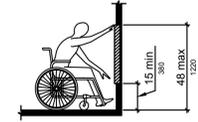
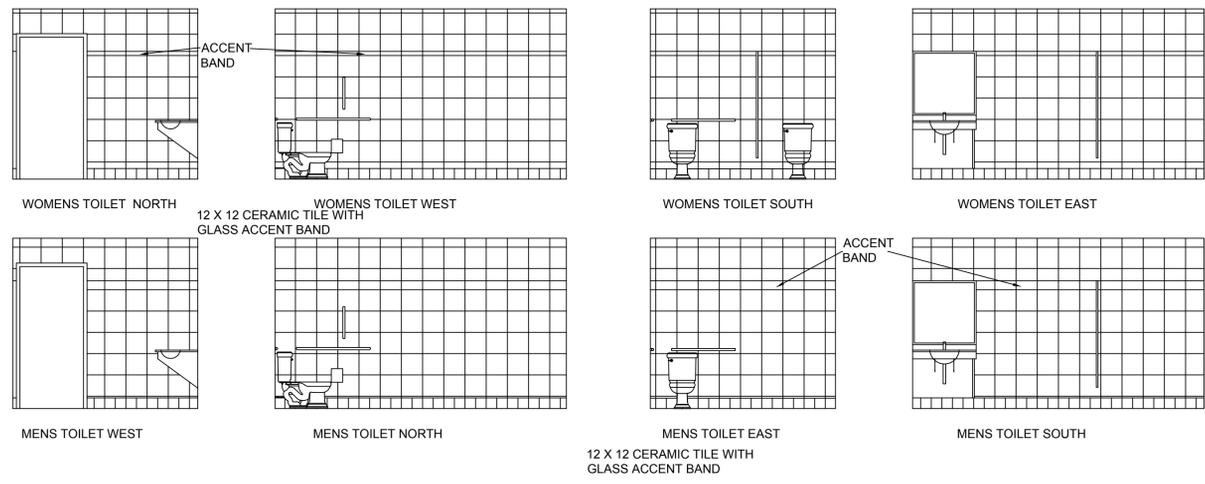
ARCHITECT:
WILLIAM A MORRIS, ARCHITECT LLC
5308 31ST. AVE.
KENOSHA WI. 53144

CLIENT:
DUNKIN' DONUTS
10477 120th Ave.
Pleasant Prairie, Wisconsin 53158

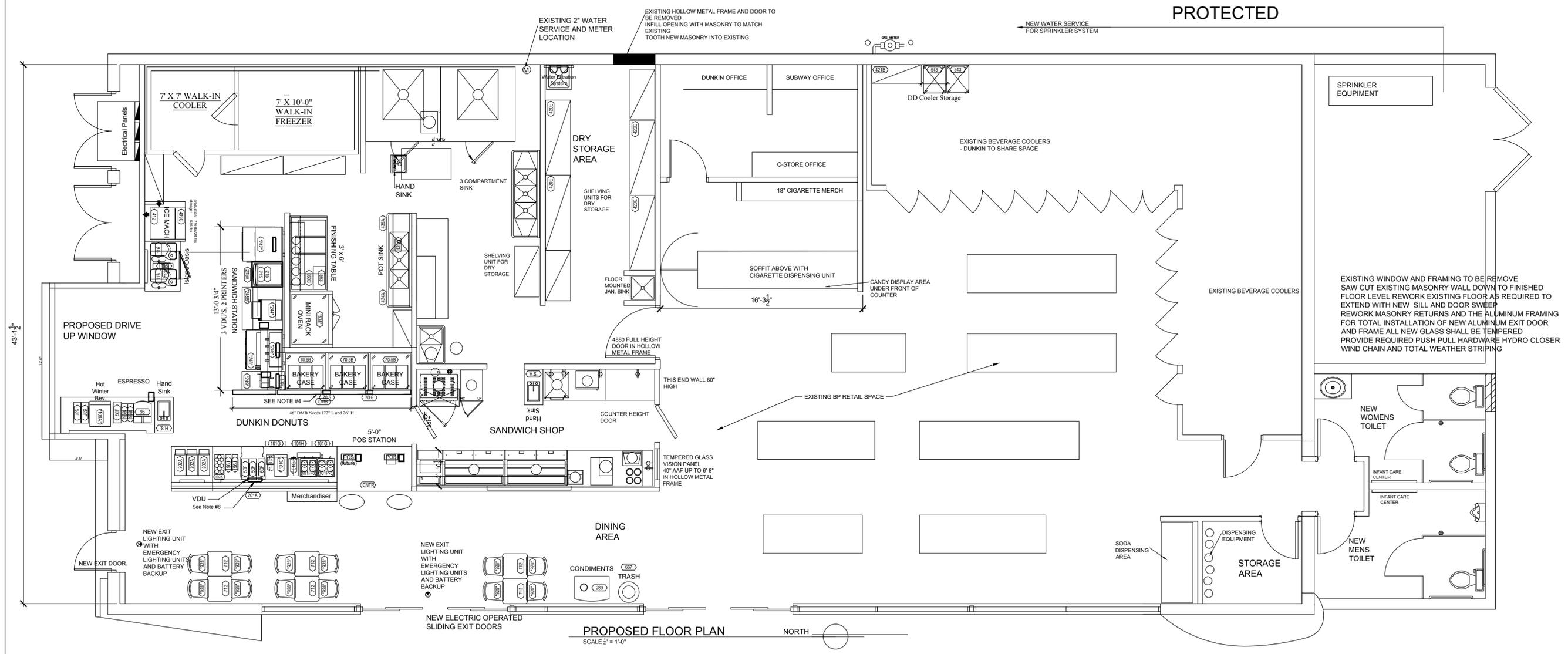
#	DESCRIPTION	DATE
1	INITIAL SUBMITTAL	07-07-16

FILE NAME: 15-173 BP-Pleasant Prairie
DRAWN BY: GVB REVIEWED BY: ERC 07-07-16
SHEET TITLE:
PROPOSED ELEVATIONS
SHEET NO.
A0.1

IF PRINTED TO SCALE, BOTH THESE BARS WILL MEASURE 1"



NOTE
THIS BUILDING TO BE FULLY SPRINKLER PROTECTED



PROPOSED FLOOR PLAN
SCALE 1/4" = 1'-0"
NORTH

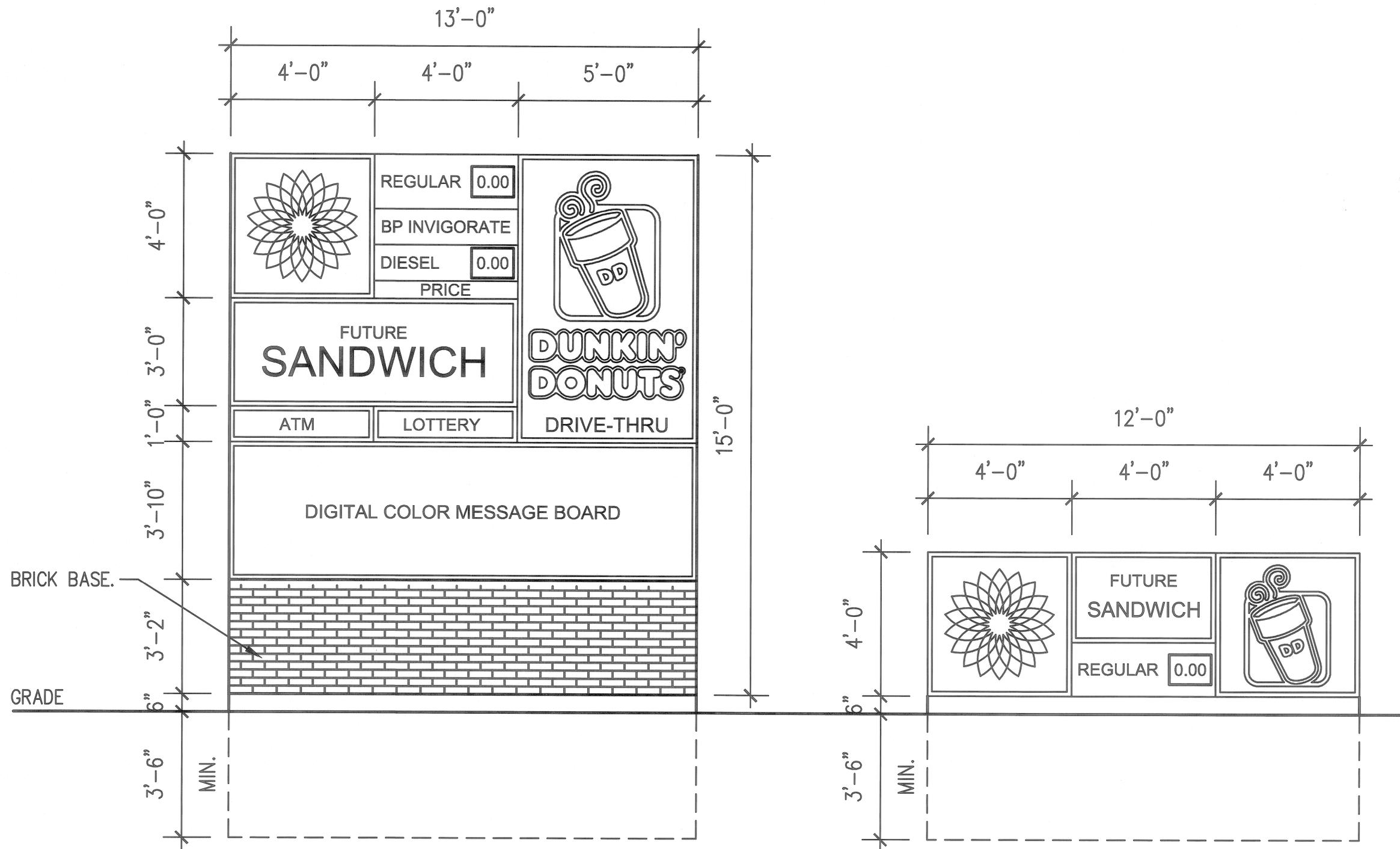
DATE
10-7-12

REVISIONS
11-15-12
10-25-15
8-29-16

WILLIAM A. MORRIS ARCHITECT LLC
5313 87TH PLACW
PLEASANT PRAIRIE, WI. 53158

PROPOSED BUILDING ADDITION FOR
VIDHYA CORP VIII
10477 120TH AVENUE
PLEASANT PRAIRIE WI. 53158

A3



PROPOSED MONUMENT SIGNS
 SCALE 1/4" = 1'-0"

SIGNAGE	
REVISIONS	
DRAWN BY:	
FILE NAME:	

Site Improvement Proposal For:
BP/DUNKIN
 10477 120th Avenue
 Pleasant Prairie, Illinois 53158

*
NOT TO SCALE

ECA
ARCHITECTS
AND
PLANNERS

24 N BENNETT ST.
 GENEVA, IL 60134
 PHONE 630 608 0500
 FAX 630 839 8875
 PROFESSIONAL DESIGN FIRM
 NO. 184 005766

SHEET
EX7.1





FUTURE
SANDWICH

to go

DUNKIN'
DONUTS







FUTURE
SANDWICH

to go

DUNKIN'
DONUTS





**Alia DuMez
& McTernan**
ATTORNEYS AT LAW

6633 Green Bay Road
Kenosha, WI 53142
T: (262) 654-8700
F: (262) 654-8600
www.addmlaw.com

Gino M. Alia
Robert I. DuMez
J. Michael McTernan
Michael R. Cholak
Of Counsel

Debbie Gourdeaux
Beverly Kozerski

August 26, 2016

Jean M. Werbie-Harris
Community Development Director
Village of Pleasant Prairie
9915 – 39th Avenue
Pleasant Prairie, WI 53158

RE: Improvements to Shared Private Road

Dear Ms. Werbie-Harris:

This letter is to confirm that the following property owners have met and agreed to make and pay for various improvements to the private road that separates their respective parcels.

Vidhya Corp VIII, Inc. – Owner of Parcel 92-4-122-302-0130
McDonalds Corporation – Owner of Parcel 92-4-122-302-0137
OMA LLC – Owners of Parcels 92-4-122-302-0137 & - 0138

Vidhya is going to be installing and paying for the public sidewalks along their southern property line and into a small portion of OMA's southern property in conformance with sidewalk plans that are approved by the Village. This work will be completed in 2017 at Vidhya's sole cost.

OMA is going to oversee the installation of a new lift of asphalt in the private road that separates the parcels and connects Corporate Drive and 120th Avenue. This road improvement will be completed by November of 2018. The road improvement will include the striping of crosswalks (in conformance with approved plans) in order to guide pedestrians between the various parcels.

Very truly yours,

J. Michael McTernan

Approved by:

Dixit Patel, VIDHYA Corporation VIII, Inc.

Edward Rich, OMA, LLC

Jeff Whitens, McDonalds Corporation



Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors

August 29, 2016

Mr. William Morris
5313 87th Place
Pleasant Prairie, WI 53158

RE: Professional Design Services Proposal
BP Gas Station / Convenience Store Modifications
10477 120th Avenue, Pleasant Prairie, Wisconsin

Dear Bill,

We appreciate the opportunity to offer our services to you for the above-referenced project. Nielsen Madsen & Barber, S.C. has been performing civil engineering, planning and surveying services for over 62 years. Our experience in southeastern Wisconsin, including the Village of Pleasant Prairie and our dedication to quality surveying and engineering will be a benefit to you in the successful completion of the project.

PROJECT UNDERSTANDING

In accordance with your request, we are pleased to present our proposal to provide civil design, surveying and permitting services related to exterior site modifications at the existing BP Gas Station / Convenience Store in the Village of Pleasant Prairie. The proposed modifications will be limited to the North and East sides of the existing building and will focus on the addition of a drive-thru lane to serve a proposed Dunkin Donuts franchise at the site

The parcel on which the services will be provided is Parcel 14 of CSM 1489 which is further described as Tax Parcel No. 92-4-122-302-0130 owned by Vidhya Corp. VIII Inc.

SCOPE OF SERVICES

Based on our experience with recent developments of a similar nature in the Village, the following tasks and / or services will need to be completed in order to gain full approval of the site improvement plans through the required state and local approving agencies:



Mr. William Morris
RE: Civil Design, Survey & Permitting Proposal
BP Convenience Store
August 29, 2016
Page 2

LAND SURVEYING SERVICES *including:*

- Coordinate with Diggers Hotline for the location and marking of all underground public utilities within the project limits.
- Perform a topographic survey of the subject parcel including the near side frontage of the adjacent private driveway to the South.
- Utilizing the topographic and boundary survey data gathered at the site produce a base map to be used for civil design purposes.
- Prepare drawings and descriptions as necessary for all required "new" easements or easements "to be vacated".

PRIVATE GRADING, DRAINAGE & PAVEMENT DESIGN SERVICES *including:*

- Prepare a site grading plan including existing and proposed contours for all required pavements, sidewalks, walkways, and parkway areas.
- Prepare a detailed pavement design plan including all spot grades necessary to construct the onsite "private" asphalt and / or concrete pavements.
- Prepare design details for all sidewalks, accessible paths and ADA ramps leading to the building entrances.

EROSION AND SEDIMENT CONTROL DESIGN SERVICES *including:*

- Prepare a detailed erosion and sediment control plan with all necessary Best Management Practices and Construction Details necessary to control sediment and erosion generating activities throughout the duration of the project.

SITE LIGHTING / LANDSCAPING COORDINATION SERVICES *including:*

- Coordination with the Architect regarding site lighting and landscaping designs (***furnished by others***) and providing a cursory review to locate any potential grading or utility conflicts.

Mr. William Morris
RE: Civil Design, Survey & Permitting Proposal
BP Convenience Store
August 29, 2016
Page 3

MEETING & PERMITTING SERVICES *including:*

- Prepare site design submittals as necessary to gain Village approval of the proposed site engineering plans.
- Coordinate with the Architect and other design team members (Project Architect, Site Lighting and Landscaping Consultants) as necessary to produce a fully integrated set of construction documents.
- Monitor and respond to all review comments from approving agencies related to civil design submittals / permits.

EXCLUSIONS

Items specifically excluded from this proposal include:

- 1) **Soil borings or geotechnical investigations.**
- 2) **Cost Estimating or bidding services.**
- 3) **Pre- or Post-construction ALTA surveys.**
- 4) **Construction administration or observation services.**
- 5) **Construction staking or layout services (rate sheet provided).**
- 6) **Structural retaining wall designs (if required).**
- 7) **Site lighting or landscaping designs (public and private improvements).**
- 8) **Attendance at public approval meetings.**
- 9) **Storm water retention / detention or water quality designs.**
- 10) **Any additional work not specifically stated in above scope of services.**

DELIVERABLES

At the completion of the survey, design and permitting phase of the project, Nielsen Madsen & Barber, S.C. will furnish the following documents:

Mr. William Morris
RE: Civil Design, Survey & Permitting Proposal
BP Convenience Store
August 29, 2016
Page 4

- One (1) full-size paper copy and one (1) .pdf copy of the final engineering plans on 24" x 36" sheets containing all proposed civil / site improvements. ***Plans to be signed and sealed by a licensed Professional Engineer.***
- One (1) .pdf copy of all engineering calculations.
- One (1) copy of all civil / site permit applications and approvals.

PROPOSED FEES

Nielsen Madsen & Barber, S.C. will provide the services and tasks as detailed above at our normal hourly rates for a Lump Sum fee of **\$9,130.00**.

Reimbursable expenses for this project are estimated at \$100 or less and will be billed in accordance with our Standard Terms and Conditions which are attached as Exhibit A and hereby made a part of this agreement via reference.

The project Architect shall provide the building drawings in AutoCAD 2014 format prior to NMB commencing with the detailed conceptual plan development.

Any and all modifications to the site plan after approval of the concept by the Village will be charged on a time & materials basis.

All permit, submittal, recording and Village review fees are the responsibility of the Owner.

SCHEDULE

We propose to initiate work immediately after receipt of written notification to proceed and will work with your office to meet the project schedule.

CLOSING

Thank you for the opportunity to offer our services. We look forward to working with you on this project.

Please acknowledge receipt and acceptance of this proposal by signing and returning one copy for our files.

Mr. William Morris
RE: Civil Design, Survey & Permitting Proposal
BP Convenience Store
August 29, 2016
Page 5

If you have any questions related to the scope of services we are proposing to provide,
please do not hesitate to call.

Respectfully submitted,



Mark R. Madsen, P.E., P.L.S.
President

ACCEPTED: WILLIAM MORRIS

BY: _____

DATE: _____

Print Name: _____

Title: _____

File: T:\NMB-Contracts\2016\Proposals - Engineering\2016.0000.00 - Morris - BP - Drive Thru - Pleasant Prairie.docx

EXHIBIT A
Nielsen Madsen & Barber, S.C.
STANDARD TERMS AND CONDITIONS
(Effective January 1, 2015)

COMPENSATION

Staff Type	Billing Rate/Hr.
Project Manager	\$135.00
Civil Engineer I	\$102.00
Civil Engineer II	\$ 92.00
Civil Engineer III	\$ 82.00
Design Engineer I	\$ 72.00
Design Engineer II	\$ 62.00
CADD Operator	\$ 90.00
Professional Land Surveyor I	\$122.00
Professional Land Surveyor II	\$100.00
Survey Crew Chief	\$ 92.00
Survey Assistant	\$ 64.00
Survey Line & Grade Specialist	\$ 76.00
Construction Services Manager	\$103.00
Field Engineer I	\$ 99.00
Field Engineer II	\$ 88.00
Construction Technician I	\$ 72.00
Construction Technician II	\$ 66.00
Construction Technician III	\$ 58.00
Project Assistant	\$ 54.00

REIMBURSABLE EXPENSES

Reimbursable expenses will be charged at cost plus a five percent (5%) service charge. Such expenses shall include, but not be limited to, travel, reproduction, shipping/delivery charges, document retrieval fees, sub-consultant and subcontractor fees, permitting & recording fees, specialized equipment rental and other specialized supply costs directly related to the execution of the specific project. Fixed rate reimbursable expenses will be charged as follows:

Travel (mileage)	\$0.54 / mile
Overnight/Courier Delivery	Actual Cost
Recorded Document Retrieval	Actual Cost
All Terrain Vehicle (ATV) Usage	\$40.00 / hour
Global Positioning System (GPS) Usage	\$40.00 / hour
Specialized Materials as Requested by Client	Actual Cost

Copy Charges (per sheet)	Black & White	Color
8.5" x 11"	\$0.10	\$0.15
8.25" x 14	\$0.10	\$0.20
11" x 17"	\$0.15	\$0.30
12" x 18"	\$0.15	\$0.30
18" x 24"	\$1.00	\$3.00
22" x 34"	\$1.75	\$5.00
24" x 36"	\$2.00	\$6.00
30" x 42"	\$3.00	\$8.80
36" x 36"	\$3.00	\$9.00
36" x 48"	\$5.00	\$10.00

INVOICING

All projects will be invoiced for the work performed to date every 30 days. Payment in full of the invoiced amount is to be made upon receipt. Unpaid invoices will be considered delinquent after 30 days and will accrue interest charges of 1½% per month, beginning from the date of the invoice. Lien notices will be sent out for any invoices remaining unpaid after 60 days.

LIEN RIGHTS

In order to comply with Wisconsin Statute 779.02 regarding notice to preserve lien rights, the following statutory notice is served upon the Owner/Owner's representative and is made a part of this proposal and/or contract: As required by the Wisconsin construction lien law, Nielsen Madsen & Barber, S.C. hereby notifies Owner/Owner's representative that persons or companies furnishing labor or materials for design / development or construction on Owner's land may have lien rights on Owner's land and buildings if not paid. Those entitled to lien rights, in addition to Nielsen Madsen & Barber, S.C., are those who contract directly with the Owner or those who give notice within 60 days after they first furnish labor or materials for the construction, and should give a copy of each notice received to his mortgage lender, if any.

Nielsen Madsen & Barber, S.C. agrees to cooperate with the Owner and his lender, if any, to see that all potential lien claimants are duly paid.

LIMITATION OF COSTS

Nielsen Madsen & Barber, S.C. (NMB) will not be obligated to continue providing services or incur costs beyond the agreed upon fee unless Client agrees in writing to a revised cost.

CLIENT'S RESPONSIBILITIES

Client shall arrange for access to and make all provisions for NMB personnel to enter upon private and public property as required for NMB to perform services under this Agreement.

Client shall provide NMB with all available information regarding this project as required. NMB shall be entitled to rely upon information and documentation provided by the Client or consultants retained by the Client in relation to this project, however, NMB assumes no responsibility or liability for their completeness or accuracy.

COST OPINIONS

Any cost opinions or project economic evaluations provided by NMB will be on the basis of experience and judgment, but, because NMB has no control over market conditions or bidding procedures, we cannot warrant that bids, construction cost, or project economics will not vary from these opinions.

STANDARD CARE

The services provided by NMB under this Agreement will be performed as reasonably required in accordance with generally accepted standards for services as offered in the proposal for this project at the time and the place where the services are performed.

INSURANCE

Throughout the duration of the project, NMB will procure and maintain the following insurance:

Liability	Limits of Liability
Worker's Compensation and Employer's Liability	\$ 500,000 / incident
Comprehensive General Liability	\$1,000,000 / Occurrence
Comprehensive General Liability	\$2,000,000 / Aggregate
Professional Liability	\$2,000,000 / Occurrence
Automobile Liability	\$1,000,000 / Accident
Umbrella Liability	\$5,000,000 / Occurrence
Umbrella Liability	\$5,000,000 / Aggregate

Within the limits of this insurance, NMB agrees to hold the Client harmless from and against loss, damage, injury or liability arising directly from the negligent acts or omissions of employees, agents or subcontractors of NMB. Should the Client require other types of insurance coverage, limits in excess of the above limits, and/or certificates naming any other(s) than the Client as additional insured parties, NMB's cost of obtaining such coverage, limits or certificates shall be reimbursable by the Client.

TERMINATION

The Client shall within thirty (30) days of termination remunerate NMB for services rendered and costs reasonably incurred, in accordance with NMB's fee schedule. Costs shall include those incurred up to the time of termination.

Return to: Katrina Karow
Kenosha Water Utility
4401 Green Bay Road
Kenosha, WI 53144
Email: kkarow@kenosha.org

Date Sent: 9/12/16 PJ
Date Due:

VILLAGE OF PLEASANT PRAIRIE
INDUSTRIAL WASTE SURVEY

RECEIVED

SEP -9 2016

To be submitted to the

Kenosha Water Utility

PLEASANT PRAIRIE

General Information

1. Facility Name: VIDHYA CORP., VIII INC d/b/a/ BP GAS & CONVENIENCE STORE
2. Mailing Address: 10477 - 120th AVENUE
3. City, State, Zip Code: PLEASANT PRAIRIE WI. 53158
4. Site Address: 10477 - 120th AVENUE
5. Standard Industrial Classification Code (SIC): _____
6. Name, Title and Telephone Number of the Authorized Representative and the Company Contact Person Responsible for Environmental Compliance.

Authorized Representative

Name: WILLIAM A MORRIS-ARCHITECT LLC
Title: ARCHITECT
Phone #: 1-262-620-0563

Company Contact

Name: DIXIT PATEL
Title: OWNER
Phone #: 1-630-479-1529

The authorized representative must be a president, secretary, treasurer, or vice-president of the corporation in charge of a principle business function, or general partner or proprietor, or an individual designated by the aforementioned corporate official. The designated individual must meet the following criteria: (1) the person must be responsible for the overall operation of the facilities from which discharges originate, (2) the person is authorized in writing, and (3) the written authorization is submitted to the POTW.

7. List All Environmental Control Permits Held by or for the Facility.

Operational Characteristics

1. Existing Number of Employees: Full Time 3 Part Time 3
2. Operational Schedule: Days/Wk 7 Hours/Day 16 # Shifts 2
3. Describe the nature of the business conducted at this facility (if more than one type ,of business or manufacturing takes place, list all activities): CONVENIENCE STORE WITH PROPOSED DUNKIN DONUTS TO BE ADDED
4. List principal raw materials used: WATER, MILK, SUGAR FLOUR
5. List products produced and the average rate of production: DONUTS
6. List types of wastes created during production and any by-products produced: FOOD WASTE FROM BAKING
7. Estimate the quantity of water to be used by the facility during a six month period. Record the gallons of water anticipated by this facility. _____ gallons.
Indicate the source of the facility's water: Kenosha _____ Pleasant Prairie X
Meter number or address assigned to water meter(s). 10477- 120th AVENUE
8. Type of discharges: Continuous _____ Batch X
If batch was indicated, give the average frequency and approximate volume of any batch discharges: 1 OR 2 TIMES IN 24 HOURS WITH WASHING OPERATION MOST LIKLY 5 gal.
9. Describe the uses of water at this facility: TOILET ROOMS, CLEANING, WASHING BAKING PANS AND BOWLS etc.

Wastewater Information

1. A process wastewater IS any wastewater discharged other than for sanitary, non-contact cooling or boiler blow-down purposes. List activities which generate a process wastewater and the time and duration of each discharge.

Wastewater Producing Process

Time and Duration of Discharges

CLEANING OF BAKING PANS

EARLY MORNING 1-HOUR

2. For each process wastewater stream list all the materials and pollutants which to believe may be present in the discharge.

Milk, Sugar, FLOUR, BAKING SODA FEON SCRAPS FROM DONUTS.

3. Contact cooling water is cooling water that during the process comes into contact with process material, thereby becoming contaminated. Non-contact cooling water does not come into contact with process materials. Does this facility utilize cooling water?

4. Water volume used and discharged to sanitary sewer. A review of previous water usage bills may be helpful in assigning values to the following flows. If sanitary flow is not metered, provide an estimate based on 20 gallons per day fir each employee (i.e. water balance).

		Gallons per Day		Type of Wastewater Discharge (Continuous, Batch, None)
		Consumed	Discharges	
Sanitary Usage			<u>100</u>	
Process Wastewater Usage			<u>0</u>	
Cooling Water Usage			<u>0</u>	
Other Usage				
Total Volume			<u>100</u>	

5. Describe all locations where wastewaters enter the collection system 1- LOCATION ON OUTSIDE OF BUILDING

6. Is there a sampling manhole on site? No _____ Yes X
 If yes, describe the locations: ON NORTH SLWT

7. Are sanitary and process wastewaters separated? No X Yes _____

8. Is boiler blowdown water discharged to the sanitary sewer? No NA Yes NA

9. Does your facility haul any process wastewater? No X Yes _____

Compliance Information

1. Is there any usage of toxic compounds at the facility? No X Yes _____
 If yes, list and use check list on last page.

2. Are there any floor drains in the manufacturing or chemical storage area? No NA Yes _____

3. Is there a Spill Prevention Control and Countermeasure Plan in effect for this facility?
 No _____ Yes X If yes, describe procedure: _____

5. Is any form of waste water pretreatment practiced at this facility? No X Yes _____
If yes, describe: CURRENT USES ONLY INVOLVE TOILETS FOR EMPLOYEES AND THE PUBLIC COMING IN TO USE TOILET ROOMS.

6. List any specific pretreatment standards that apply to this facility: NA

7. If pretreatment standards are not being met on a consistent basis, describe what additional and maintenance or pretreatment must be performed to achieve compliance.

NA

8. State the estimated timetable (compliance schedule) for the implementation of additional operations and maintenance or for the commencement and completion of major events leading to the construction and operation of the pretreatment facilities required to achieve compliance.

NA

Submissions

Include a schematic (print) of the facility that shows the water intake points(s), existing sanitary sewer, discharge points (connection(s) to sanitary collection system), and direction of wastewater flows at the facility. Provide a diagram of water flow through any processes that use water for any purpose.

Signatory Requirement

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate this information submitted. Based on my inquiry of the person or persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

DIXIT PATEL

Print Name: Authorized Representative

Dixit Patel

Signature: Authorized Representative

PRESIDENT

Title

09/02/16

Date

Appendix
Toxic Pollutants Listed in 40CFR 307(a)

Known Absent	Suspected Present	Known Present	Pollutant
			1 Acenaphthene
			2 Acrolein
			3 Acrylonitrile
			4 Aldrin/Dieldrin
			5 Antimony and compounds
			6 Arsenic and compounds
			7 Asbestos
			8 Benzene
			9 Benzidine
			10 Beryllium and compounds
			11 Cadmium and compounds
			12 Carbon tetrachloride
			13 Chlordane
			14 Chlorinated benzenes
			15 Chlorinated ethanes
			16 Chlorinalkyl ethers
			17 Chlorinated naphthalene
			18 Chlorinated phenols
			19 Chlorofoffil
			20 2-chlorophenol
			21 Chromium and compounds
			22 Copper and compounds
			23 Cyanides
			24 DDT and metabolites
			25 Dichlorobenzenes
			26 Dichlorobenzidine
			27 Dichloroethylenes
			28 2,4-dichlorophenol
			29 Dichloropropane & Dichloropropene
			30 2,4-dimethylphenol
			31 Dinitrotoluene
			32 Diphenylhydrazine
			33 Endosulfan and metabolites

Known Absent	Suspected Present	Known Present	Pollutant
			34 Endrin and metabolites
			35 Ethylbenzene
			36 Fluoranthene
			37 Haloethers
			38 Halomethanes
			39 Heptachlor and metabolites
			40 Hexachlorobutadiene
			41 Hexachlorocyclopentadiene
			42 Hexachlorocyclohexane
			43 Isophrone
			44 Lead and compounds
			45 Mercury and compounds
			46 Naphthalene
			47 Nickel and compounds
			48 Nitrobenzene
			49 Nitrophenols
			50 Nitrosamines
			51 Pentachlorophenol
			52 Phenol
			53 Phthalate esters
			54 Polychlorinated biphenyls (PCBs)
			55 Polynuclear aromatic hydrocarbon
			56 Selenium and compounds
			57 Silver and compounds
			58 2,3,7,8-Tetrachlorodibenzo-p-dioxin (TCDD)
			59 Tetrachloroethylene
			60 Thallium and compounds
			61 Toluene
			62 Toxaphene
			63 Trichloroethylene
			64 Vinyl chloride
			65 Zinc and compounds



Filed _____ 20 Published _____ 20
Public Hearing _____ 20 _____ 20
Fee Paid _____ 20 Approved _____ 20
Notices Mailed _____ 20 Denied _____ 20

RECEIVED

SEP -9 2016

VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
ZONING MAP AND TEXT AMENDMENT APPLICATION

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be rezoned from the present B4-PUD
_____ District(. NA _____ District(s). The property petitioned
to be rezoned is located at: 10477-120th AVENUE and is legally described
(address)
as follows: _____

Tax Parcel Number(s): 92-4-122-302-0130

The proposed use for this property is: CONVENIENCE STORE WITH DRINKIN DONUTS

Petitioner's interest in the requested rezoning: OWNER

Compatibility with adjacent land uses: VERY COMPATIBILITY WITH OTHERS USES

I (We) are also requesting a Zoning Text Amendment to amend Section _____ of
the Village Zoning Ordinance.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to
discuss the proposed request to determine additional information that may be needed for this request.

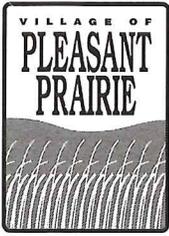
I, (We), hereby certify that all the above statements and attachments submitted herewith are true and
correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: VIOHTA CORP THE INC
Signature: Dimit Butev
Address: 10477 120 AVENUE
PLEASANT PRAIRIE WI 53158
(City) (State) (Zip)
Phone: 630-479-1529
Fax: NA
Email: _____
Date: SEPT - 2 - 2016

OWNER'S AGENT:

Print Name: WILLIAM A. MORRIS ARCHITECT L.L.C
Signature: Will A Morris
Address: 5313-87th PLACE
PLEASANT PRAIRIE WI 53158
(City) (State) (Zip)
Phone: 262-620-0563
Fax: NA
Email: WMORR@WI.RR.COM
Date: SEPT - 2 - 2016



**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT NO. 13-03 4th Amendment**

Before the Village of Pleasant Prairie Plan Commission,
Kenosha County, Wisconsin, in regard to the property
located at 10477 120th Avenue.



DOCUMENT
1774662

RECORDED
At Kenosha County, Kenosha WI 53140
JoEllyn M. Storz, Register of Deeds
June 23, 2016 2:52 PM
\$30.00
Pages 8

Return to:

Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Tax Parcel Number:

92-4-122-302-0130

Legal Description: Lot 14 of CSM 1489 (Document #872365) located in the Northwest One Quarter of U.S. Land Survey Section 30, Township 1 North, Range 22 East in the Fourth Principal Meridian, lying and being in the Village of Pleasant Prairie, Kenosha County Wisconsin. 8

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provides that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

WHEREAS, such petition having been made to allow BP Amoco to operate a gasoline station and convenience store and to install a carbon treatment system that will treat existing contaminated ground water from several reported hazard substance releases at the site and public hearing held thereon, the Village Plan Commission has determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, that the grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance. Specifically, based upon the information presented at the public hearing and the comments presented in this document that the project meets the following standards for granting a Conditional Use Permit in that the project/use:

- The project does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services.
- The project does not impair an adequate supply of light and air to the adjacent properties.
- The project does not increase danger of fire--in so far as the danger of fire does not exceed the capabilities of the Village Fire & Rescue Department.
- The project does not appear to create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare.

- There are no existing identified hazards, dangers, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use. However, previous soil contaminations are being addressed as part of and as a condition of this Conditional Use Permit.
- The proposed and applied for use on this particular parcel is not inherently inconsistent with the B-4, Freeway Service Business District in which it is located or the adjoining zoning districts and land uses.

NOW THEREFORE, a Conditional Use Permit is granted, subject to compliance with the terms and conditions hereinafter stated to allow BP Amoco to operate a gasoline station and convenience store and to install a carbon treatment system that will treat existing contaminated ground water from several reported hazard substance releases at the site.

1. Compliance with PUD Ordinance #12-40, including the Digital Security Imaging System Agreement on file with the Village.
2. **Compliance with the terms and conditions of the executed Settlement Agreement approved by the Village Board on November 19, 2012, 1st Amendment to the Settlement Agreement approved on April 1, 2013 and 2nd Amendment to the Settlement Agreement approved on February 3, 2014, the 3rd Amendment to the Settlement Agreement approved on June 15, 2015 and the 4th Amendment to the Settlement Agreements approved on May 2, 2016 on file with the Village.**
3. Compliance with the Site and Operational Plans as conditionally approved by the Village Plan Commission on November 19, 2012 on file with the Village.
4. Compliance with the Preliminary Site Investigation Work Plan dated November 14, 2012. The Remedial Action Plan and Remedial Design Report shall be compliant with NR 700 shall be submitted to the Village.
5. Compliance with the WI DNR WPDES Permit issued on November 2, 2012.
6. Compliance with the Wisconsin Department of Transportation Work in the Right-of-Way Permit dated November 26, 2012.
7. Provide to the Village a copy of an ongoing agreement shall be executed by the Owner and an appropriate environmental firm to accomplish the following:
 - to monitor the operation and maintenance of the groundwater treatment system on a regular basis;
 - to continue influent and effluent sampling and analysis on the schedule prescribed in the stipulated agreement; and
 - to respond as needed to onsite emergencies related to the treatment system and alarms.
8. All hard surfaced areas including the parking lot areas, drive lanes, paved areas adjacent to the pumps, sidewalks, etc. shall be clean, neat and free from pot holes or other cracks which present a safety risk to the pedestrians or traveling public. The hard surface areas of the site shall be maintained and free of any debris or potholes which may cause distractions or damages to vehicles. All pavement markings shall be done in yellow or white reflective paint.
9. The gas station and convenience store shall operate in an organized, well-kept, clean, neat and professional manner. The inside of the store shall be maintained, painted, and clean for the public. Damaged or dirty walls, floors, coolers, bathrooms, racking, displays lighting, etc. shall be taken care of or repaired promptly. Malfunctioning gas pumps shall be repaired as soon as possible.

9. A Kenosha County Health Department permit and regular inspections will be conducted on the premises. Violations may result in the suspension or revocation of the Health Permit and the Conditional Use Permit.
10. The hours of operation (when the public is allowed to enter or remain on site for business purposes) shall be limited from 5:00 a.m. to 12:00 a.m. daily. A Temporary Use Permit may be issued for 24-hour operations during any holiday period subject to approval of the Village Police Chief. In addition, a 24-hour holiday operation will require the owners to enter into an agreement and pay for the overtime services of the Police Department, as determined by the Police Chief. Pursuant to the Zoning Ordinance and liquor license requirements, the store is allowed to be open until midnight; however, Class A Beer is only allowed to be sold from 8:00 a.m. to midnight and Class A Intoxicating Liquor is only allowed to be sold from 8:00 am to 9:00 p.m.
11. Currently, deliveries and shipments are allowed only during the time that BP is open to the public.
12. The delivery hours or any other activities outside the principal building that might cause a disturbance to neighboring areas (e.g., outside loading or unloading, the arrival of deliveries, idling of delivery trucks, beeping of backing vehicles, and garbage pickup), except for snow removal, is allowed only from 6:00 a.m. to 10:00 p.m.
13. BP Amoco Gas Station and Convenience Store located at 10477 120th Avenue is a self-service gasoline and diesel station, selling petroleum products to consumers of passenger vehicles and light trucks. It does not service or sell petroleum products to over-the-road trucks, cabs or other specialized commercial or construction vehicles. In addition, BP operates a convenience store that provides various grocery store and automobile supplies and accessories, along with a quick service restaurant, bakery, self-service coffee bar and soda fountain, and an e-commerce area for computerized assistance with weather and traffic information. The quick service restaurant provides seating for approximately 12 people and quick food selections of bakery items, sandwiches, soups and salads. The facility also provides separate men's and women's washrooms, and various other related convenience service amenities, including but not limited to, vacuum cleaners and compressed air for automobile maintenance, automated teller machine, along with the sale of alcohol and tobacco products as authorized by its license.
14. Due to several reported hazardous substance releases at the BP gas station dating back to 1993, the owner's consultants have developed and installed a carbon treatment system that treats contaminated ground water. This system needs to be installed in an enclosed and heated facility. As a result, the southeast corner of the building was expanded in order to house the filters and pumps that are necessary to operate the carbon treatment system. This system is detailed in a Settlement Agreement being entered into between the property owner and the Village, and the property owner obtained all applicable permits before installing said system.
15. The expansion of the building measures approximately 420 square feet (30 feet by 15 feet) and simply "square" the building foot print. The same exterior building materials (brick and trim) were used in order to match the expansion to the existing building.
16. No through penetration between the new carbon room addition and the existing building shall be allowed to ensure no transfer of potentially toxic chemicals such as but not limited to carbon monoxide.
17. The 420 square foot addition shall not be used for the storage of any materials including but not limited, cleaning supplies, extra toilet paper or other supplies, merchandize or other products.

18. The 420 square foot addition is subject to compliance with the following conditions from the Village Building Inspection Department:
 - a. All building, plumbing, lighting and HVAC plans shall be designed to the IBC Codes, prior to submitting (4 sets) for building permits from the Village of Pleasant Prairie. Since the total cubic footage of the accessory structure is less than 100,000 cubic ft. this can be a Municipal review. All sub-contractors will be required to apply for permits.
 - b. Halls, corridors, stairways, passageways, work aisles and other means of egress from factories, offices and mercantile buildings shall have emergency lighting and exit lighting per Article 700 of the NEC, SPS 316.46 Which requires interior and exterior lighting. The existing plans only show interior lighting. The Village Fire & Rescue Department shall be contacted for further information and requirements. Contact Fire & Rescue Chief Doug McElmury at 262-694-8027.
 - c. The architect(s)/ professional engineer(s) shall submit, to the Village and State, the compliance statement, Form SBD 9720, prior to the final inspection with the Village Building Inspection and Fire & Rescue Departments.
 - d. The electrical contractor shall to be licensed by the Village of Pleasant Prairie. The electrical contractor shall obtain a permit from the Village prior to beginning work. All contractors must be licensed or registered with the State of Wisconsin.
 - e. All fire alarm installations require plan review and permit from the Village of Pleasant Prairie Fire & Rescue Department.
19. Downspouts shall be tied into the on-site storm sewer system and shall not be discharged onto existing pavement.
20. Landscaping on the site shall be installed, watered, weeded, trimmed and maintained in good condition at all times. Litter and debris shall be removed from the landscaping on a daily basis. Damaged, dying or dead plant material shall be removed and new plantings shall be installed on a regular basis. Mulch shall be raked in place on a regular basis and replaced yearly.
21. The carbon treatment system will not create any disturbance to the surrounding property owners as it will be housed in an enclosed and insulated expansion of the building. It is anticipated that the system will operate off and on for several years, dependent on the rise of ground water due to changes in the weather.
22. This system will not require any additional staff to manage and operate, as it will be automated and will only occasionally require the replacement of carbon filters that will be disposed of using sealed drums provided and retrieved by qualified environmental disposal companies. Moreover, the system will not alter existing operations of the gasoline station and convenience store, as those operations will continue as normal.
23. Currently, there are seven (7) full time and three (3) part time employees, but additional seasonal help is retained during peak holiday seasons. Currently, there are only two shifts of employees, but a third shift has been added when the hours are expanded during the Midnight Madness hours for Thanksgiving evening/Black Friday. There are currently 23 parking spaces on the site, but with the expansion of the building, two (2) parking spaces are being removed, leaving a total of 21 parking spaces (one handicapped access parking space, and 20 conventional parking spaces). The number of parking spaces excludes the cars that can be parked at the pumps.

24. Pursuant to the Village Zoning Ordinance the minimum parking requirements for a gasoline station with a convenience store is five (5) spaces per each 2,000 square feet of gross floor area plus 1 space for each employee on the largest shift plus the required handicapped accessible parking spaces pursuant to the state code. Therefore, a minimum of 13 spaces plus their required handicapped accessible parking spaces is required (5 spaces plus 3 spaces plus 5 spaces (assuming no more than five workers on site).
25. It is anticipated that traffic volumes of 500 to 1,000 daily trips will continue, and there will be no truck trips other than deliveries of goods to the BP. The main products being sold at the BP include, but are not limited to: gasoline and diesel fuels, related automobile supplies and parts, along with food and beverages, all of which are currently being sold at the BP, which will continue after the expansion. Aside from the installation of the carbon treatment system, all of the existing equipment will continue to be utilized in the operation of the BP (petroleum delivery systems, coolers, ovens, and related food preparation equipment).
26. Aside from the disposal of the carbon filters, the BP only has normal household cleaners used in the maintenance of the business in order to clean the food preparation and service areas, floors and bathrooms. The only waste that is disposed of at the BP is spoiled food and drink products, grey water waste and sanitary waste from the bathrooms.
27. In accordance with the DSIS Agreement, the security cameras shall be inaccessible to employees. Conspicuous signs shall be posted and maintained at the entrance stating that security cameras with an inaccessible recording device is in place on the premises. Said system shall be maintained in working order at all times and the Village of Pleasant Prairie Police Department shall be promptly provided any requested video. The recording shall be kept in an archive for a minimum of two weeks and the Pleasant Prairie Police Department shall have remote access to the system to monitor and download video. Specifically, internet access shall be provided which would allow the Police Department to have "live time" monitoring of the BP store and site.
28. The parking lot shall be illuminated to provide sufficient lighting for the public's safety and for the security cameras to operate effectively per the Village's satisfaction.
29. A clear and unobstructed view of the cash registers and transaction areas shall be maintained from the internal 30-foot wide on-site circulation access roadway.
30. The building shall be equipped with and shall use an inaccessible drop safe.
31. Between 10:00-12:00 p.m. and 5:00-7:00 a.m. at least two (2) employees shall be working on-site unless the business has taken measures to protect a lone clerk such as the installation of bullet resistant glass or other equipment as approved by the Police Department, making the lone employee inaccessible.
32. Installation and full operation of a hold-up alarm, which is monitored by a UL listed central station with functioning telephone service, shall be used at the BP station building.
33. The cash register shall not be left unattended for periods of time when the convenience store is open to the public.
34. A height strip shall be located at each doorway entering and exiting the convenience store.
35. The owner shall retain landscapers to regularly maintain, replace and upgrade the landscaping that surrounds the property, including the removal of all snow and ice from the parking lots, driveways and sidewalks. In addition, employees shall walk the property on a regular basis to pick up debris, empty garbage cans, restock self-service washer fluids and paper towels, and to monitor the entire property in order to maintain it in a first class condition.

36. The owner shall obtain all permits and licenses required to operate its business. Those permits and licenses allow for the sale of petroleum, alcohol, tobacco, food, and related items sold in its business, issued from the various government agencies.
37. All signs shall comply with Article X of Chapter 420 of the Village Municipal Code and with the BP Amoco PUD Ordinance on file with the Village. All signs shall be in good working order, properly maintained or repaired as needed, painted and well-kept.
38. The following types of signs are prohibited and shall not be installed. For a complete listing of prohibited signs refer to the Article X of Chapter 420 of the Village Municipal Code.:
 - a. Any sign with flashing or pulsating lights.
 - b. Any inflatable sign, including but not limited to tethered balloon signs or other gas-filled figures.
 - c. Any temporary, spring-action metal advertising sign used, for example, to advertise cigarette or gasoline prices.
 - d. Any spotlights used as visual attention-getters.
 - e. Strings of lights, tinsel, pennants, pinwheels or other similar devices hanging between two points or attached to light poles, cars, landscaping or structures on the property.
39. The Village had received numerous complaints relating to the operations of the station site including litter and garbage on the site; broken light standards and signs; inoperable pumps; pumps that don't issue receipts; dead landscaping; violation of security protocol; interior building damage to walls, floors, painting, counters; garbage overflowing; illegal outside storage of product; allowing products to be stored outside; allowing a pothole to remain in the drive area causing damage of cars etc. These ongoing complaints must be addressed on a daily basis by the owners as a responsible business owner in the Village. The Zoning staff will conduct inspections on a semi-annual basis to ensure compliance with these issues.
40. The use, operations, site, building and structures shall be designed, laid out, constructed and maintained in full compliance with the approved Site and Operational Plans, the Conditional Use Permit, Liquor and Tobacco Licenses and all other applicable provisions of the Village Municipal Code and all other applicable Village, County, State or federal regulations.
41. The use, operations, site, building and structures shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the Performance Standards set out in Section 420-38 of the Village Zoning Ordinance.
42. The site, building and garbage dumpster structure shall be maintained in a clean, neat, presentable, aesthetically pleasing, odor-free, structurally sound and nonhazardous condition inside and outside of the store at all times. All litter and debris outside of the structures shall be promptly removed on a daily basis. The garbage dumpster enclosure doors shall not be left open on garbage day and shall be promptly closed and secured after the pick-up of garbage.
43. The handicapped accessible parking spaces shall be appropriately signed, painted on the pavement and maintained pursuant to ADA requirements.
44. All exterior mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, shall be screened from the general public's view.

45. All required landscaping shall be installed per the plans and written verification and/or certification shall be provided to the Village by the landscape installer/designer that the landscaping has been installed in accordance with the Village approved landscape plan.
46. On site building alterations/modifications or changes in the operations or use of the site shall be in strict conformity to the Village approved plans and the Settlement Agreement approved in connection with the petition for this Conditional Use Permit. Violations of these conditions may result in the suspension or revocation of the conditional use permit and zoning violation prosecution, or both.
47. All uses shall conform to applicable Village Ordinance requirements, and to all other applicable local, County, State and Federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water discharges and storm water management, noise, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive as determined by the Village shall apply.
48. All required permits shall be obtained from the Village prior to commencing work.
49. Operation of the uses granted herein shall be in strict conformity to the approved and documents filed and approved in connection with the petition for Site and Operational Plan approval. Any violation of these conditions may result in the revocation of the approval or zoning violation prosecution, or both.
50. No changes to the exterior site, building or structures shall be made without the Village's approval. No painting of the exterior masonry of the BP station building or garbage dumpster enclosure shall be permitted, unless expressly permitted by the Village. Colors for building trim work shall be approved by the Village.
51. Any addition, alteration, extension, expansion or other proposed change in the approved operation shall be subject to the Village's Conditional Use procedures as if such use were being established anew.
52. The Conditional Use Permit shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land.
53. The Conditional Use Permit is subject to amendment and termination in accordance with the provisions of the Village General Zoning and Floodplain/Shoreland Zoning Ordinance.
54. **This Conditional Use Permit #13-03 4th Amendment is valid until June 14, 2017. In order for this facility to continue to operate after June 14, 2017, an application for an extension to this Conditional Use Permit shall be reconsidered by the Plan Commission at a regularly scheduled public hearing prior to June 14, 2017.**

Granted by the action of the Village of Pleasant Prairie Plan Commission the 28th day of May 2013 and amended by action of the Plan Commission on the 13th day of January, 2014, the 9th day of June, 2014, the 8th day of June, 2015 and the 23rd day of May, 2016.


 Thomas W. Terwall
 Plan Commission Chairman

ATTEST:


 James W. Bandura
 Secretary

[Owners signature on following page]

OWNER: VIDHYA Corp, VIII, Inc.

Dixit Patel
Dixit Patel
President

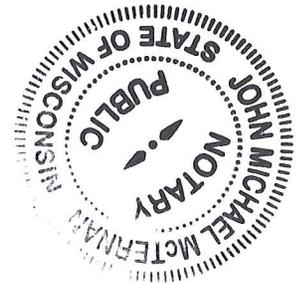
ACKNOWLEDGMENT
STATE OF WISCONSIN)
SS
KENOSHA COUNTY)

This instrument was acknowledged before me in Kenosha (city)
WISCONSIN (state), on this 2nd day of JUNE, 2016 by
Dixit Patel, President on behalf of VIDHYA Corp, VIII, Inc.

JM
Print Name: J. MICHAEL McTERMAN
Notary Public, KENOSHA County, WI
My Commission Expires: is permanent

THIS INSTRUMENT WAS DRAFTED BY:

Jean M. Werbie-Harris
Community Development Director
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, Wisconsin 53158



DEV1604-001

ORD. # 12-40

**ORDINANCE TO AMEND CHAPTER 420 ATTACHMENT 3 APPENDIX C
SPECIFIC DEVELOPMENT PLANS 10
OF THE VILLAGE ZONING ORDINANCE
PURSUANT TO CHAPTER 420-137
OF THE VILLAGE ZONING ORDINANCE
FOR BP-AMOCO PLANNED UNIT DEVELOPMENT
IN THE VILLAGE OF PLEASANT PRAIRIE,
COUNTY OF KENOSHA, STATE OF WISCONSIN**

**THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN, DO ORDAIN THAT CHAPTER 420 ATTACHMENT 3
APPENDIX C SPECIFIC DEVELOPMENT PLANS 10 FOR BP-AMOCO PLANNED UNIT
DEVELOPMENT IS HEREBY AMENDED AS FOLLOWS:**

10. BP-AMOCO PUD

- a. It is the intent that the BP-Amoco development will provide for development and uses on the property as legally described below in conformity with the adopted Village Comprehensive Plan and the basic underlying zoning district; that the development will not be contrary to the general welfare and economic prosperity of the community; and that the structures, landscaping, parking areas, architectural design, lighting, general site development and signage for the facility shall be properly maintained and general site development will result in an attractive and harmonious commercial retail area, will operate as a uniform development and will not adversely affect the property values of the surrounding properties.
- b. Legal Description: The property included is known as Lot 14 of Certified Survey Map #1489, located in U.S. Public Land Survey Section 30, Township 1 North, Range 22 East in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin and is hereinafter referred to as the DEVELOPMENT.
- c. Requirements within the DEVELOPMENT:
 - (i) The DEVELOPMENT shall be in compliance with all Federal, State, County and Village ordinances and regulations except as expressly modified in Section d below. Additionally, all portions of the Village Zoning Ordinance not modified by this PUD shall apply to the DEVELOPMENT.
 - (ii) The DEVELOPMENT shall be in compliance with the LakeView Corporate Park Declaration of Development Standards and Protective Covenants and Modifications, as may be amended from time to time, as recorded at the Kenosha County Register of Deeds Office.
 - (iii) Compliance with the Reciprocal Access Easement (Recorded at the Kenosha County Register of Deeds Office on August 22, 2001 as Document #1232401). This easement allows for vehicular cross-access between the DEVELOPMENT site and the Culver's restaurant, located to the immediate east.
 - (iv) Compliance with the Settlement Agreement approved by the Village Board on November 19, 2012 on file with the Village.
 - (v) Compliance with the Conditional Use Grant Document #12-10 including Site and Operational Plans approved by the Village Plan

Commission on November 19, 2012 and recorded at the Kenosha County Register of Deeds Office.

- (vi) Compliance with the Digital Security Imaging System Agreement (DSIS) and recorded Access Easement as approved by the Village on November 19, 2012.
- (vii) Hours of operation (when the public is allowed to remain on-site) shall be limited from 5:00 a.m. to 12:00 a.m. daily. A Temporary Use Permit may be issued for 24-hour operations during any holiday period. A Temporary Use Permit may be issued for 24-hour operations during any holiday period subject to approval of the Village Police Chief. In addition, a 24-hour holiday operation may require the owners to enter into an agreement and pay for the overtime services of the Police Department, a determined by the Police Chief. Pursuant to the zoning ordinance and liquor license requirements, the store is allowed to be open until midnight; however, Class A Beer is only allowed to be sold from 8:00 am to midnight and Class A Intoxicated Liquor is only allowed to be sold from 8:00 am to 9:00 p.m.
- (viii) Delivery hours or any other activities outside the principal building that might cause a disturbance to neighboring areas (e.g., outside loading or unloading, the arrival of deliveries, idling of delivery trucks, beeping of backing vehicles, and garbage pickup), except for snow removal, is allowed only from 6:00 a.m. to 10:00 p.m.
- (ix) The DEVELOPMENT, including but not limited to, the building, accessory structure pump, canopy and garbage enclosure, signs, landscaping, parking lots, exterior site lighting, etc., and the site as a whole, shall be maintained both inside and outside in a neat, presentable, clean aesthetically pleasing, structurally sound and non-hazardous condition. Maintenance shall be conducted on a regular basis both inside and outside of the buildings and site.
- (x) The inside of the building shall be clean, bath rooms shall be inspected and cleaned, floors shall be swept and walls shall be re-painted and repaired as necessary.
- (xi) Parking is only allowed in designated parking spaces within the DEVELOPMENT. No parking is allowed on STH 165, 120th Avenue or shared the private roadway south of the DEVELOPMENT. In addition, the parking lot areas shall be striped with reflected white or yellow paint and all handicapped accessible parking spaces shall be clearly marked. Any pot holes or other damages to the parking lot shall be promptly repaired.
- (xii) The building and site improvements within the DEVELOPMENT shall be made in accordance with the applicable Village Ordinance and Codes, that may be amended from time to time.
- (xiii) All buildings/structures and all exterior additions, remodeling or alterations to the any buildings/structures within the DEVELOPMENT shall be constructed of the same or complimentary exterior materials, colors and architectural style.
- (xiv) Plantings, mulch/stone shall be installed and maintained pursuant to the Village approved Landscape Plan on file with the Village.

- (xv) All exterior site building and landscaping maintenance shall be performed regularly by the owners or managers of the DEVELOPMENT. Specifically garbage/litter shall be picked up on a site on a daily basis, site lighting, signage, parking lot and pumps shall be in working order and provide receipts. If improvements are damaged or not working properly shall be promptly repaired.
- (xvi) No flags, pennants, streamers, inflatable signage, spot lights, walking signs, shall be affixed to any building, landscaping vehicle, roof-top, or the ground shall be allowed unless expressly permitted by the Zoning Ordinance.
- (xvii) The DEVELOPMENT shall be maintained in a neat, presentable, aesthetically pleasing, structurally sound and nonhazardous condition. All litter or garbage on and adjacent to the site shall be picked up on a daily basis by the petitioner.
- (xviii) The DEVELOPMENT shall comply with all applicable performance standards set forth in Section 420-38 of the Village Zoning Ordinance.
- (xix) No outdoor vending machines, propane tanks, oil drums, or newspaper stands shall be allowed on the site outside of the building.
- (xx) No outside storage of merchandise or donation drop boxes for clothing, furniture or other household products permitted shall be allowed anywhere on the site.
- (xxi) The DEVELOPMENT shall not be used for any outside parking (neither overnight nor during the day) of junked, inoperable, dismantled or unlicensed vehicles. All junked, inoperable, dismantled or unlicensed vehicles that are parked outside will be issued citations.
- (xxii) No vehicular parking shall be permitted in the cross access driveways, on-site driveways, maneuvering lanes, fire lanes or landscaped areas.
- (xxiii) No semi-trucks, semi-trailers, cabs, or construction-related equipment shall be parked during the day or overnight on the site.
- (xxiv) No used vehicles "for sale" or "for lease" shall be parked on the site.
- (xxv) No semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks shall be used for storage purposes on the site. Outdoor storage of any materials, including but not limited to: products, oil, wood, windshield wiper fluids, business supplies, pallets, crates, etc., is also prohibited.
- (xxvi) The garbage dumpster gates shall be kept closed at all times, except when garbage is being collected. In addition, all garbage and recycling materials shall be stored within the garbage dumpster enclosure.
- (xxvii) All signs within the DEVELOPMENT shall comply with Article X of Chapter 420 of the Village Municipal Code and this PUD Ordinance. In addition, all signs shall be in good working order, properly maintained, repaired as needed, painted and well-kept.
- (xxviii) Owner, manager and employees shall be informed of these regulations and perform daily site inspections and shall comply with the requirements of this Ordinance.

- (xxix) Semi-annual zoning inspections will be conducted for the Development to verify compliance with this PUD.
- d. Specific modifications to the Village of Pleasant Prairie Zoning Ordinance for the DEVELOPMENT:
- (i) Section 420-48 L related to setbacks for parking areas is amended to read as follows:
- L. Setbacks for parking areas (which includes parking spaces, maneuvering lanes and fire lanes). Parking areas shall be set back a minimum of 15 feet (as measured from the north property line to the back-of-curb) from all adjoining street rights-of-way and a minimum of 20 feet (as measured from the north property line to the back-of-curb) from all adjoining private roadways and lot lines.
- (ii) Section 420-121 H (4) (c) related to building setbacks in the B-4, Freeway Service Business District is amended to read as follows:
- (c) Setbacks:
- [1] Street setback: minimum of 65 feet from arterial streets or highways and a minimum of 40 feet from nonarterial streets or private roads.
- [2] Side setback (to east property line): 13 feet minimum.
- (iii) Section 420-78 K (1) related to the Aggregate Permitted Background Commercial Sign Area is amended to read as follows: :
- (1) The maximum Aggregate Permitted Background Commercial Sign Area allowed within this DEVELOPMENT is 181 square feet,
- e. Amendments
- (i) The PUD regulations for the DEVELOPMENT may be amended pursuant to Chapter 420-137 of the Zoning Ordinance.
- (ii) The Zoning Administrator has the discretion to approve minor changes, adjustments and additions to this PUD ordinance document without the need for Village Plan Commission and Village Board review and approval.

Adopted this 19th day of November, 2012.

VILLAGE OF PLEASANT PRAIRIE

ATTEST:



Jane M. Romanowski
Village Clerk


John P. Steinbrink
Village President

Posted: 11-20-12

- D. Consider the request of Matt Carey, P.E. with Pinnacle Engineering, for approval of the **Recession of Trans 233 Restriction from Certified Survey Map 2273** related to the vacant property on the southwest corner of STH 31 and 108th Street in LakeView Corporate Park.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Recession of Trans 233 Restriction from Certified Survey Map 2273** subject to the comments and conditions presented in the Village Staff Report of October 10, 2016.

VILLAGE STAFF REPORT OF OCTOBER 10, 2016

Consider the request of Matt Carey, P.E. with Pinnacle Engineering, for approval of the **Recession of Trans 233 Restriction from Certified Survey Map 2273** related to the vacant property on the southwest corner of STH 31 and 108th Street in LakeView Corporate Park.

The petitioner is requesting approval of a Correction Instrument to CSM 2273 for the Rescission of the Trans 233 Restriction related to the 50 foot high-way setback to STH 31 on the vacant property located at the southwest corner of STH 31 and 108th Street. Any buildings or structures and parking and maneuvering lanes on the site will be required to meet the Village Zoning Ordinance setback requirements.

The Village staff recommends approval of the Recession of Trans 233 Restriction from Certified Survey Map 2273 subject to the document being executed by all parties and recorded at the Kenosha County Register of Deeds Office within 30 days of Village Board approval.

10/3/2016

Jean Werbie-Harris
Village of Pleasant Prairie
9915 39th Ave
Pleasant Prairie, WI 53158

Re: Nitto Denko WisDOT Trans 233 Setback Release

Dear Ms. Werbie-Harris:

As requested, please accept this letter as a formal request to release the current, existing WisDOT Trans 233 setback for the Nitto Denko site located at the southwest corner of STH 31 and 72nd Ave. The current setback runs along the east property line of the site.

Previous coordination with WisDOT has confirmed their release of this easement. WisDOT has provided the attached, signed "Recession of Trans 233 Restrictions" document that has also been signed by a licensed land surveyor (John Konopacki, Pinnacle Engineering Group). Page 2 of the document is to be signed and notarized by the Village of Pleasant Prairie. Finally, the document is to be sent to Kenosha County for recording.

It is our understanding that this item will need to go to Plan Commission and the Village Board prior to be approved.

If you should have any comments or questions, feel free to call us at 262-754-8888.

Sincerely,
PINNACLE ENGINEERING GROUP



Matt Carey, P.E.

Project Manager

Approval Certification

City Approval Notary Certificate

(Date)

(Name of Local Government)
Approved for recording by the government identified above.

(Clerk Signature)

(Print or Type Name of Clerk)

State of Wisconsin)
) ss.
_____ County)

Subscribed and sworn to before me this date: _____

(Signature, Notary Public, State of Wisconsin)

(Print or Type Name, Notary Public, State of Wisconsin)

(Date Commission Expires)



Division of Transportation
System Development
Southeast Regional Office
141 N.W. Barstow Street
P.O. Box 798
Waukesha, WI 53187-0798

Scott Walker, Governor
Mark Gottlieb, P.E., Secretary
Internet: www.dot.wisconsin.gov

Telephone: (262) 548-5903
Facsimile (FAX): (262) 548-5662
E-Mail: waukesha.dtd@dot.wi.gov

EXHIBIT A

Parcel Nine (9) of CERTIFIED SURVEY MAP NO. 2273, being a redivision of Lot One (1) of Certified Survey Map No. 1971, located in part of the Southwest One-quarter (1/4) of the Northwest One-quarter (1/4) of Section Twenty-seven (27) and in the Southeast One-quarter (1/4) of the Northeast One-quarter (1/4) of Section Twenty-eight (28), in Township One (1) North, Range Twenty-two (22) East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin, recorded in the Office of the Register of Deeds for Kenosha County on October 18, 2001 as Document No. 1239083.

The Department of Transportation has reviewed your request to release the highway setback restriction/s and highway setback language on the above referenced property along State Trunk Highway "31".

The Department hereby releases the above-mentioned restrictions.

It is required that this release be incorporated into a correction document under ss. 236.295 wis.stats., as an Exhibit

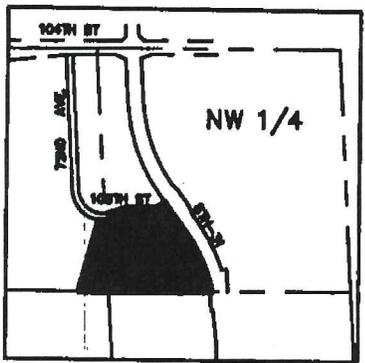


Tony Barth, SE Region Planning Chief

draft 1239083

CERTIFIED SURVEY MAP No. 2273

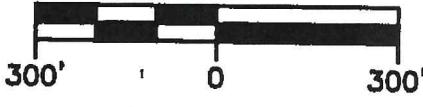
BEING A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 1871, LOCATED IN PART OF THE SW 1/4 OF THE NW 1/4 SECTION 27, AND THE SE 1/4 OF THE NE 1/4 OF SECTION 28, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.



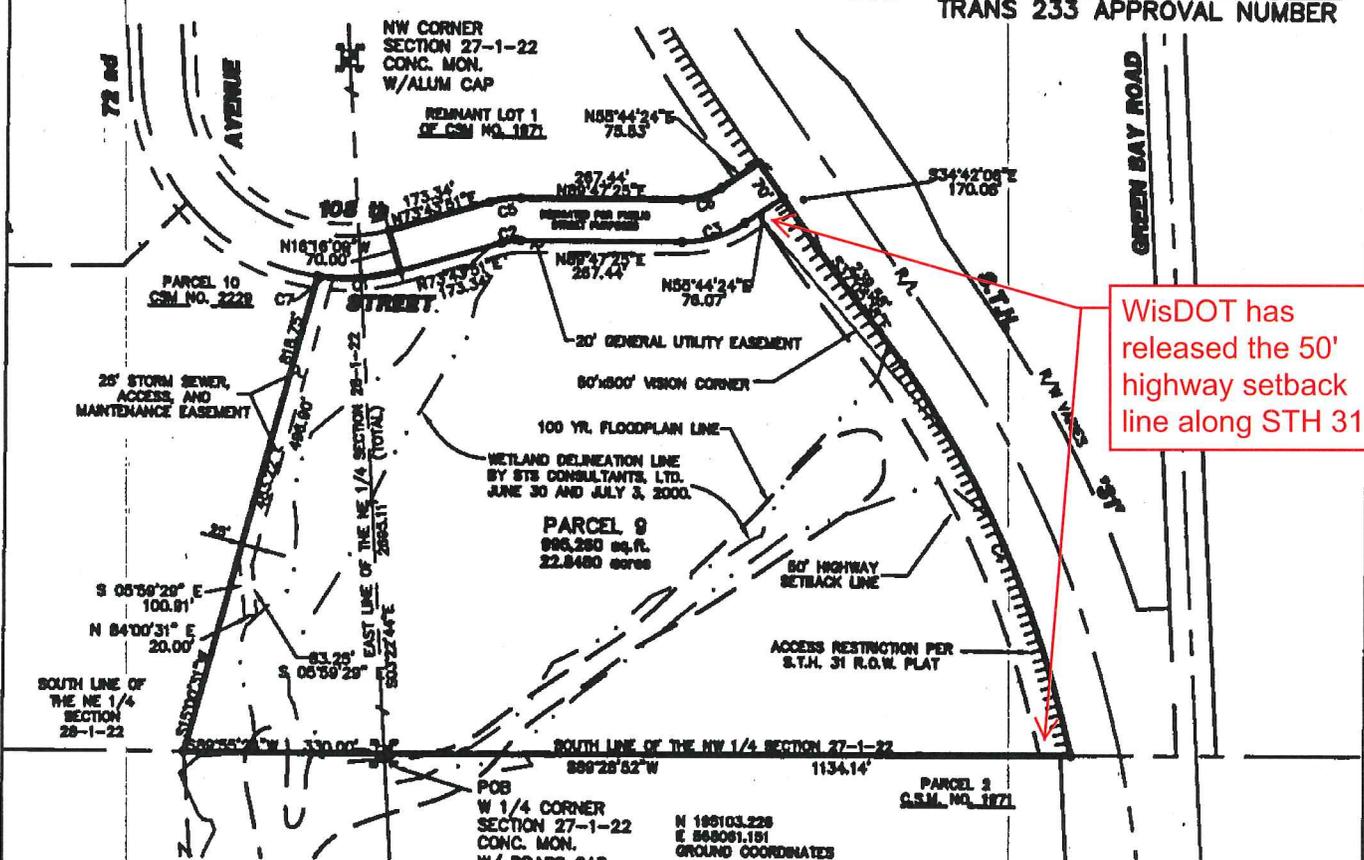
STS Consultants Ltd.
Consulting Engineers
11425 W. Lake Park Dr.
Milwaukee, WI 53224
414.359.3030

LOCATION MAP
NW 1/4 SECTION 27
T 1 N, R 22 E
1" = 2000'

SCALE IN FEET



30-031-0204-01
TRANS 233 APPROVAL NUMBER



WisDOT has released the 50' highway setback line along STH 31.

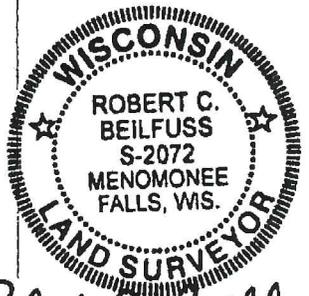
CURVE TABLE						
CURVE	ARC	RADIUS	TANGENT	CHORD	CH. BEARING	DELTA
C1	137.73	335.00	89.85'	136.78	N 85°30'32" E	23°33'22"
C2	32.23	115.00	18.22'	32.13	N 81°45'38" E	18°03'34"
C3	109.84	185.00	58.65'	108.33	N 72°45'54" E	34°03'01"
C4	709.80	1829.86	359.47'	705.45	S 23°35'18" E	22°13'41"
C5	51.85	185.00	26.10'	51.88	N 81°45'38" E	18°03'34"
C6	68.34	115.00	35.21'	67.34	N 72°45'54" E	34°03'01"
C7	25.38	335.00	12.70'	25.38	S 84°33'02" E	4°20'29"

LEGEND:
 ○ INDICATES 1" X 24" IRON PIPE WEIGHING 1.13 LBS. PER LINEAL FOOT.
BEARING BASIS:
 ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE WEST LINE OF THE NW 1/4 OF SECTION 27-1-22 WAS USED AS N03°22'44" W.
 PROJECT CONVERSION FACTOR:
 GRID/1.0000045 = GROUND.
 SUBJECT TO EASEMENTS OF RECORD.
 ALL MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE-HUNDREDTH OF A FOOT.
 ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE SECOND.
 DATED THIS 14th DAY OF JULY, 2001. REVISED AUGUST 31, 2001
 THIS INSTRUMENT WAS DRAFTED BY ROBERT C. BEILFUSS, S-2072,

FLOODPLAIN SOURCE: SEWRPC PLANNING PLANNING REPORT NO. 44, A COMPREHENSIVE PLAN FOR THE DES PLAINES RIVER WATERSHED, IN PROGRESS DELINEATED BY MGH AND APPROVED BY THE WDNR ON 9-14-1998, REF: SE-F-30174-92-5G.
 PREPARED FOR:



WISPARK Corporation
10411 Corporate Drive, Suite 100
Pleasant Prairie, WI 53158-1805
(262) 857-4661



Robert C. Beilfuss
 ROBERT C. BEILFUSS
 REGISTERED LAND SURVEYOR
 S-2072

W:\0272-1117\DWG\0506272117000.DWG

doc# 1229083

CERTIFIED SURVEY MAP NO. 2273

Being a redivision of Lot 1 of Certified Survey Map No. 1971 located in that part of the SW 1/4 of the NW 1/4 of Section 27 and the SE 1/4 of the NE 1/4 of Section 28, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin.

CORPORATION OWNER'S CERTIFICATE OF DEDICATION

WISPARK LLC, a corporation duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described in the foregoing affidavit of Robert C. Beilfuss, to be surveyed, divided, mapped and dedicated as represented on this map, in accordance with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Subdivision Control Ordinance.

As Owner, we hereby dedicate that part of 108th Street to the Village of Pleasant Prairie for public street purposes as represented on Sheet 1 of this Certified Survey Map.

25' STORM SEWER, DRAINAGE, ACCESS AND MAINTENANCE EASEMENT

A perpetual easement coextensive with the area shown as a 25' Storm Sewer, Drainage, Access and Maintenance Easement on Parcel 9 of this Certified Survey Map is hereby dedicated, given, granted and conveyed by the Owner(s) to the Village of Pleasant Prairie for stormwater management purposes, public drainageways and for all related construction, installation, repair, alteration, replacement, landscaping, maintenance and ingress and egress.

This storm water easement shall be exclusive, except for: (1) such other easements as may be dedicated and conveyed herein with respect to the same area or any portion thereof; (2) such use, planting, care and maintenance responsibilities of the easement area which shall be required by the Owner(s), its successors, assigns, or successors-in-title in their capacity as Owner(s) of the Parcel on which such easement is located as will not interfere with the improvements, uses and purposes of the Village of Pleasant Prairie; and (3) such future street, driveway or other uses of the easement. In the event of any conflicts between the rights of the Owner(s), and the rights of the Village of Pleasant Prairie pursuant to this Dedicated Storm Sewer, Drainage, Access and Maintenance Easement area, the Village exercises the rights granted to it hereunder with respect to this easement, the Village shall have no obligation to do anything to its rights under this easement.

In Witness whereof, the said WISPARK LLC, has caused these presents to be signed by GARY ROSECRANS, and countersigned by _____, its _____, at _____, this 3 day of October, 2001.

WISPARK LLC:

State of WISCONSIN
) SS
KENOSHA County)

Personally came before me this 3 day of October, 2001, the above named GARY ROSECRANS JERRY FRANK of the above named corporation, to me known to be such VICE PRESIDENT PRESIDENT of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation by its authority.

Rita Richmond
(Rita Richmond)
Notary Public, KENOSHA County, WI
My Commission Expires DECEMBER 7-2003

RTA RICHMOND
Notary Public

State of Wisconsin

DATED THIS 14th DAY OF JULY, 2001

THIS INSTRUMENT WAS DRAFTED BY ROBERT C. BEILFUSS, S-2072
JOB NO. 86272-1117



Robert C. Beilfuss

SHEET 3 OF 5

doc# 1239083

CERTIFIED SURVEY MAP NO. 2273

Being a redivision of Lot 1 of Certified Survey Map No. 1971 located in that part of the SW ¼ of the NW ¼ of Section 27 and the SE ¼ of the NE ¼ of Section 28, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin

WisDOT setback note has been released.

TRANS 233 RESTRICTIONS:

As Owner I hereby restrict all lots and blocks so that no owner, possessor, user, licensee or other person may have any right of direct vehicular ingress from or egress to any highway lying within the right-of-way of S.T.H. 31, as shown on the land division map; it is expressly intended that this restriction constitute a restriction for the benefit of the public as provided in s. 236.293, Stats., and shall be enforceable by the department or its assigns.

No improvements or structures are allowed between the right-of-way line and the highway setback line. Improvements and structures include, but are not limited to, signs, parking areas, driveways, wells, septic systems, drainage facilities, buildings and retaining walls. It is expressly intended that this restriction is for the benefit of the public as provided in s. 236.293, Wisconsin Statutes, and shall be enforceable by the Wisconsin Department of Transportation or its assigns. Contact the Wisconsin Department of Transportation for more information. The phone number may be obtained by contacting the County Highway Department.

The lots of this land division may experience noise at levels exceeding the levels in s. Trans 405.04, Table I. These levels are based on federal standards. The Department of Transportation is not responsible for abating noise from existing state trunk highways or connecting highways, in the absence of any increase by the department to the highway's through-lane capacity.

No structure or improvements of any kind is permitted within the vision corner. No vegetation within the vision corner may exceed 30 inches in height.

In Witness whereof, the said WISPARK LLC, has caused these presents to be signed by GARY ROSECRANS its VICE PRESIDENT and countersigned by JERRY FRANK, its PRESIDENT, at _____, this 3 day of OCTOBER, 2001.

WISPARK LLC:

[Signature]
[Signature]



Robert C. Beilfuss
Robert C. Beilfuss
Registered Land Surveyor, S-2072

DATED THIS 14th DAY OF JULY 2001.

THIS INSTRUMENT WAS DRAFTED BY ROBERT C. BEILFUSS, S-2072
JOB NO. 86272-1117

SHEET 4 OF 5

Doc# 1239083

CERTIFIED SURVEY MAP NO. 2273

Being a redivision of Lot 1 of Certified Survey Map No. 1971 located in that part of the SW 1/4 of the NW 1/4 of Section 27 and the SE 1/4 of the NE 1/4 of Section 28, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin.

VILLAGE PLAN COMMISSION APPROVAL

This Certified Survey Map is hereby approved by the plan commission of the Village of Pleasant Prairie on this 14th day of July, 2001.


THOMAS W. TERWALL
Chairman of Village Plan Commission

VILLAGE BOARD APPROVAL

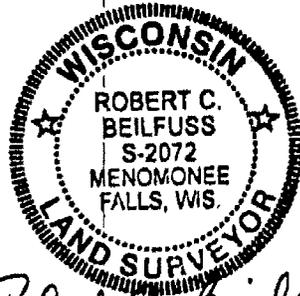
Resolved that this certified survey map, being a redivision of Lot 1 of Certified Survey Map No. 1971 located in that part of the SW 1/4 of the NW 1/4 of Section 27 and the SE 1/4 of the NE 1/4 of Section 28, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, having been approved by the Plan Commission being the same, is hereby approved and the dedication of that part of 108th Street for public street purposes, as shown on Sheet 1, is hereby accepted by the Village Board of Trustees of the Village of Pleasant Prairie on this 14th day of July, 2001.


JOHN P. STEINBRINK
Village President

ATTEST:


JANE M. ROMANOWSKI, CMC
Village Clerk

DATED THIS 14th DAY OF JULY, 2001.





STATE OF WISCONSIN
COUNTY OF KENOSHA

BEFORE ME, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

WITNESSETH my hand and seal of office this _____ day of _____, 2001.

My commission expires _____ day of _____, 2001.

NOTARY PUBLIC

My commission expires _____ day of _____, 2001.

NOTARY PUBLIC

NOTARY PUBLIC

NOTARY PUBLIC



DOCUMENT NUMBER
1239083

CERTIFIED SURVEY MAP
RECORDED
At Kenosha County, Kenosha, WI
Louise I. Principe, Register of Deeds
on 10/18/2001 at 3:29PM
10053073 \$21.00
JOES REGDEED3